

MAP REFERENCES

PLAN OF PARTITION OF LAND OF DAVID W. AND JOANNE G. KNEELAND - 23 MIDDLE HADDAM ROAD - COBALT, CONNECTICUT - DEPICTING LAND TO BE RETAINED BY DAVID W. AND JOANNE G. KNEELAND AND LAND TO BE CONVEYED TO THE MIDDLESEX LAND TRUST, INC. - SCALE 1" = 40' - DECEMBER 31, 2011 - BY SWAMP YANKEE SURVEY LLC

PROPERTY BOUNDARY SURVEY PREPARED FOR JUSTIN A. BROCHU AND AMY S. ESTABROOK - 1 OLD DEPOT HILL ROAD - EAST HAMPTON, CONNECTICUT - OCTOBER 8, 2011 - SCALE 1" = 20' - BY JACKOWIAK LAND SURVEYING

BOUNDARY SURVEY SHOWING PROPOSED DRIVEWAY EASEMENT PREPARED FOR ESTATE OF KATIE W. ADLER - 43 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT - SCALE 1" = 20' - 5-12-2004 - REVISED THRU 7-07-2004 - BY FLYNN LAND SURVEYING

SUBDIVISION OF QUAIL HILL - EAST HAMPTON CONN. - OWNED & DEVELOPED BY DULCEN CORP. OF PORTLAND, CONN. - SCALE 1" = 50' - JULY 1972 - REVISED NOV. 1972 - BY WILLIAM W. HARRIS JR.

CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF EAST HAMPTON - EAST HAMPTON-PORTLAND ROAD FROM THE PORTLAND TOWN LINE EASTERLY TO THE N.Y. & H.R.R. UNDERPASS - ROUTE NO. 14 - SCALE 1" = 40' - JUNE 29, 1939 - PROJECT NUMBER 41-10

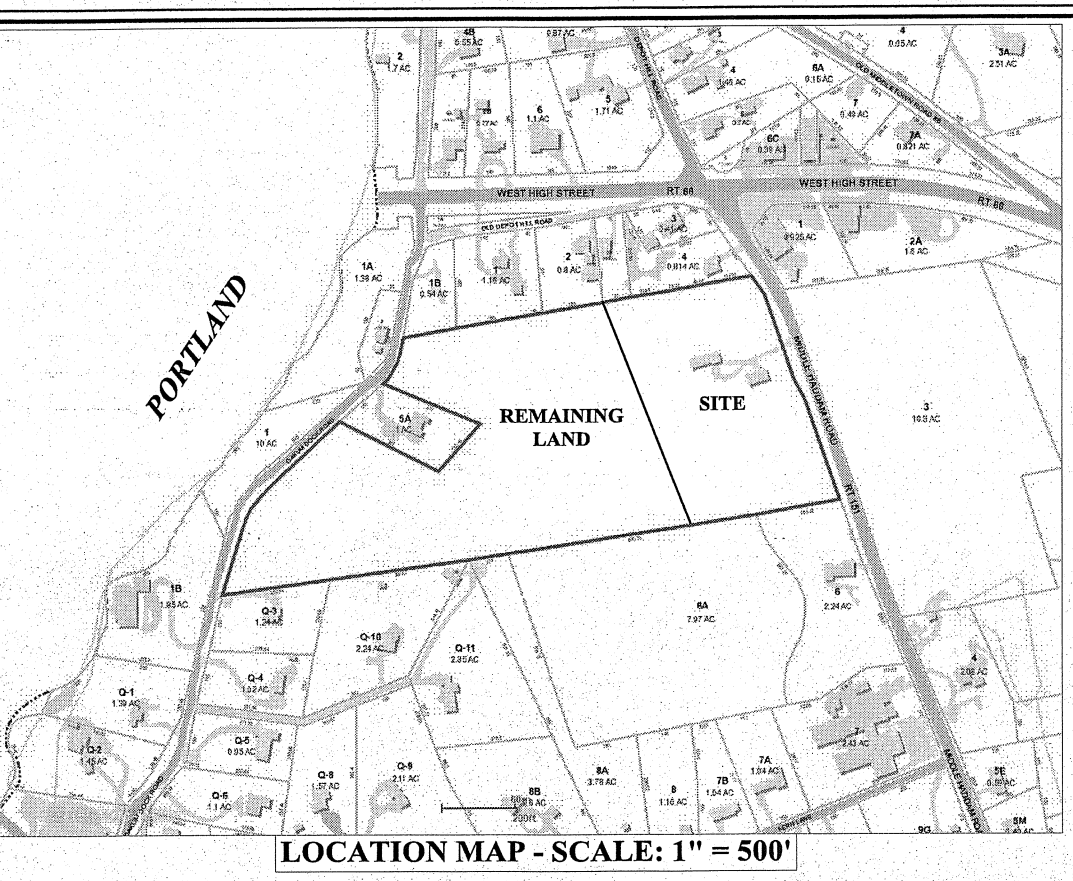
CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF EAST HAMPTON - PORTLAND ROAD FROM THE PORTLAND TOWN LINE SOUTHERLY ABOUT 13,000 FEET - ROUTE NO. 151 - SCALE 1" = 40' - APRIL 30, 1934 - PROJECT NUMBER 41-06

BOUNDARY SURVEY PREPARED FOR EDWARD C. DOHERTY, TRUSTEE OF THE EDWARD CARNEY DOHERTY REVOCABLE TRUST - 9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT - SCALE: 1" = 60' - FEBRUARY 3, 2016 - BY DUTCH & ASSOCIATES

LEGEND

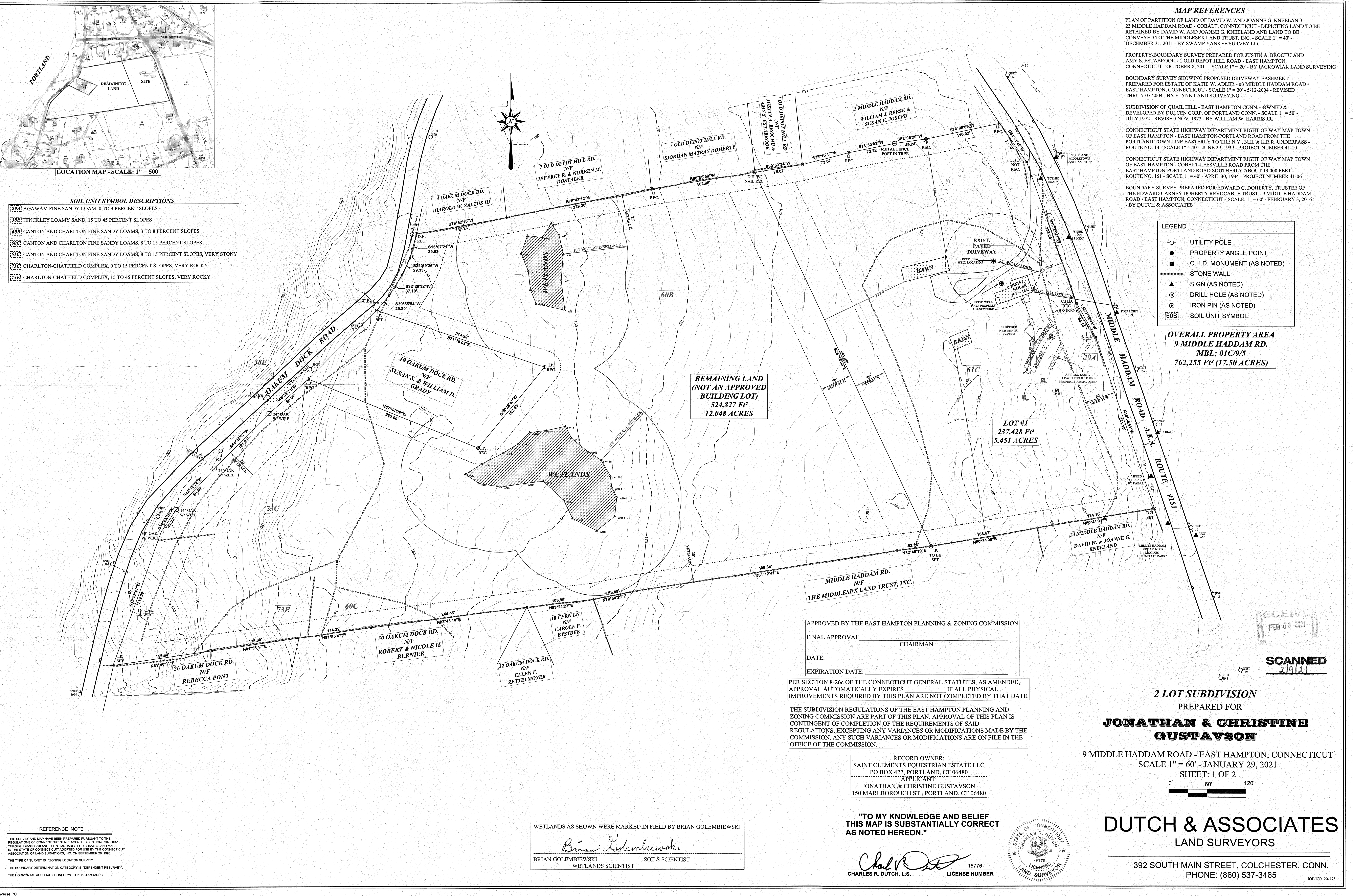
- UTILITY POLE
- PROPERTY ANGLE POINT
- C.H.D. MONUMENT (AS NOTED)
- STONE WALL
- ▲ SIGN (AS NOTED)
- ⊙ DRILL HOLE (AS NOTED)
- ⊙ IRON PIN (AS NOTED)
- ⊙ SOIL UNIT SYMBOL

OVERALL PROPERTY AREA
9 MIDDLE HADDAM RD.
MBL: 01C/9/5
762,255 F² (17.50 ACRES)



SOIL UNIT SYMBOL DESCRIPTIONS

- AGAWAM FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
- HINCKLEY LOAMY SAND, 15 TO 45 PERCENT SLOPES
- CANTON AND CHARLTON FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
- CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
- CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES, VERY STONY
- CHARLTON-CHATFIELD COMPLEX, 0 TO 15 PERCENT SLOPES, VERY ROCKY
- CHARLTON-CHATFIELD COMPLEX, 15 TO 45 PERCENT SLOPES, VERY ROCKY



REMAINING LAND
(NOT AN APPROVED
BUILDING LOT)
524,827 F²
12.048 ACRES

LOT #1
237,428 F²
5.451 ACRES

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION
 FINAL APPROVAL _____ CHAIRMAN
 DATE: _____
 EXPIRATION DATE: _____

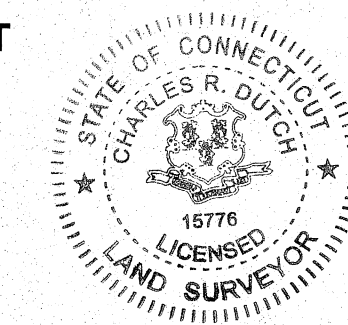
PER SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE.

THE SUBDIVISION REGULATIONS OF THE EAST HAMPTON PLANNING AND ZONING COMMISSION ARE PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT OF COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCES OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCES OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

RECORD OWNER:
 SAINT CLEMENTS EQUESTRIAN ESTATE LLC
 PO BOX 427, PORTLAND, CT 06480
 APPLICANT:
 JONATHAN & CHRISTINE GUSTAVSON
 150 MARLBOROUGH ST., PORTLAND, CT 06480

"TO MY KNOWLEDGE AND BELIEF
 THIS MAP IS SUBSTANTIALLY CORRECT
 AS NOTED HEREON."

Charles R. Dutch
 CHARLES R. DUTCH, L.S. 15776
 LICENSE NUMBER



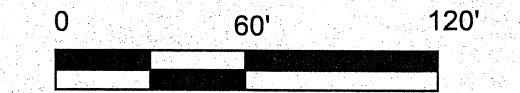
WETLANDS AS SHOWN WERE MARKED IN FIELD BY BRIAN GOLEMBIEWSKI
Brian Golembiewski
 BRIAN GOLEMBIEWSKI SOILS SCIENTIST
 WETLANDS SCIENTIST

REFERENCE NOTE
 THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-208B-1 THROUGH 20-208B-25 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 THE TYPE OF SURVEY IS "ZONING LOCATION SURVEY".
 THE BOUNDARY DETERMINATION CATEGORY IS "DEPENDENT RESURVEY".
 THE HORIZONTAL ACCURACY CONFORMS TO "C" STANDARDS.

2 LOT SUBDIVISION

PREPARED FOR
JONATHAN & CHRISTINE
GUSTAVSON

9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT
 SCALE 1" = 60' - JANUARY 29, 2021
 SHEET: 1 OF 2



DUTCH & ASSOCIATES
 LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN.
 PHONE: (860) 537-3465

HYDRAULIC FACTORS (HF)										
Hydraulic Gradient (% Slope)										
	1:0	1:1	2:1	3:1	4:1	5:1	6:1	8:1	10:1	>10:1
Receiving	9.1	17.8								
Soil Depth (Inches)	18.0	22.0	27.0	32.0	37.0	42.0	47.0	52.0	57.0	62.0

BASIS OF SANITARY DESIGN

5 BEDROOM HOUSE - 1.8 Min/In PERC RATE
 742.5 SQ. FT. OF LEACHING AREA REQUIRED

USE 1 TRENCHES 62" WIDE @ 12" CTRS @ LENGTHS SHOWN
 750 SQ. FT. OF LEACHING AREA PROVIDED
 USE MINIMUM 1,500 GALLON SEPTIC TANK
 HF 18 x PF 2.25 x PF 1.0 = MLSS 40.5"

**USE 1 ROW OF GEOMATRIX GST 6212 @ 10.0 FT OF LEACHING PER LINEAR FT.
 X 75' OF TRENCH = 750 FT OF LEACHING PROVIDED (742.5 FT REQUIRED)**

DEEP TEST PIT DATA

TP 'A'
 0 - 8" TOPSOIL
 8 - 28" BROWN FINE SANDY LOAM
 28 - 65" MODERATELY COMPACT LIGHT BROWN, PALE BROWN SILTY SAND
 W/ ROCKS & GRAVEL
 MOTTLES: NO - GW: NO - LEDGE: 65" - ROOTS: 42"

TP 'B'
 0 - 9" TOPSOIL
 9 - 22" BROWN FINE SILTY LOAM
 22 - 48" BROWN FINE SANDY LOAM
 48 - 84" BROWN LIGHT BROWN MODERATELY COMPACT SILTY SAND
 W/ ROCKS & GRAVEL W/ BOULDERS
 (UNSURE IF BOULDER IN CENTER OF TEST HOLE)
 MOTTLES: NO - GW: NO - LEDGE: POSSIBLE @ 63" & 84" - ROOTS: 48"
 DEPTH: 106"

TP 'C'
 0 - 6" TOPSOIL
 6 - 30" BROWN FINE SILTY LOAM
 30 - 63" FINE PALE BROWN SILTY SAND
 MOTTLES: NO - GW: NO - LEDGE: 63" CENTER OF HOLE AND AT 28" UP
 GRADINENT SIDE OF HOLE - ROOTS: 36"

TP 'D'
 0 - 10" TOPSOIL
 10 - 25" BROWN FINE SILTY LOAM
 LEDGE: 25"

TP 'E'
 0 - 9" TOPSOIL
 9 - 32" BROWN FINE SILTY LOAM
 32 - 48" LEDGE: 17" UP GRADIENT, 48" CENTER OF HOLE - DEPTH: 76"

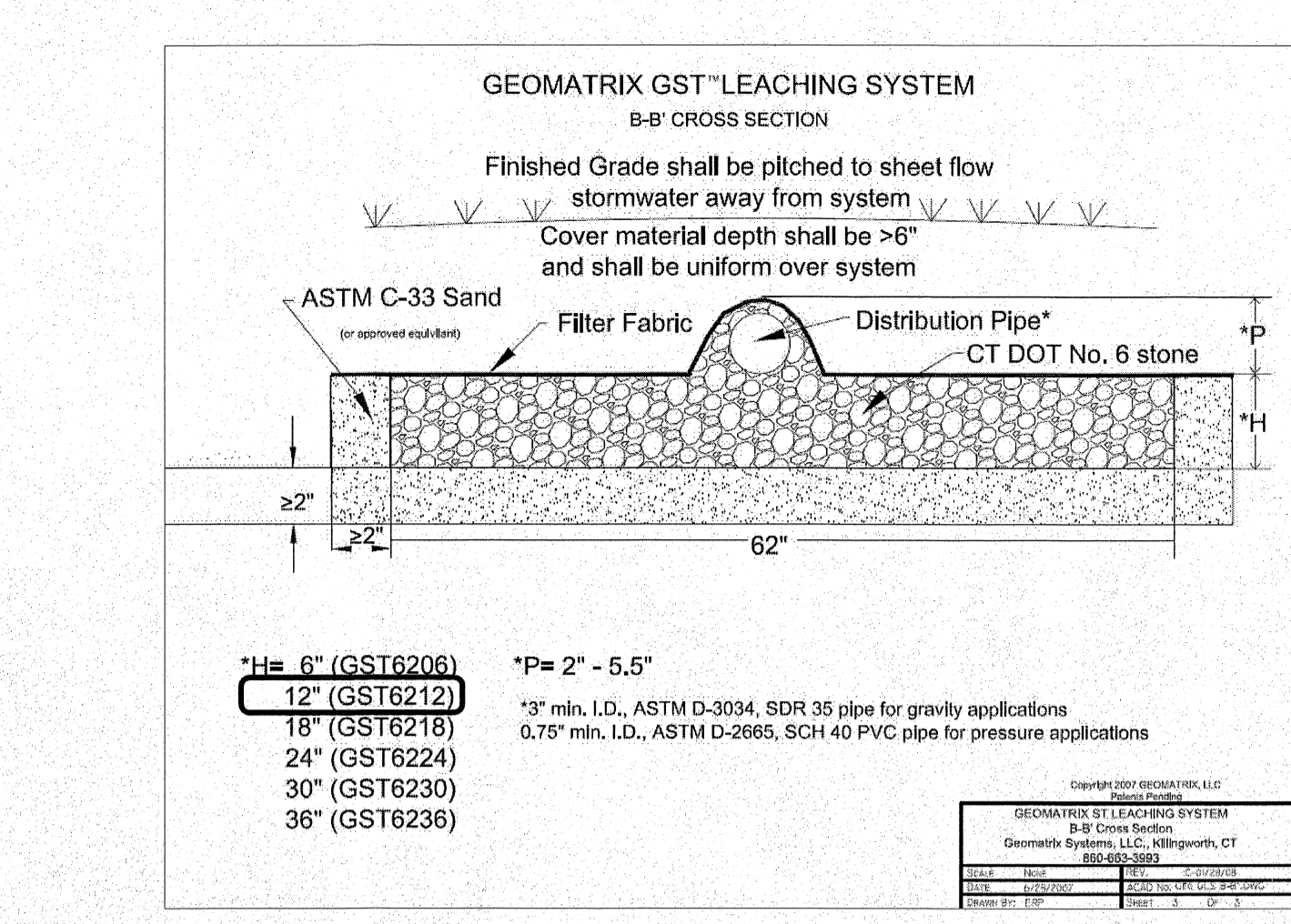
TEST PITS AS WITNESSED AND DESCRIBED BY LIZ DAVIDSON, RS 8/24/16
 * HOLE DEPTHS AFTER ADDITIONAL DIGGING WITNESSED BY DANIELLE HOLMES, SANITARIAN

PERCOLATION TEST DATA

PT #3
 7/1/16
 DEPTH: 32"
 NAIL: 3"
 PRESOAK: 9:20 AM

TIME:	READING:
11:00	12.00"
11:05	15.50"
11:10	18.25"
11:15	20.00"
11:20	23.88"

PERC RATE: 1.8 MIN./IN.
 PERC TEST CONDUCTED BY DUTCH & ASSOCIATES



*Hs 6" (GST6206)
 12" (GST6212)
 18" (GST6218)
 24" (GST6224)
 30" (GST6230)
 36" (GST6236)

*P= 2" - 5.5"
 *3" min. I.D., ASTM D-3034, SDR 35 pipe for gravity applications
 *0.75" min. I.D., ASTM D-2665, SCH 40 PVC pipe for pressure applications

DESMOND ENGINEERING, INC.
 GEOMATRIX GST LEACHING SYSTEM
 B-B' Cross Section
 Geomatrix Systems, LLC, Willington, CT
 (860) 399-3999
 www.geomatrixsystems.com

ZONING COMPLIANCE CHART - ZONE: R-2 (W/O SEWER)

	REQUIRED	LOT #1	REMAINING LAND
MINIMUM LOT AREA	60,000 FT ²	237,428 FT ²	524,827 FT ²
MINIMUM LOT WIDTH	150'	643.50'	670.59'
MINIMUM LOT DEPTH	200'	>350'	>400'
MINIMUM LOT FRONTAGE	100'	648.13'	685.56'
MAXIMUM LOT COVERAGE	10%	3.43%	N/A
MINIMUM FRONT SETBACK	50'	58.2'E	N/A
MINIMUM SIDE SETBACK	25'	186.3'N - 294.0'S	N/A
MINIMUM REAR SETBACK	50'	137.0'W	N/A

GENERAL NOTES

PRIMARY AND RESERVE SEPTIC AREAS ARE TO BE PROTECTED FROM COMPACTION AND DAMAGE BY MACHINERY AND EQUIPMENT DURING CONSTRUCTION.

ADDITIONAL TEST PITS MAY BE REQUIRED TO CONFIRM SOIL CONDITIONS IN THE AREA OF THE PRIMARY AND RESERVE LEACHING FIELDS. PITS ARE TO BE DUG PRIOR TO THE START OF CONSTRUCTION OF THE SEPTIC SYSTEM AND ARE TO BE STAKED IN THE FIELD BY ENGINEER TO ENSURE PROPER LOCATION.

DISTRIBUTION BOXES TO BE INSTALLED TO CREATE A HIGH LEVEL OVERFLOW (4" MIN) SEPTIC SYSTEM SHALL CONFORM TO THE CURRENT STATE OF CONNECTICUT PUBLIC HEALTH CODE.

IF FIELD CONDITIONS (NOTTING LEDGE/GROUNDWATER) ARE ENCOUNTERED AT A SHALLOWER DEPTH THAN THOSE SHOWN IN THE DEEP TEST HOLE RESULTS, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY AND CONSTRUCTION HALTED UNTIL FURTHER DIRECTION.

SDR 35 TIGHT PIPE FROM TANK TO D. BOX AND BETWEEN D. BOXES

CONTOURS TAKEN FROM (ON SITE FIELD) TOPOGRAPHY AND ARE TO 1:2 STANDARDS

REQUIRED FILL SPECIFICATIONS

ALL LEACHING PRODUCTS WITH EFFECTIVE LEACHING CREDITS OF 7.4 SFLP AND HIGHER SHALL NOT BE UTILIZED WHERE THE UNDERLYING NATURALLY OCCURRING SOILS HAVE A MINIMUM PERCOLATION RATE SLOWER THAN THIRTY (30) MINUTES PER INCH.

SELECT FILL MATERIAL AND SELECT BACKFILL MATERIAL, PLACED WITHIN AND ADJACENT TO PROPOSED LEACHING AREAS SHALL BE COMPOSED OF CLEAN SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:

1. THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE (3) INCHES.
2. UP TO 40% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
3. THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.

THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE	PERCENT PASSING	PERCENT PASSING
#4	70% - 100%	100%
#10	10% - 50%	10% - 15%
#100	0% - 20%	0% - 5%
#200	0% - 5%	0% - 2.5%

WET SIEVE TEST | **DRY SIEVE TEST**

THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA UTILIZING SELECT MATERIAL IS THAT OF THE LICENSED INSTALLER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOILS FROM OVERCOMPACTION AND SILTATION ONCE EXPOSED.

NOTE: WATER TREATMENT DEVICES NOT TO DISCHARGE INTO SEPTIC SYSTEM

CONSTRUCTION NOTES

NO CHANGE IN PLAN LOCATION OR ELEVATION SHALL BE MADE WITHOUT NOTIFYING THE ENGINEER AND THE PRIOR TOWN AUTHORITY.

THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO SET LOCATION AND GRADE STAKES FOR THE SUBSURFACE SEWAGE DISPOSAL SYSTEM TO INCLUDE: FILL MATERIAL, SEPTIC TANK, PRIMARY LEACH SYSTEM, SIMILAR STAKING REQUIRED FOR ALL CURTAIN AND FOUNDATION DRAINS AND WELLS.

NO SOIL STRIPPING OR EXCAVATION SHALL BEGIN WITHIN THE AREA OF THE SUB-SURFACE SEWAGE DISPOSAL SYSTEM WITHOUT A VALID CONSTRUCTION PERMIT.

A LICENSED SEWAGE DISPOSAL SYSTEM INSTALLER SHALL OBTAIN A CONSTRUCTION PERMIT AND ARRANGE FOR THE SITE INSPECTION PRIOR TO CONSTRUCTION. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE STATE AND LOCAL RULES, REGULATIONS AND CODES.

TOPSOIL TO BE STRIPPED AND STOCKPILED PRIOR TO ANY FILLING. SCARIFY AREA BEFORE FILLING. AVOID STRIPPED AREA WITH HEAVY VEHICLES ON WHEELS TO MINIMIZE COMPACTION. PLACE FILL AT EDGE OF PREPARED AREA AND SPREAD WITH BULLDOZERS IN 4" LIFTS AND COMPACT TO 90% MAXIMUM DENSITY.

SANITARIAN TO INSPECT ANY FILL OVER 24" DEEP PRIOR TO CONSTRUCTION.

TRENCH BOTTOMS SHALL BE LEVEL AND SET TO FOLLOW CONTOURS OF EXISTING GRADE. TRENCH LATERALS SHALL BE LEVEL WITH PERFORATIONS DOWNWARD.

NO CONSTRUCTION BELOW ORIGINAL GRADE IN THE LEACHING SYSTEM AREA SHALL TAKE PLACE WITHIN 48 HOURS OF A RAINFALL OR WITH STANDING PUDDLES.

ALL FOOTING DRAINS, CURTAIN DRAINS AND SUBSURFACE SEWAGE DISPOSAL SYSTEM COMPONENTS SHALL BE INSPECTED BY THE TOWN AND LOCATED "AS-BUILT" BY THE ENGINEER AND SURVEYOR PRIOR TO COVERING. INSPECTION SHALL BE WITHIN 2 WORKING DAYS FOLLOWING TIMELY NOTIFICATION BY THE CONTRACTOR TO PROTECT OPEN WORK FROM SOIL EROSION.

ALL DISTURBED AREAS SHALL BE GRADED, LOADED, AND SEEDED AS SOON AS POSSIBLE AFTER CONSTRUCTION. IF SEEDING CANNOT TAKE PLACE DURING THE GROWING SEASON, A TEMPORARY MULCH COVER SHALL BE PLACED AND MAINTAINED UNTIL PERMANENT COVER CAN BE ESTABLISHED.

A LICENSED WELL DRILLER SHALL OBTAIN A PERMIT PRIOR TO ANY DRILLING. THE WELL SHALL BE PROVIDED IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE STATE AND LOCAL REGULATIONS AND CODES.

SATISFACTORY COMPLETION OF ALL THE ABOVE REQUIREMENTS SHALL PRECEED THE FINAL INSPECTION AND APPROVAL OF THE SUBSURFACE SEWAGE DISPOSAL SYSTEM AND WELL.

EROSION CONTROL NOTES

GENERAL REQUIREMENTS FOR EROSION CONTROL:

A SCHEDULE OF OPERATIONS TO INCLUDE STARTING AND COMPLETION DATES FOR MAJOR DEVELOPMENT PHASES, SUCH AS LAND CLEARING AND GRADING, STREET, SIDEWALK, AND STORM SEWAGE INSTALLATION, ETC.

SEEDING, SODDING, OR REVEGETATION PLANS AND SPECIFICATIONS FOR ALL UNPROTECTED OR UNVEGETATED AREAS SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.

EXCAVATIONS, FILLS AND GRADING:

CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 UNLESS STABILIZED BY A RETAINING WALL OR CRIBBING, EXCEPT AS APPROVED BY THE COMMISSION UNDER SPECIAL CONDITIONS.

ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATER FROM DAMAGING THE CUT FACE OF EXCAVATION OR THE SLOPING SURFACES OF FILLS.

CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY.

FILL SHALL BE PLACED AND COMPACTED SO AS TO MINIMIZE SLIDING OR EROSION OF THE SOIL.

GRADING SHALL NOT BE DONE IN SUCH A WAY SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED CONSENT OF THAT LANDOWNER AND THE COMMISSION.

FILLS SHALL NOT ENCROACH ON THE NATURAL WATERCOURSES OR CONTROLLED CHANNELS.

DURING GRADING OPERATIONS, NECESSARY MEASURES FOR DUST CONTROL SHALL BE EXERCISED.

GRADING EQUIPMENT WILL NOT BE ALLOWED TO CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER METHODS AS APPROVED BY THE COMMISSION.

IMPLEMENTATION PROCEDURES:

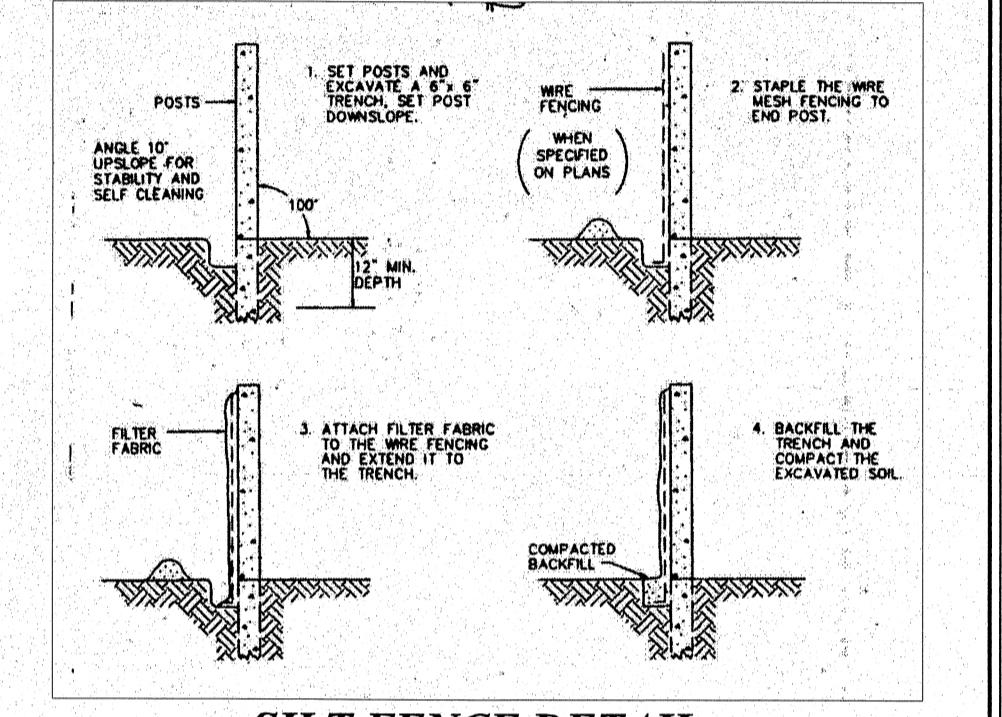
WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.

ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.

WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.

WHERE NECESSARY, TEMPORARY VEGETATION AND/OR MULCHING SHOULD BE USED TO PROTECT AREAS EXPOSED DURING DEVELOPMENT.

THE PERMANENT FINAL VEGETATION AND STRUCTURES SHOULD BE INSTALLED AS SOON AS PRACTICAL IN THE DEVELOPMENT.



DETAIL SHEET
2 LOT SUBDIVISION
 PREPARED FOR
JONATHAN & CHRISTINE GUSTAVSON
 9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT
 SCALE: N.T.S. - JANUARY 29, 2021
 SHEET: 2 OF 2

DUTCH & ASSOCIATES
 LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN.
 PHONE: (860) 537-3465