

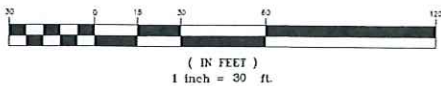
LEGEND

- PROPERTY LINE
- PROPERTY LINE / EDGE OF PAVEMENT
- - - - - EXISTING EASEMENT
- 510 PROPOSED FINISHED DRIVE CENTERLINE
- SURVEY BOUNDARIES
- ~ ~ ~ ~ ~ CLEARING LIMITS
- PROPOSED SETBACK



PER MAP REFERENCE

GRAPHIC SCALE



MOTT HILL ROAD
ASSESSOR'S MAP #24 BLOCK #44
LOT #18
N / F
ALFRED J. & SUN ENGSTROM
VOL. #130 PAGE #107

MIDWOOD FARM ROAD
ASSESSOR'S MAP #18 BLOCK #44
LOT #10
N / F
GREGORY R. JORDAN, CHRISTOPHER P. JORDAN &
JEAN - MARIE J. LAPIENE
VOL. #498 PAGE #574

ASSESSOR'S MAP #18 BLOCK #44
LOT #23G - 1
VOL. #467 PAGE #548
104,998 +/- SQUARE FEET
(2.41 +/- ACRES)
AREA EXCLUSIVE OF ACCESSWAY:
98,828 +/- SQUARE FEET
(2.27 +/- ACRES)

53 HIGHLAND TERRACE
ASSESSOR'S MAP #18 BLOCK #44
LOT #23G - 1A
N / F
SKYLINE ESTATES, LLC
VOL. #467 PAGE #548

49 HIGHLAND TERRACE
ASSESSOR'S MAP #18 BLOCK #44
LOT #78 - 24
N / F
JOHN H. & REBECCA DOTSON
VOL. #595 PAGE #134

SEWER NOTES

1. INSTALLER AND OWNER ARE RESPONSIBLE FOR CONFORMING TO THE EAST HAMPTON WATER POLLUTION CONTROL AUTHORITY SPECIFICATIONS AND INSPECTION REQUIREMENTS FOR CONNECTIONS TO PUBLIC SEWER.
2. INSTALLATION AND MAINTENANCE OF THE GRINDER PUMP IS THE RESPONSIBILITY OF THE INSTALLER AND THE HOMEOWNER.
3. LOCATION AND DEPTH OF EXISTING FORCE MAIN LATERAL SHALL BE VERIFIED BY THE INSTALLER AND THE OWNER PRIOR TO CONSTRUCTION.
4. APPROVAL BY THE TOWN MUST BE SECURED BEFORE INSTALLATION OF THE GRINDER PUMP.
5. GRINDER PUMP SHALL BE HYDROMATIC SWS, EQUAL OR AS APPROVED BY THE TOWN.
6. TOWN MEANS THE TOWN OF EAST HAMPTON.

BULK ZONING DATA TABLE		
R-3 ZONE		
TOWN OF EAST HAMPTON, CONNECTICUT		
MIN. FRONT W/DP	50 FT.	53.06 FT.
MIN. SIDE W/DP	25 FT.	28.37 FT. (1/4 side) 28.34 FT. (3/4 side)
MIN. REAR W/DP	50 FT.	58.94 FT.
MAX. PARCEL COVERAGE	70%	71.2%
LOT AREA	40,000 SQ. FT. MIN.	41,875 SQ. FT. (MIN. REQUIRED)

GENERAL NOTES:

1. THIS LOT IS SHOWN AS SUBDIVISION LOT #1 AND IS AN APPROVED BUILDING LOT AS DEPICTED ON THE APPROVED SUBDIVISION PLANS ENTITLED AS FOLLOWS:
"SKYLINE ESTATES, PHASE II - HIGHLAND TERRACE - EAST HAMPTON, CONNECTICUT - RESUBDIVISION OF LOT 1 - SKYLINE ESTATES PHASE II" SCALE: 1" = 40'; SEPT. 17, 2008, REV. MAY 6, 2009 BY WARREN SURVEYING - 198 HIDDEN LAKE ROAD - HOGANUM, CONNECTICUT 06441
2. LOT COVERAGE CALCULATION:
PROPOSED IMPERVIOUS AREA - 7037 SQ. FT.
PARCEL AREA - 98,828 SQ. FT.
PARCEL COVERAGE - 7037 SQ. FT. / 98,828 SQ. FT. = 7.12%
3. THIS PARCEL IS TO BE SERVED BY PUBLIC SANITARY SEWER AND ON-SITE PRIVATE WELL AS SHOWN HEREON.
4. ALL UTILITY SERVICES INCLUDING MATERIALS AND LOCATIONS ARE TO BE APPROVED BY THE APPROPRIATE UTILITY AUTHORITY.
5. ALL SITE WORK IS TO CONFORM TO THE SUBDIVISION APPROVAL REQUIREMENTS, APPLICABLE ZONING REGULATIONS AND ALL OTHER APPLICABLE CONSTRUCTION REQUIREMENTS.
6. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 PRIOR TO THE INITIATION OF ANY WORK.
7. EROSION CONTROL MEASURES ARE TO BE THE FIRST ITEM OF CONSTRUCTION AND ARE TO BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

LAKE DRIVE - REAR
ASSESSOR'S MAP #3A BLOCK #44
LOT #23
N / F
BB & G HOLDINGS, LLC
VOL. #349 PAGE #394

CONSTRUCTION SEQUENCE:

1. SECURE ALL NECESSARY PERMITS. NOTIFY "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. THE ELEVATION OF THE EXISTING SANITARY LATERAL INVERT SHOULD BE FIELD VERIFIED TO ENSURE VIABILITY OF THIS PLAN.
3. INSTALL ALL EROSION CONTROL MEASURES INCLUDING A CONTINUOUS ROW OF HAY BALE AND / OR SILT FENCE ALONG DOWNGRADIENT LIMITS OF DISTURBANCE.
4. CLEAR AND GRUB IDENTIFIED ACTIVITY AREAS. REMOVE ANY UNSUITABLE SOIL MATERIAL AND TRANSPORT TO AN OFF-SITE DISPOSAL LOCATION.
5. STRIP AND STOCKPILE TOPSOIL ONLY IN AREAS TO BE GRADED. LOCATE STOCKPILE OUTSIDE WORK AREAS. SURROUND STOCKPILE WITH EROSION BARRIER. SEED AND / OR APPLY EROSION NETTING AS REQUIRED.
6. EXCAVATE AND ROUGH GRADE DRIVEWAY AND FOUNDATION AREAS.
7. INSTALL FOUNDATION AND DWELLING UTILITIES IN ACCORDANCE WITH THIS PLAN AND ALL APPROPRIATE UTILITY AUTHORITY REQUIREMENTS.
8. CONSTRUCT DWELLING AND DRIVEWAY. REDISTRIBUTE STOCKPILED TOPSOIL (SCREEN AS NECESSARY) ON ALL DISTURBED AREAS TO A MINIMAL DEPTH OF 4". SEED AND MULCH AS APPROPRIATE.
9. CONTRACTOR AND OWNER SHALL ENSURE THAT GRADING AROUND THE HOUSE FOUNDATION IS DIVERTING SURFACE WATER AWAY FROM THE HOUSE.

SUBDIVISION NOTE

THE DEED TRANSFER TO JOHN H. & REBECCA DOTSON (VOL. #595 PAGE #134) MISTAKENLY REFERENCES AN OUTDATED DESCRIPTION OF "UNIT NO. 24". THE DEED TRANSFER MISTAKENLY INCLUDES A PORTION OF 51 HIGHLAND TERRACE. A CORRECTIVE DEED IS NECESSARY TO CORRECT THIS ERROR. THIS PLOT PLAN IS DEPENDENT ON THE REFERENCE MAP.

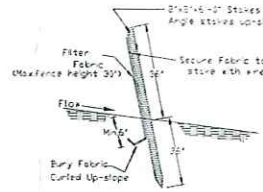
SURVEY NOTES

- 1) THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A ZONING LOCATION SURVEY. THE EXISTING PROPERTY LINES ARE BASED ON A RESURVEY (SEE SUBDIVISION NOTE). THIS MAP CONFORMS TO A HORIZONTAL ACCURACY CLASS "A-2". THIS MAP IS INTENDED TO SHOW A PROPOSED HOUSE & TO DEPICT EXISTING SITE CONDITIONS.
- 2) THE PROPERTY IS SUBJECT TO RESTRICTIONS, DECLARATIONS, EASEMENTS, CONSENT ORDERS AND AGREEMENTS & CAVEATS.

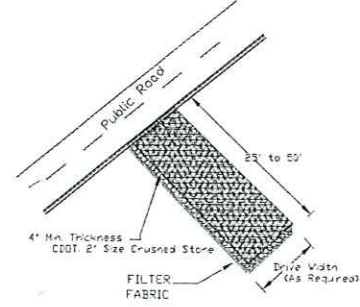
"TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

Paul C. Buckley Reynolds

PAUL C. BUCKLEY REYNOLDS, P. L. S. #70099
MAP NOT VALID WITHOUT A LIVE SIGNATURE & EMBOSSED SEAL



SILT FENCE DETAIL



CONSTRUCTION EXIT

East Hampton Planning & Zoning Official
Approved: *[Signature]*
Date: 6-10-20 Permit # 20-057

RECEIVED
JUN - 5 2020

FILE COPY

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email: mehage@sbccglobal.net

SKYLINE ESTATES, LLC			
LOT 1, 51 HIGHLAND TERRACE, EAST HAMPTON, CT			
PLOT PLAN			
Drawn By:	Date:	Prepared For:	
M. E. H.	04/25/20	Yvon Beaudoin - Builder	
		P.O. Box 150	
		East Hampton, CT	
Scale:	1" = 30'	Sheet:	1 OF 1
		Project No.:	2134

HIGHLAND TERRACE

