

* SUBJECT PROPERTY IS NOT IN A FLOOD HAZARD AREA AS OF THE DATE OF THIS PLAN
** SUBJECT PROPERTY IS NOT IN A DESIGNATED WATERSHED AREA AS OF THE DATE OF THIS PLAN

SEPTIC NOTES:

LOCATION OF EXISTING SEPTIC SYSTEM IS UNKNOWN.

THE EXISTING SEPTIC TANK SHALL BE LOCATED, PUMPED, CRUSHED AND FILLED.

THE EXISTING LEACHING FIELDS SHALL BE LOCATED AND PROPERLY ABANDONED.

HEAVY DASHED LINE REPRESENTS
AREA OF SELECT FILL

PROPOSED 1,000 GALLON SEPTIC TANK
FLOWLINE @ BLDG = 181.75
FLOWLINE IN TANK = 181.05
FLOWLINE OUT TANK = 180.80

**PROPOSED GRAVEL PARKING AREA
(EMPLOYEES ONLY)**

The diagram shows a series of numbered stalls (E2, E3, E4, E5, E6) and a dashed line indicating the boundary of the proposed gravel parking area. A signpost with a 'P' symbol is also visible.

233.20°
N19°23'41"W












PROPOSED CLEARING LIMIT

(SEE SIGHTLINE PLAN FOR GRADING AND TREE REMOVAL IN THIS AREA)

76.02
LIMIT
WOOD

164'

LEGEND

- | | |
|---|----------------------------|
|  | UTILITY POLE |
|  | PROPERTY ANGLE POINT |
|  | C.H.D. MONUMENT (AS NOTED) |
|  | STONE WALL |
|  | SIGN (AS NOTED) |
|  | DRILL HOLE (AS NOTED) |
|  | IRON PIN (AS NOTED) |
|  | SILT FENCE |
|  | PROPOSED CONTOUR |
|  | BUILDING MOUNTED LIGHT |
|  | BITUMINOUS LIP CURB |

RECORD OWNER:
JCG PROPERTIES, LLC
455 PORTLAND-COBALT RD., PORTLAND, CT

APPLICANT:
JONATHAN & CHRISTINE GUSTAVSON
455 PORTLAND-COBALT RD., PORTLAND, CT

SITE PLAN FOR PROPOSED VETERINARY HOSPITAL

PREPARED FOR

JCG PROPERTIES, LLC

9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT

SCALE 1" = 20' - JULY 20, 2021

SHEET 1 OF 3

RECEIVED
7.28.2021
East Hampton
Land Use Office

DUTCH & ASSOCIATES
LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN.
PHONE: (860) 537-3465

IOR NO. 20-175

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL _____ CHAIRMAN

DATE-

EXPIRATION DATE:

**"TO MY KNOWLEDGE AND BELIEF
THIS MAP IS SUBSTANTIALLY CORRECT
AS NOTED HEREON."**

Charles R. Dutch 15776
CHARLES R. DUTCH, L.S. LICENSE NUMBER

MAP REFERENCES

BOUNDARY SURVEY PREPARED FOR EDWARD C. DOHERTY, TRUSTEE OF
THE EDWARD CARNEY DOHERTY REVOCABLE TRUST - 9 MIDDLE HADDAM
ROAD - EAST HAMPTON, CONNECTICUT - SCALE 1" = 60' - FEBRUARY 3, 2016
- BY DUTCH & ASSOCIATES

2 LOT SUBDIVISION PREPARED FOR JONATHAN & CHRISTINE GUSTAVSON -
9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT - SCALE: 1" = 60'
- JANUARY 29, 2021 - BY DUTCH & ASSOCIATES

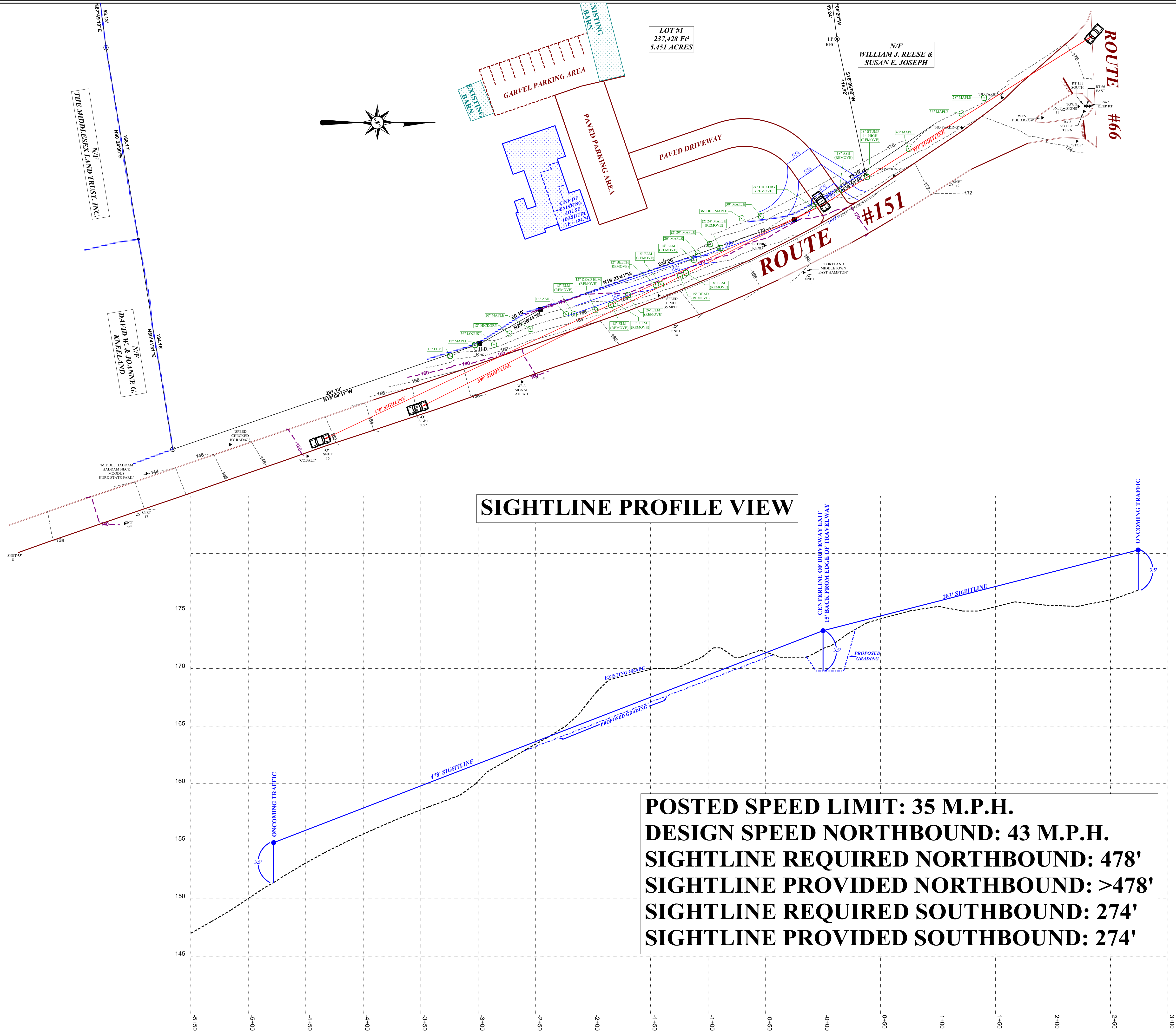
REFERENCE NOTE

THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-2 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY IS "ZONING LOCATION SURVEY".

THE BOUNDARY DETERMINATION CATEGORY IS "DEPENDENT RESURVEY".

THE HORIZONTAL ACCURACY CONFORMS TO "C" STANDARDS.



LEGEND	
	UTILITY POLE
	PROPERTY ANGLE POINT
	C.H.D. MONUMENT (AS NOTED)
	STONE WALL
	SIGN (AS NOTED)
	DRILL HOLE (AS NOTED)
	IRON PIN (AS NOTED)
	SILT FENCE

SIGHTLINE NOTES:

PROPOSED SIGHTLINE TO TRAFFIC NORTHBOUND BASED ON 85TH PERCENTILE SPEED PER CONNDOT SPOT SPEED STUDY AT LOCATION #1535 COLLECTED 4/13/2012.

DESIGN SPEED FOR NORTHBOUND TRAFFIC IS 43 M.P.H.
SIGHTLINE DISTANCE REQUIRED @ 43 M.P.H. = 478 FEET

POSTED SPEED IN THIS AREA IS 35 M.P.H.
SIGHTLINE DISTANCE REQUIRED @ 35 M.P.H. = 390 FEET

THE AMOUNT OF TREE CLEARING AND GRADING REQUIRED TO ACHIEVE SIGHTLINE FOR NORTHBOUND TRAFFIC IS SIGNIFICANTLY LESS TO ACHIEVE 390 FEET COMPARED WITH 478 FEET. THE NECESSITY OF A DESIGN SPEED OF 43 M.P.H. IN THIS AREA SHOULD BE CONSIDERED IN LIGHT OF THE POSTED SPEED, THE UPHILL GRADE, AND THE SIGNAGE INDICATING THE SIGNAL CONTROLLED INTERSECTION.

PROPOSED SIGHTLINE TO TRAFFIC SOUTHBOUND IS 274' WHICH IS THE DISTANCE TO THE SINGAL CONTROLLED INTERSECTION WITH ROUTE #66

PROPOSED TREE REMOVAL, AND GRADING TO BE PERFORMED AND GRASS AND BRUSH TO BE MAINTAINED TO ACHIEVE SIGHTLINE.

**SIGHTLINE PLAN FOR PROPOSED
VETERINARY HOSPITAL**
PREPARED FOR

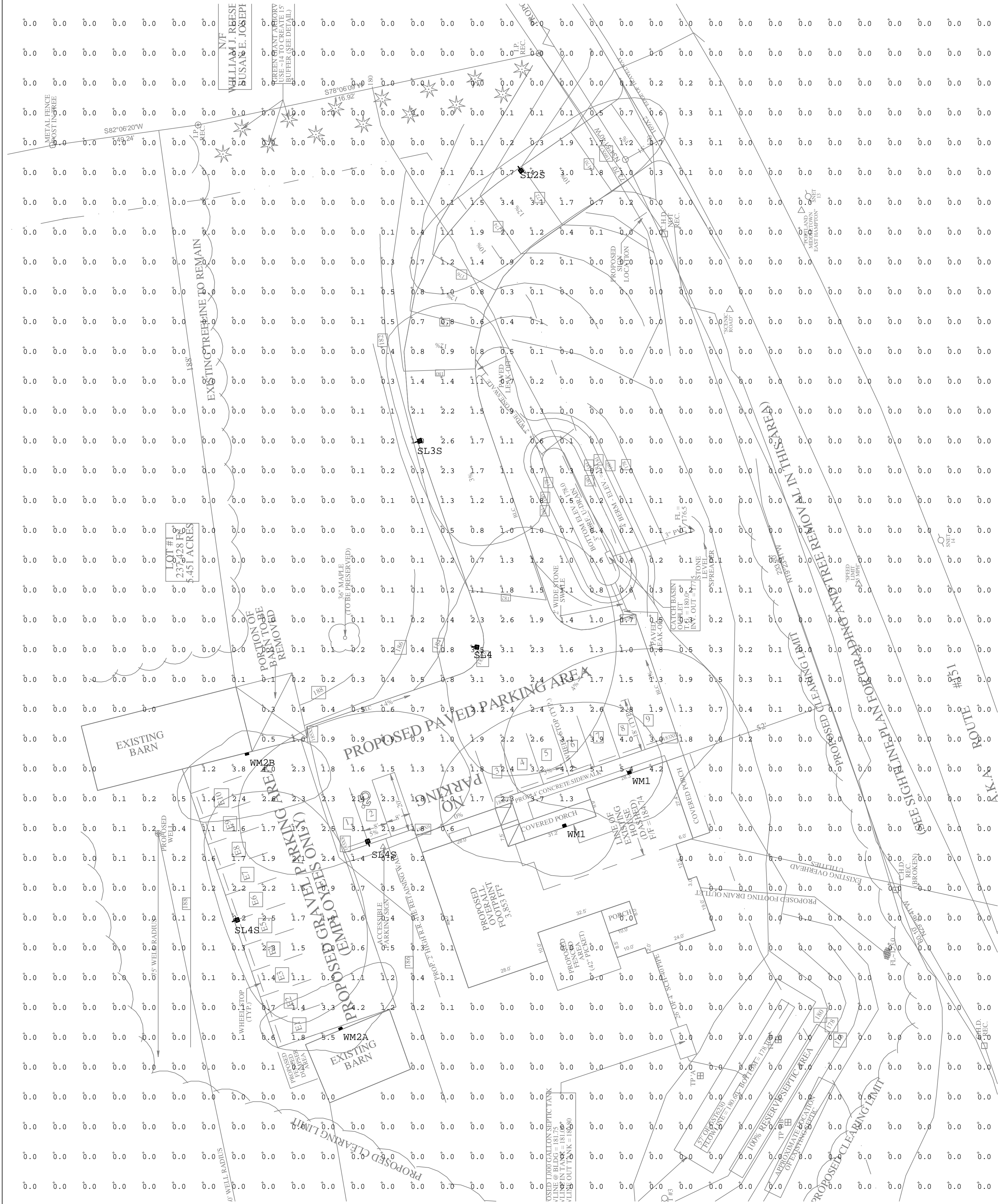
JCG PROPERTIES, LLC

9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT
SCALE: HORIZ. 1" = 40' - VERT. 1" = 4' - JULY 20, 2021
SHEET 2 OF 3



DUTCH & ASSOCIATES
LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN.
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JOB NAME: 9 MIDDLE HADDAM RD - COBALT, CT
APEX LIGHTING SOLUTIONS
WORKPLANE/CALC PLANE: AT FINISH GRADE
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
APPS: LED
SALES: RT

Luminaire Schedule						
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating
Description						
1	SL2S	SINGLE	5483	55.7	0.850	B1-U0-G1
GARDCO ECF-S-32L-530-WW-G2-AR-2-UNV-HIS-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH						
1	SL3S	SINGLE	5579	55.7	0.850	B1-U0-G2
GARDCO ECF-S-32L-530-WW-G2-AR-3-UNV-HIS-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH						
1	SL4	SINGLE	7327	55.7	0.850	B1-U0-G2
GARDCO ECF-S-32L-530-WW-G2-AR-4-UNV-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH						
2	SL4S	SINGLE	5746	55.7	0.850	B1-U0-G2
GARDCO ECF-S-32L-530-WW-G2-AR-4-UNV-HIS-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH						
2	WM1	SINGLE	7367	64.6	0.850	B1-U0-G2
STONCO LPW32-70-WW-G3-4-UNV-FINISH / WALL MOUNTED @ 16FT AFG TO TOF						
1	WM2A	SINGLE	2457	22.3	0.850	B1-U0-G1
STONCO LPW16-20-WW-G3-3-UNV-FINISH / WALL MOUNTED @ 7FT6IN AFG TO TOF						
1	WM2B	SINGLE	2457	22.3	0.850	B1-U0-G1
STONCO LPW16-20-WW-G3-3-UNV-FINISH / WALL MOUNTED @ 12FT AFG TO TOF						

Calculation Summary						
Label	Grid Height		Avg	Max	Min	Avg/Min
CalcPts_1	0		0.17	5.5	0.0	N.A.
PARKING & DRIVE LANE			1.83	5.1	0.6	3.05

GENERAL DISCLAIMER:
Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

* LLF Determined Using Current Published Lamp Data

NOTE TO REVIEWER:
Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.
For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.



PROJECT TITLE:

9 MIDDLE HADDAM RD
COBALT, CT

DRAWING TITLE:

SITE LIGHTING
PHOTOMETRIC CALCULATION

SCALE: 1"=20'-0"

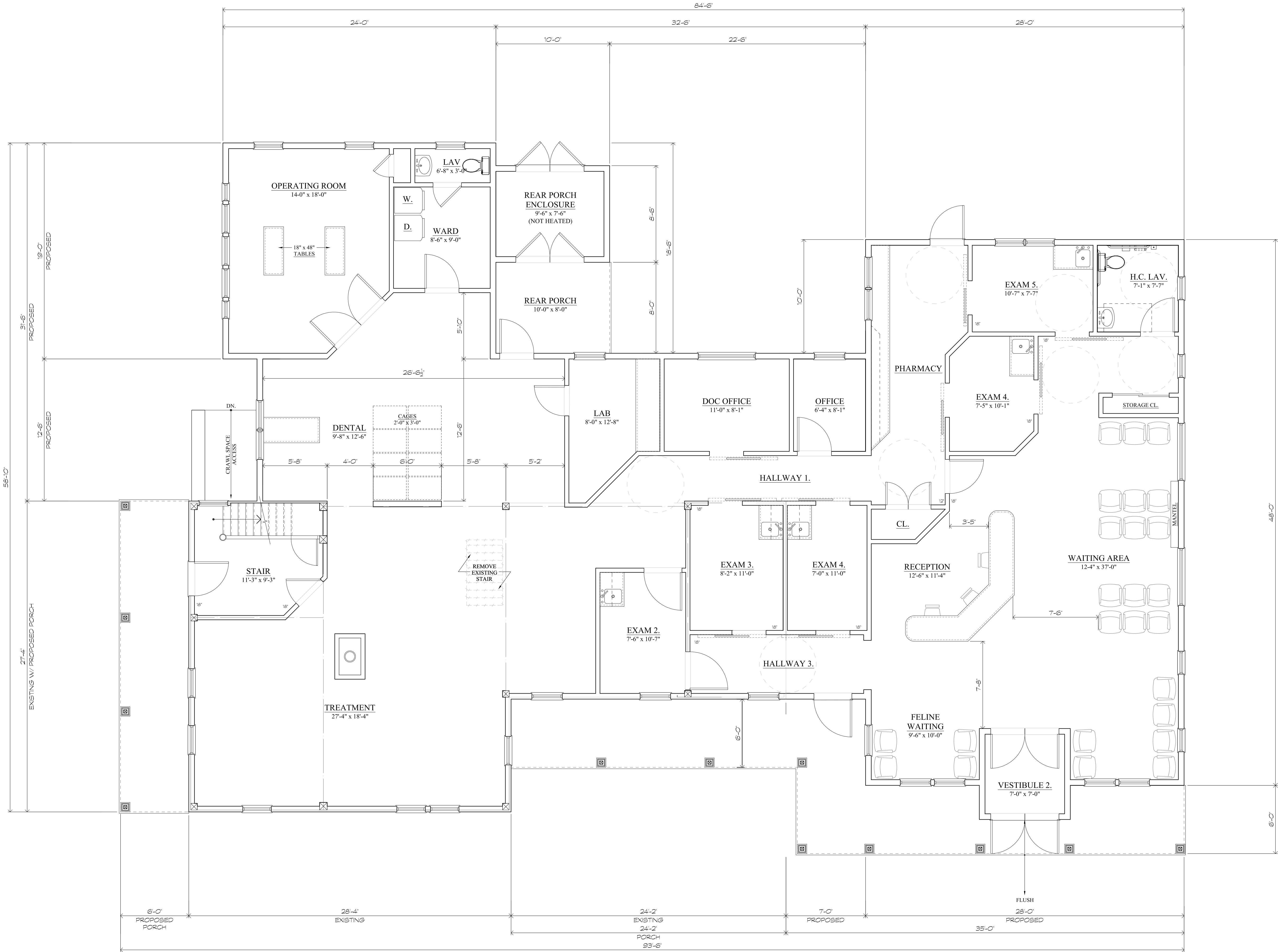
DATE: 8/3/21

DRAWN BY: LED

SHEET:

SL-1

RECEIVED
8.4.2021
East Hampton
Land Use Office



EXISTING FIRST FLOOR PLAN WITH PROPOSED ADDITION

SCALE: 1/4" = 1'-0"

RECEIVED
7.28.2021
East Hampton
Land Use Office

THOMAS NOLAN
DESIGN, LLC

23 Freestone Avenue. Portland, CT 06480
Phone: 860.424.6588
tnolandesignllc@gmail.com

Additions and Alterations To The:
EAST HAMPTON
Veterinary Center

9 MIDDLE HADDAM ROAD
EAST HAMPTON, CT 06424

FIRST FLOOR PLAN
3827 S.F. - 2nd Flr. 1168

SCALE:
AS NOTED

DRAWING RELEASE DATE:
JUNE 25, 2021

BID SET DATE:
TBD

CONTRACT SET DATE:
TBD

A1.0



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1
A3.0



EAST ELEVATION

SCALE: 1/4" = 1'-0"

2
A3.0

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Additions and Alterations To The:
**EAST HAMPTON
Veterinary Center**
9 MIDDLE HADDAM ROAD
EAST HAMPTON, CT 06424

ELEVATIONS

SCALE:
AS NOTED
DRAWING RELEASE DATE:
JUNE 25, 2021
BID SET DATE:
TBD
CONTRACT SET DATE:
TBD

A3.0



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1
A4.0



EAST ELEVATION

SCALE: 1/4" = 1'-0"

2
A4.0

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**EAST HAMPTON
Veterinary Center**

9 MIDDLE HADDAM ROAD
EAST HAMPTON, CT 06424

ELEVATIONS

SCALE:
AS NOTED

DRAWING RELEASE DATE:
JUNE 25, 2021

BID SET DATE:
TBD

CONTRACT SET DATE:
TBD

A4.0