

DEEP TEST PIT DATA

TP 'A'	
0 - 8"	TOPSOIL

- 8 28" BROWN FINE SANDY LOAM
- 28 65" MODERATELY COMPACT LIGHT BROWN, PALE BROWN SILTY SAND

W/ ROCKS & GRAVEL |MOTTLES: NO - GW: NO - LEDGE: 65" - ROOTS: 42"

- | 0 9" TOPSOII
- 9 22" BROWN FINE SILTY LOAM
- 22 48" BROWN FINE SANDY LOAM 48 - 84" BROWN LIGHT BROWN MODERATELY COMPACT SILTY SAND
- W/ ROCKS & GRAVEL W/ BOULDERS
- (UNSURE IF BOULDER IN CENTER OF TEST HOLE) MOTTLES: NO - GW: NO - LEDGE: POSSIBLE @ 63" & 84" - ROOTS: 48"

DEPTH: 106"*

- |0 6" TOPSOIL 6 - 30" BROWN FINE SILTY LOAM
- 30 63" FINE PALE BROWN SILTY SAND
- MOTTLES: NO GW: NO LEDGE: 63" CENTER OF HOLE AND AT 28" UP GRADINENT SIDE OF HOLE - ROOTS: 36"

|0 - 10" TOPSOIL

10 - 25" BROWN FINE SILTY LOAM LEDGE: 25"

- 0 9" TOPSOIL
- 9 32" BROWN FINE SILTY LOAM
- LEDGE: 17" UP GRADIENT, 48" CENTER OF HOLE DEPTH: 76"*

TEST PITS AS WITNESSED AND DESCRIBED BY LIZ DAVIDSON, RS 8/24/16 * HOLE DEPTHS AFTER ADDITIONAL DIGGING WITNESSED BY DANIELLE

HOLMES, SANITARIAN

DESIGN FLOW CALCULATIONS: DESIGN FLOW IS BASED ON AVERAGING HISTORICAL WATER USAGE FOR THE VETERNARY HOSPITAL WITH CT DPH DESIGN FLOWS FOR MEDICAL OFFICES WITH EXAM ROOMS FOUND IN TABLE 4 OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS.

THE AVERAGE WATER READING TAKEN FROM THIS BUSINESSES EXISTING PORTLAND SITE FROM JANUARY 2018 TO JANUARY 2020 = 242 GPD. THE PORTLAND SITE HAS A FACITITY WITH A GROSS FLOOR AREA OF 2,163 FT

WITH A 50% SAFTY MARGIN 242 X 1.5 = 363 GPD

 $363 \text{ GPD} / 2,163 \text{ FT}^2 = 0.168 \text{ GAL./FT}^2$

THIS PROPOSED SITE FACILITY'S GROSS FLOOR AREA = 5,109 FT²

DESIGN FLOW BASED ON WATER USAGE = 5,109 FT² X 0.168 GAL./FT² = 853.31 GPD

DESIGN FLOW BASED ON MEDICAL OFFICES W/EXAM ROOM = 5,109 FT² X 0.2 = 1,021.8 GPD

AVERAGE DESIGN FLOW USED FOR THIS PLAN:

(853.31 + 1.021.8) / 2 = 940 GPD

REQUIRED ELA CALCULATION:

DESIGN FLOW: 940 GPD APPLICATION RATE FOR PERC <10.1 = 0.8

REQUIRED ELA = DESIGN FLOW / APPLICATION RATE

REQUIRED ELA = $940 / 0.8 = 1,175 \text{ FT}^2$

MLSS CALCULATION:

HYDROLIC FACTOR (HF): 18

PERC. FACTOR (PF): 1.0

FLOW FACTOR (FF)= DESIGN FLOW / 300 = 940 / 300 = 3.13

|MLSS| = HF X PF X FF = 18 X 1.0 X 3.13 = 57'

SEPTIC SYSTEM DESIGN:

USE A MINIMUM 1,000 GALLON SEPTIC TANK

USE (1) 57' ROW OF GEOMATRIX GST 6230 @ 22.1 FT2 OF LEACHING PER LINEAR FOOT OF TRENCH.

57 X 22.1 = 1,259.7 FT² OF LEACHING PROVIDED (1,175 FT² OF LEACHING REQUIRED)

STANDARD SEPTIC NOTES: AN AS-BUILT SHALL BE SUBMITTED (A-2 WITH TIES FOR ENGINEERED PLAN AND TIED PLAN FOR NON-ENGINEERED) TO THE HEALTH DEPARTMENT

WITH DISTANCES TO FLOW LINE AT HOUSE, INLET AND OUTLET COVER OF TANK, D-BOX(S), CLEANOUTS AND ENDS OF LEACHING ROWS, WELL, FOOTING/CURTAIN DRAINS AND BETWEEN TIE POINTS. IN ADDITION. PROVIDE THE NAME OF THE INSTALLER, DATE, HOUSE LOCATION AND

ALL TANKS REQUIRING RISERS SHALL MAINTAIN THE ORIGINAL COVERS ON THE TANKS, HAVE RISER COVERS THAT WEIGH AT LEAST 59 LBS. AND/OR INSTALL A SAFETY DEVICE BELOW THE RISER TO PREVENT INDIVIDUALS FROM FALLING INTO TANK. ALL BELOW GRADE TANK OR RISER COVER HANDLES SHALL CONTAIN OR BE FITTED WITH A MATERIAL THAT CAN BE LOCATED WITH A METAL DETECTOR.

THE HEALTH DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ANY INSPECTIONS AND THE FOLLOWING INSPECTIONS WILL BE REOUIRED: A.) SYSTEM STAKE/BENCHMARK INSPECTION/ WELL SITE STAKE VERIFICATION B.) SEPTIC LEACHING STRIP INSPECTION, C.) SEPTIC FINAL INSPECTION (WHICH MAY ALSO REQUIRE OTHER INSPECTIONS INCLUDING, BUT NOT LIMITED TO FILL INSPECTIONS/ PERCING OF FILL. PUMP/PUMP CHAMBER, GREASE TRAP, CURTAIN DRAIN, FOOTING DRAIN DISCHARGE, COVER INSPECTIONS, BUILDING WALKTHROUGH, WATER TREATMENT WASTEWATER DISPOSAL SYSTEM LOCATION VERIFICATION, WELL CASTING AND CAP VERIFICATIONS)

THOUGH NOT REQUIRED, ALL PROPOSED WELL ARCS SHOULD BE KEPT ON THE PROPERTY THEY SERVE (TO ALLOW NEIGHBORS FULL USE OF THEIR PROPERTIES) AND ALL WELL CASTINGS SHOULD BE LOCATED AT LEAST 10' FROM DRIVING SURFACES AND/OR STRUCTURES TO PREVENT FUTURE DAMAGE AND ALLOW FOR MAINTENANCE OF THE WELLS.

IT IS STRONGLY ENCOURAGED TO KEEP THE ORIGINAL TANK COVERS ON ALL TANKS REOUIRING RISERS TO PREVENT THE ESCAPE OF SEWER GASES AND PREVENT INDIVIDUALS FROM FALLING INTO TANKS.

THE DESIGNER SHOULD TAKE INTO CONSIDERATION THE LOCATION OF POTENTIAL FUTURE WATER TREATMENT DISCHARGE SYSTEMS, RAIN GARDENS AND FOOTING/CURTAIN DRAIN DISCHARGE LOCATIONS.

"THE CONNECTICUT PUBLIC HEALTH CODE - ON-SITE SEWAGE DISPOSAL REGULATIONS AND TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS" ARE PART OF THIS PLAN. ALL WORK SHALL BE SUBJECT TO THESE REGULATIONS.

ADDITIONAL TEST PIT DATA

Location:	9 Middle	Haddam Rd, Eas	st Haddam	1				Weather: Su	unny 75		
Percent Slope:			Pare	nt Material:		Charton ar					
Completed by: Ryan McCammon					Accura	acy Assured by (if P.	ed form): Ry	orm): Ryan McCammon			
		P.E. or Certified Loc	-						Certi	fied Local Health Agent	
Others Pr	esent for S	ite Investigation:	Charlie D								
						eveloper, P.E., etc.)					
Test Pit #		Depth to Observ					Standing:	N/O	Observed	d Ledge E-29" W 56"	
Soil Horizon	Depth (inches)	Matrix Color	Depth	oximorphic Feat Color	ures %	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other	
A	0-7"	Dark Brown				topsoil	0	friable	Yes		
B1	7-28"	Orange Brown				fine sandy loam	5	friable	Yes		
C1	28-40"	Yellow Brown	28"	Orange	10%	med sandy loam	5	firm	No		
C2	40-56"	Grey				fine loamy sand	10	friable	No		
Test Pit #	BB-55	Depth to Observ	ved Groun	d-Water (inches): N/O		Standing:	N/O	Observed	d Ledge 54"	
Soil Horizon	Depth (inches) Matrix Color Redoximorphic F		oximorphic Feat Color	ures %			Soil Consistence	Roots	Other		
A	0-6"	Dark Brown				topsoil	0	friable	Yes		
B1	6-30"	Orange Brown				fine sandy loam	5	friable	Yes	Drainage pipe 16"	
C1	30-54"	Yellow Brown	30"	Orange	10%	med sandy loam	5	firm	No		

PERCOLATION

7/1/16 DEPTH: 32" NAIL: 3" PRESOAK: 9:20 AM 11:05 15.50"

20.00" 11:20 23.88"

PERC RATE: 1.8 MIN./IN.

TEST DATA

18.25" 11:15

PERC TEST CONDUCTED BY DUTCH & ASSOCIATES

TRENCHES TO BE INSTALLED NO DEEPER THAN 0" INTO ORIGINAL GROUND

SELECT FILL

TRENCH SECTION B-B

PROPOSED GRADE

GEOMATRIX GST™LEACHING SYSTEM

B-B' CROSS SECTION

Finished Grade shall be pitched to sheet flow

Cover material depth shall be >6"

and shall be uniform over system

ASTM C-33 Sand

*H= 6" (GST6206)

12" (GST6212)

18" (GST6218)

24" (GST6224

30" (GST6230

2:1 SLOPE

*P= 2" - 5.5"

stormwater away from system \

*3" min. I.D., ASTM D-3034, SDR 35 pipe for gravity applications

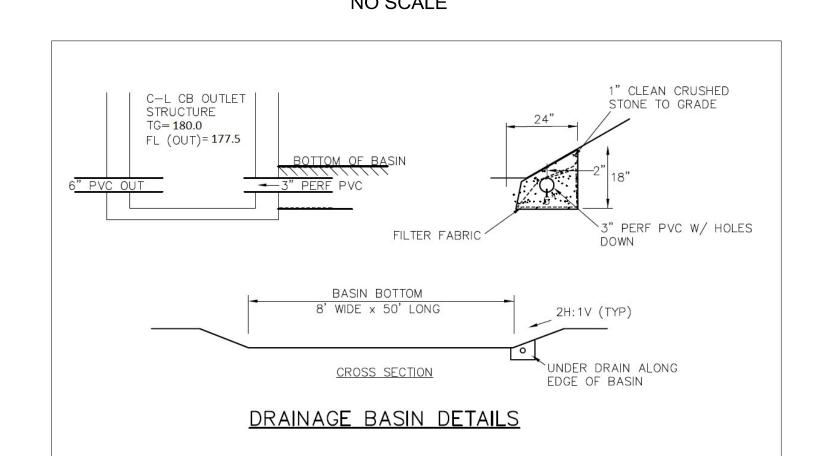
0.75" min. I.D., ASTM D-2665, SCH 40 PVC pipe for pressure applications

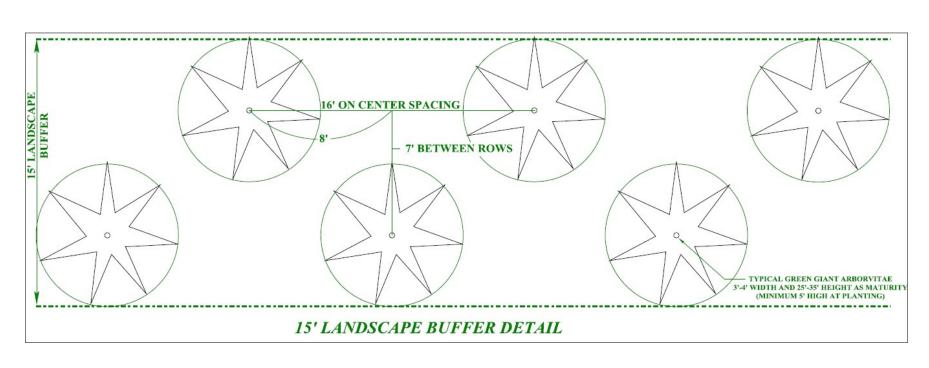
Distribution Pipe*

CT DOT No. 6 stone

B-B' Cross Section
Geomatrix Systems, LLC., Killingworth, CT

SELECT FILL COMMON FILL





GENERAL NOTES

PRIMARY AND RESERVE SEPTIC AREAS ARE TO BE PROTECTED FROM COMPACTION AND DAMAGE BY MACHINERY AND EQUIPMENT DURING CONSTRUCTION. ADDITIONAL TEST PITS MAY BE REQUIRED TO CONFIRM SOIL CONDITIONS IN THE AREA OF THE PRIMARY AND RESERVE LEACHING FIELDS. PITS ARE TO BE DUG PRIOR TO THE START OF CONSTRUCTION OF THE SEPTIC SYSTEM AND ARE TO BE STAKED IN THE FIELD BY ENGINEER TO ENSURE PROPER LOCATION.

DISTRIBUTION BOXES TO BE INSTALLED TO CREATE A HIGH LEVEL OVERFLOW (4" MIN) SEPTIC SYSTEM SHALL CONFORM TO THE CURRENT STATE OF CONNECTICUT PUBLIC HEALTH CODE

AT SHALLOWER DEPTH THAN THOSE SHOWN IN THE DEEP TEST HOLE RESULTS THE ENGINEER SHALL BE CONTACTED IMMEDIATELY AND CONSTRUCTION HALTED UNTIL FURTHER DIRECTED

SDR 35 TIGHT PIPE FROM TANK TO D. BOX AND BETWEEN D. BOXES CONTOURS TAKEN FROM ON SITE FIELD TOPOGRAPHY AND ARE TO T-2 STANDARDS

REQUIRED FILL SPECIFICATIONS

ALL LEACHING PRODUCTS WITH EFFECTIVE LEACHING CREDITS OF 7.4 SF/LF AND HIGHER SHALL NOT BE UTILIZED WHERE THE UNDERLYING NATURALLY OCCURIN SOILS HAVE A MINIMUM PERCOLATION RATE SLOWER THAN THIRTY (30) MINUTES SELECT FILL MATERIAL AND SELECT BACKFILL MATERIAL, PLACED WITHIN AND ADJACENT TO PROPOSED LEACHING AREAS SHALL BE COMPOSED OF CLEAN SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE FILL MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA

 THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE (3) INCHES.
 UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE). THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE NALYSIS STARTED. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA: SIEVE SIZE PERCENT PASSING

DRY SIEVE TEST THE RESPONSIBILITY FOR THE PREPARATION OF A LEACHING AREA UTILIZING SELECT MATERIAL IS THAT OF THE LICENSED INSTALLER. THE INSTALLER

NOTE: WATER TREATMENT DEVICES NOT TO DISCHARGE INTO SEPTIC SYSTEM

MINIMUM LOT WIDTH

MINIMUM LOT FRONTAGE

MINIMUM FRONT SETBACK

MINIMUM SIDE SETBACK

MINIMUM REAR SETBACK

CONSTRUCTION NOTES

NO CHANGE IN PLAN LOCATION OR ELEVATION SHALL BE MADE WITHOUT NOTIFYIING THE ENGINEER AND THE PROPER TOWN AUTHORITY THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION TO SET LOCATION AND

GRADE STAKES FOR THE SUBSURFACE SEWAGE DISPOSAL SYSTEM TO INCLUDE: FILL MATERIAL, SEPTIC TANK, PRIMARY LEACH SYSTEM. SIMILAR STAKING REQUIRED FOR ALL CURTAIN AND FOUNDATION DRAINS AND WEL NO SOIL STRIPPING OR EXCAVATION SHALL BEGIN WITHIN THE AREA OF THE

A LICENSED SEWAGE DISPOSAL SYSTEM INSTALLER SHALL OBTAIN A CONSTRUCTION PERMIT AND ARRANGE FOR THE SITE INSPECTION PRIOR TO CONSTRUCTION. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE STATE, AND LOCAL RULES, REGULATIONS AND CODES.

TOPSOIL TO BE STRIPPED AND STOCKPILED PRIOR TO ANY FILLING. SCARIFY AREA BEFORE FILLING, AVOID STRIPPED AREA WITH HEAVY VEHICLES ON WHEELS TO BULLDOZER IN 6" LIFTS AND COMPACT TO 90% MAXIMUM DENSITY

SANITARIAN TO INSPECT ANY FILL OVER 24" DEEP PRIOR TO CONSTRUCTION.

GRADE. TRENCH LATERALS SHALL BE LEVEL WITH PERFORATIONS DOWNWARD. NO CONSTRUCTION BELOW ORIGINAL GRADE IN THE LEACHING SYSTEM AREA SHALL TAKE ALL FOOTING DRAINS, CURTAIN DRAINS AND SUBSURFACE SEWAGE DISPOSAL SYSTEM COMPONENTS SHALL BE INSPECTED BY THE TOWN AND LOCATED "AS-BUILT" BY THE ENGINEER/LAND SURVEYOR PRIOR TO COVERING. INSPECTION SHALL BE WITHIN 2 WORKING DAYS FOLLOWING TIMELY NOTIFICATION BY THE

ALL DISTURBED AREAS SHALL BE GRADED, LOAMED, AND SEEDED AS SOON AS POSSIBLE AFTER CONSTRUCTION. IF SEEDING CANNOT TAKE PLACE DURING THE GROWING SEASON, A TEMPORARY MULCH COVER SHALL BE PLACED AND MAINTAINED UNTIL PERMANENTCOVER CAN BE ESTABLISHED.

CONTRACTOR TO PROTECT OPEN WORK FROM SILTATION AND EROSION.

A LICENSED WELL DRILLER SHALL OBTAIN A PERMIT PRIOR TO ANY DRILLING. THE ELL SHALL BE PROVIDED IN ACCORDANCE WITH THIS PLAN AND ALL APPLICABLE STATE AND LOCAL REGULATIONS AND CODES.

SATISFACTORY COMPLETION OF ALL THE ABOVE REQUIREMENTS SHALL PRECEED THE FINAL INSPECTION AND APPROVAL OF THE SUBSURFACE SEWAGE DISPOSAL SYSTEM AND WELL

PROPOSED

237,428 FT²

643.50'

648.13

6.9%

52'E

188'N - 294'S

4" PROCESSED

GRAVEL (COMPACT)

8" BANK RUN

GRAVEL (COMPACT)

3" BITUMINOUS CONCRETE

4" PROCESSED

GRAVEL (COMPACT)

8" BANK RUN

GRAVEL (COMPACT)

137' W

EROSION CONTROL NOTES

GENERAL REQUIREMENTS FOR EROSION CONTROL:

A SCHEDULE OF OPERATIONS TO INCLUDE STARTING AND COMPLETION DATES FOR MAJOR DEVELOPMENT PHASES, SUCH AS LAND CLEARING AND GRADING, STREET, SIDEWALK, AND STORM SEWAGE INSTALLATION, ETC.

SEEDING, SODDING, OR REVEGETATION PLANS AND SPECIFICATIONS FOR ALL UNPROTECTED OR UNVEGETATED AREAS SHALL BE IMPLEMENTED AS SOON AS

EXCAVATIONS, FILLS AND GRADING:

CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 UNLESS STABILIZED BY A RETAINING WALL OR CRIBBING, EXCEPT AS APPROVED BY THE COMMISSION ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATER FROM

DAMAGING THE CUT FACE OF EXCAVATION OR THE SLOPING SURFACES OF FILLS. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY.

FILL SHALL BE PLACED AND COMPACTED SO AS TO MINIMIZE SLIDING OR EROSION

GRADING SHALL NOT BE DONE IN SUCH A WAY SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED CONSENT OF THAT LANDOWNER AND THE COMMISSION.

FILLS SHALL NOT ENCROACH ON THE NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS. DURING GRADING OPERATIONS, NECESSARY MEASURES FOR DUST CONTROL SHALL

GRADING EQUIPMENT WILL NOT BE ALLOWED TO CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER METHODS AS APPROVED BY THE COMMISSION

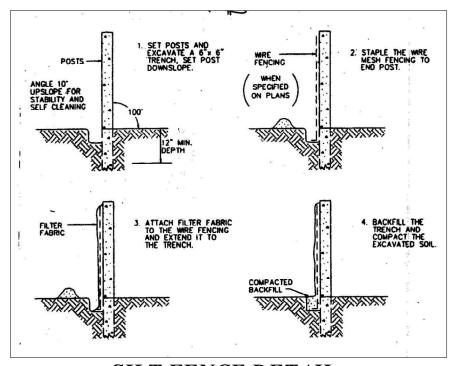
IMPLEMENTATION PROCEDURES:

WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.

WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.

WHERE NECESSARY, TEMPORARY VEGETATION AND/OR MULCHING SHOULD BE USED TO PROTECT AREAS EXPOSED DURING DEVELOPMENT.

THE PERMANENT FINAL VEGETATION AND STRUCTURES SHOULD BE INSTALLED AS SOON AS PRACTICAL IN THE DEVELOPMENT



SILT FENCE DETAIL

- SEAL 1/2" DEEP HOLE W/ MORTAR PRECAST CONCRETE WHEEL STOP

PAVED PARKING AREA PROFILE DETAIL

GRAVEL PARKING AREA

PROFILE DETAIL

ZONING COMPLIANCE CHART - ZONE: R-2 (W/O SEWER)

REQUIRED PARKING CALCULATION PER TABLE 7.1.B OF THE EAST HAMPTON ZONING REGULATIONS

LARGEST SHIFT = 2 DOCTORS & 9 SUPPORT STAFF (EMPLOYEES)

PLUS 1 SPACE FOR PEOPLE WITH DISABILITIES PER 25 SPACES

OR PART THEREOF => 1 SPACE REQUIRED (1 SPACE PROVIDED)

UPPER THRESHOLD: 5 SPACES PER DOCTOR + 1 PER EMPLOYEE (19 SPACES)

LOWER THRESHOLD: 4 SPACES PER DOCTOR (8 SPACES)

60 000 FT

150'

100'

10%

FOR MEDICAL AND DENTAL OFFICES:

(19 SPACES PROVIDED)

EXISTING

237,428 FT²

643.50'

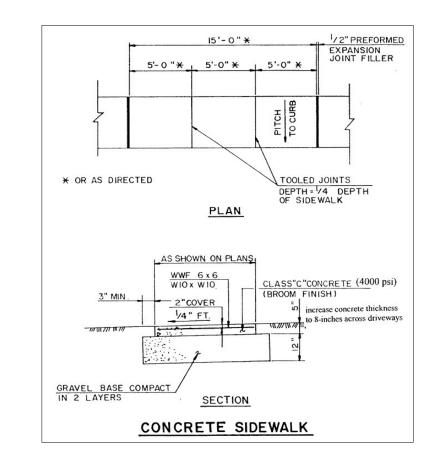
648.13'

3.43%

58.2'E

137.0'W

.86.3'N - 294.0'S



DETAIL SHEET FOR PROPOSED VETERINARY HOSPITAL

PREPARED FOR

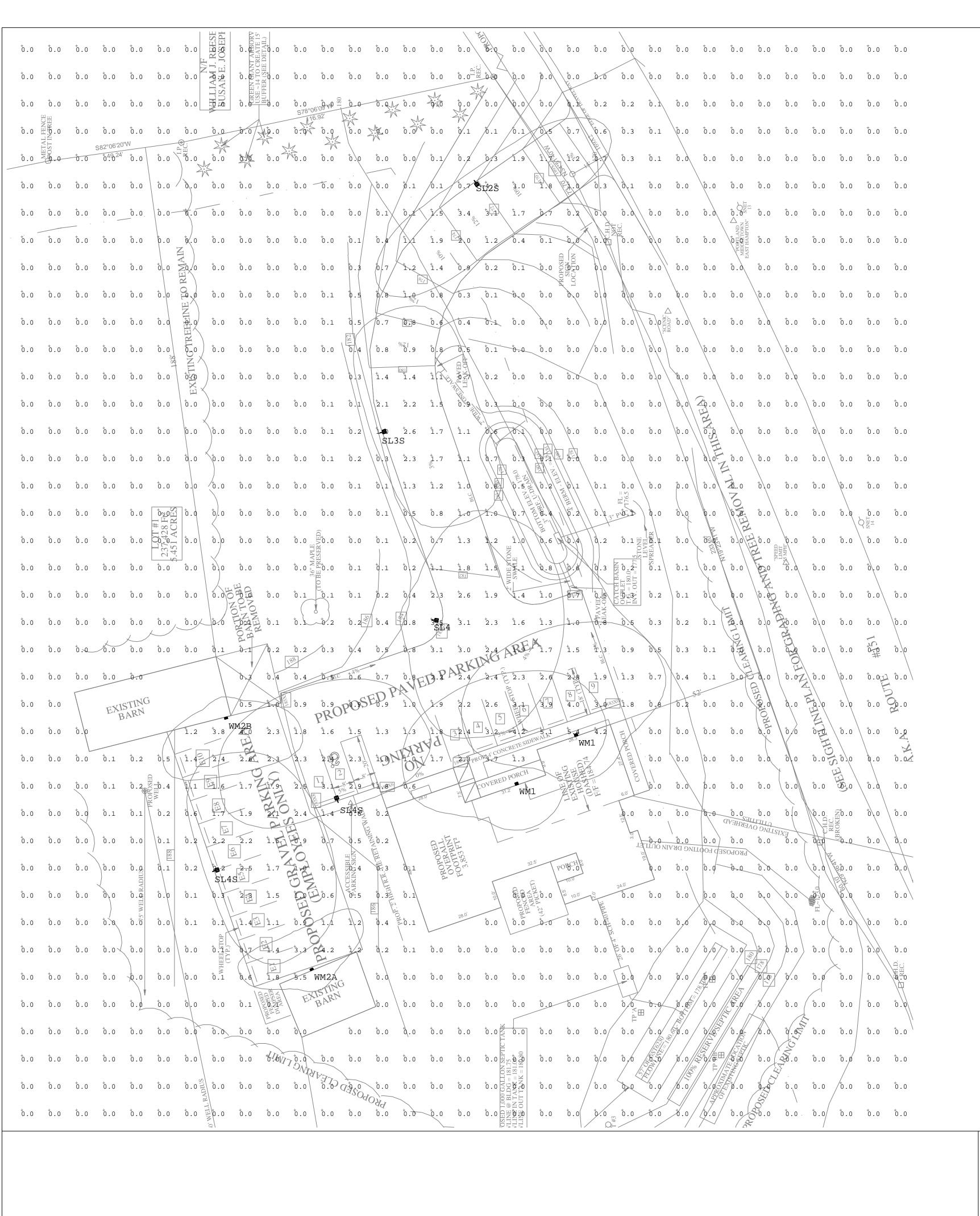
JCG PROPERTIES, LLC

9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT SCALE: N.T.S. - JULY 20, 2021 SHEET: 3 OF 3

DUTCH & ASSOCIATES

LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN. PHONE: (860) 537-3465



JOB NAME: 9 MIDDLE HADDAM RD - COBALT, CT APEX LIGHTING SOLUTIONS WORKPLANE/CALC PLANE: AT FINISH GRADE

MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE APPS: LED SALES: RT

Lumi	naire Sc	hedule					
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
1	SL2S	SINGLE	5483	55.7	0.850	B1-U0-G1	GARDCO ECF-S-32L-530-WW-G2-AR-2-UNV-HIS-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH
1	SL3S	SINGLE	5579	55.7	0.850	B1-U0-G2	GARDCO ECF-S-32L-530-WW-G2-AR-3-UNV-HIS-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH
1	SL4	SINGLE	7327	55.7	0.850	B1-U0-G2	GARDCO ECF-S-32L-530-WW-G2-AR-4-UNV-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH
2	SL4S	SINGLE	5746	55.7	0.850	B1-U0-G2	GARDCO ECF-S-32L-530-WW-G2-AR-4-UNV-HIS-FINISH / MOUNTED TO SSS-17-4-11-D1-FINISH
2	WM1	SINGLE	7367	64.6	0.850	B1-U0-G2	STONCO LPW32-70-WW-G3-4-UNV-FINISH / WALL MOUNTED @ 16FT AFG TO TOF
1	WM2A	SINGLE	2457	22.3	0.850	B1-U0-G1	STONCO LPW16-20-WW-G3-3-UNV-FINISH / WALL MOUNTED @ 7FT6IN AFG TO TOF
1	WM2B	SINGLE	2457	22.3	0.850	B1-U0-G1	STONCO LPW16-20-WW-G3-3-UNV-FINISH / WALL MOUNTED @ 12FT AFG TO TOF

Calculation Summary						
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.17	5.5	0.0	N.A.	N.A.
PARKING & DRIVE LANE		1.83	5.1	0.6	3.05	8.50

RECEIVED 8.4.2021 East Hampton Land Use Office

GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

* LLF Determined Using Current Published Lamp Data

* LLF Determined Usi

NOTE TO REVIEWER:

Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.

For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.



PROJECT TITLE:

9 MIDDLE HADDAM RD COBALT, CT

SCALE : 1"=20'-0"

DATE: 8/3/21

SHEET:

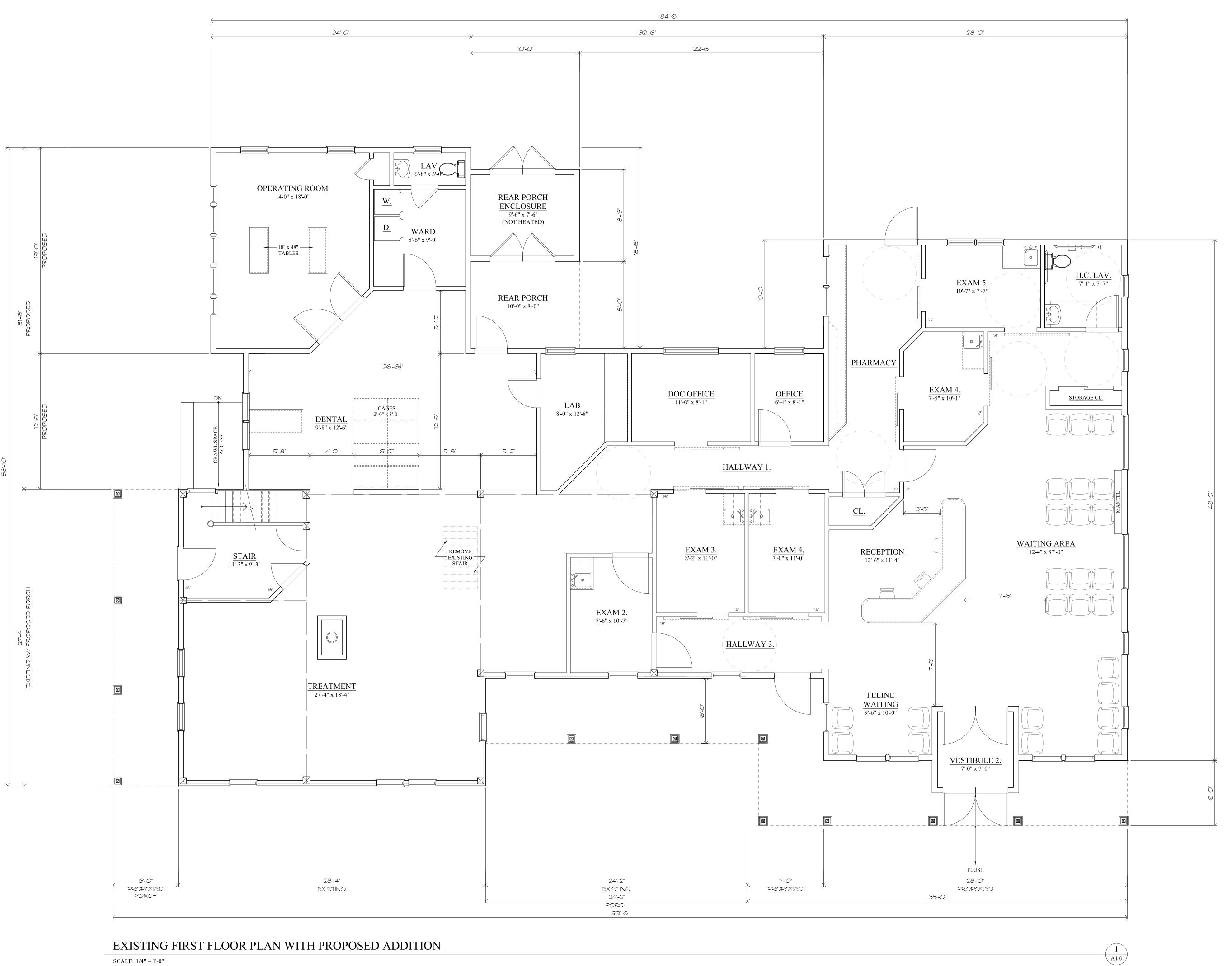
DRAWING TITLE:

SITE LIGHTING PHOTOMETRIC CALCULATION

SL-

DRAWN BY: LED

FILE NAME: SL-1 9 MIDDLE HADDAM RD - COBALT, CT 08-03-2021 LED.dwg



RECEIVED 7.28.2021 East Hampton Land Use Office

THOMAS NOLAN DESIGN, LLC

23 Freestone Avenue. Portland, CT 06480 Phone: 860.424.6588 tnolandesignllc@gmail.com

Additions and Alterations To The: EAST HAMPTON Veterinary Center

9 MIDDLE HADDAM ROAD EAST HAMPTON, CT 06424

FIRST FLOOR PLAN 3827 S.F. - 2nd Flr. 1168

SCALE: AS NOTED DRAWING RELEASE DATE: JUNE 25, 2021 A1.0 BID SET DATE: CONTRACT SET DATE:

SCALE: 1/4" = 1'-0"





THOMAS NOLAN DESIGN, LLC

23 Freestone Avenue. Portland, CT 06480
Phone: 860.424.6588
tnolandesignllc@gmail.com

Additions and Alterations To The: EAST HAMPTON Veterinary Center

9 MIDDLE HADDAM ROAD EAST HAMPTON, CT 06424

ELEVATIONS

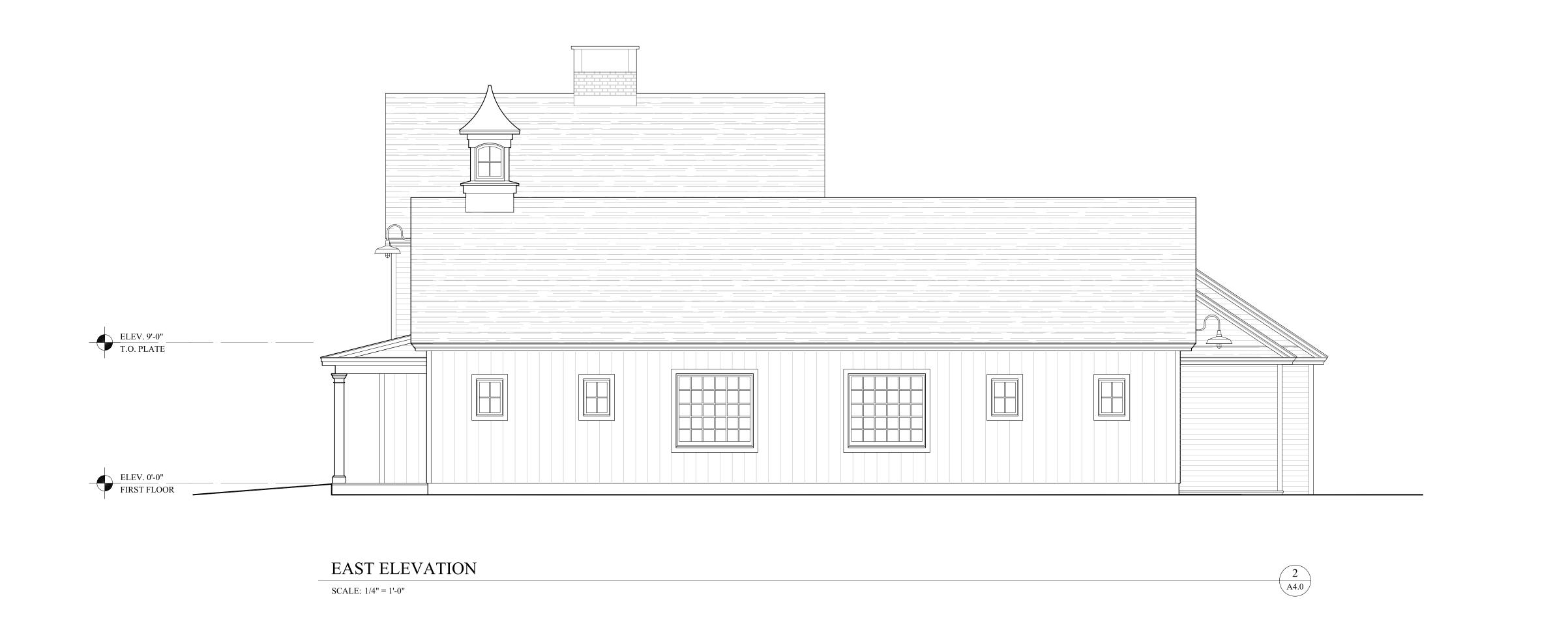
SCALE: AS NOTED
DRAWING RELEASE DA' JUNE 25, 2021
BID SET DATE: TBD

JUNE 25, 2021

BID SET DATE:
TBD

CONTRACT SET DATE:
TBD





THOMAS NOLAN DESIGN, LLC 23 Freestone Avenue. Portland, CT 06480 Phone: 860.424.6588 tnolandesignllc@gmail.com Additions and Alterations To The: EAST HAMPTON Veterinary Center 9 MIDDLE HADDAM ROAD EAST HAMPTON, CT 06424 ELEVATIONS SCALE: AS NOTED DRAWING RELEASE DATE: JUNE 25, 2021 BID SET DATE: TBD CONTRACT SET DATE: TBD