

LOCATION MAP - SCALE: 1" = 500'

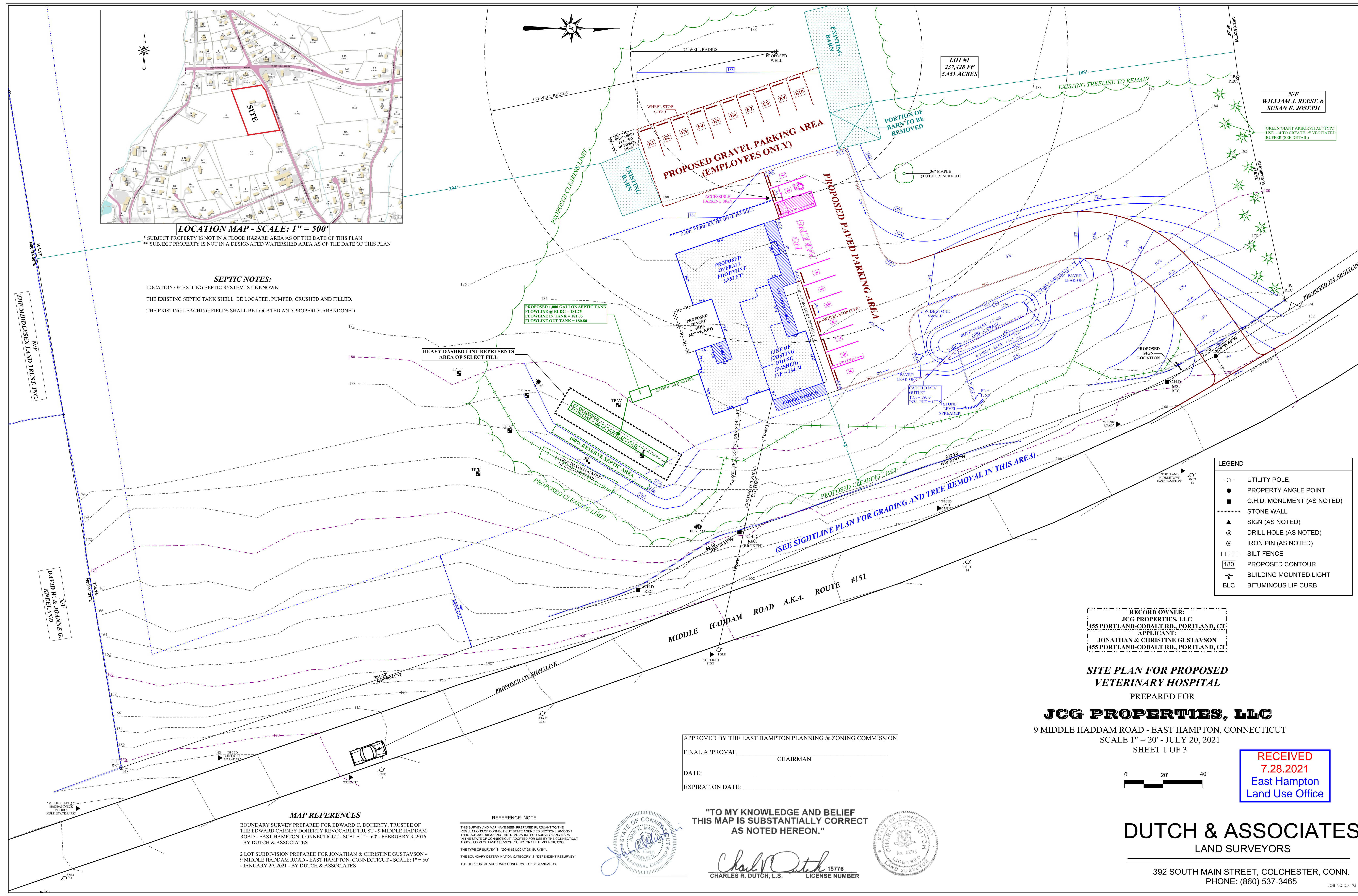
\* SUBJECT PROPERTY IS NOT IN A FLOOD HAZARD AREA AS OF THE DATE OF THIS PLAN  
 \*\* SUBJECT PROPERTY IS NOT IN A DESIGNATED WATERSHED AREA AS OF THE DATE OF THIS PLAN

**SEPTIC NOTES:**  
 LOCATION OF EXISTING SEPTIC SYSTEM IS UNKNOWN.  
 THE EXISTING SEPTIC TANK SHALL BE LOCATED, PUMPED, CRUSHED AND FILLED.  
 THE EXISTING LEACHING FIELDS SHALL BE LOCATED AND PROPERLY ABANDONED

N/E THE MIDDLESEX LAND TRUST, INC.

N/E DAVID H. & JOANNE G. KNEELAND

MIDDLE HADDAM HARBORNECK MIDDLESEX COUNTY, CONNECTICUT



**LEGEND**

- UTILITY POLE
- PROPERTY ANGLE POINT
- C.H.D. MONUMENT (AS NOTED)
- STONE WALL
- ▲ SIGN (AS NOTED)
- ⊙ DRILL HOLE (AS NOTED)
- ⊙ IRON PIN (AS NOTED)
- ++++ SILT FENCE
- 180 PROPOSED CONTOUR
- ⊕ BUILDING MOUNTED LIGHT
- BLC BITUMINOUS LIP CURB

RECORD OWNER:  
 JCG PROPERTIES, LLC  
 455 PORTLAND-COBALT RD., PORTLAND, CT  
 APPLICANT:  
 JONATHAN & CHRISTINE GUSTAVSON  
 455 PORTLAND-COBALT RD., PORTLAND, CT

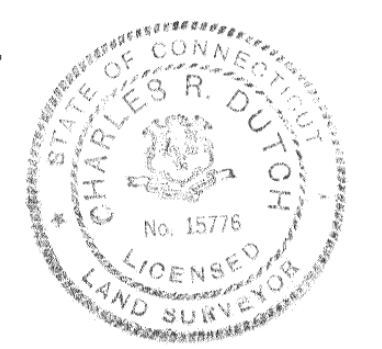
**SITE PLAN FOR PROPOSED VETERINARY HOSPITAL**  
 PREPARED FOR  
**JCG PROPERTIES, LLC**  
 9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT  
 SCALE 1" = 20' - JULY 20, 2021  
 SHEET 1 OF 3

RECEIVED  
 7.28.2021  
 East Hampton  
 Land Use Office



APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION  
 FINAL APPROVAL \_\_\_\_\_ CHAIRMAN  
 DATE: \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_

"TO MY KNOWLEDGE AND BELIEF  
 THIS MAP IS SUBSTANTIALLY CORRECT  
 AS NOTED HEREON."



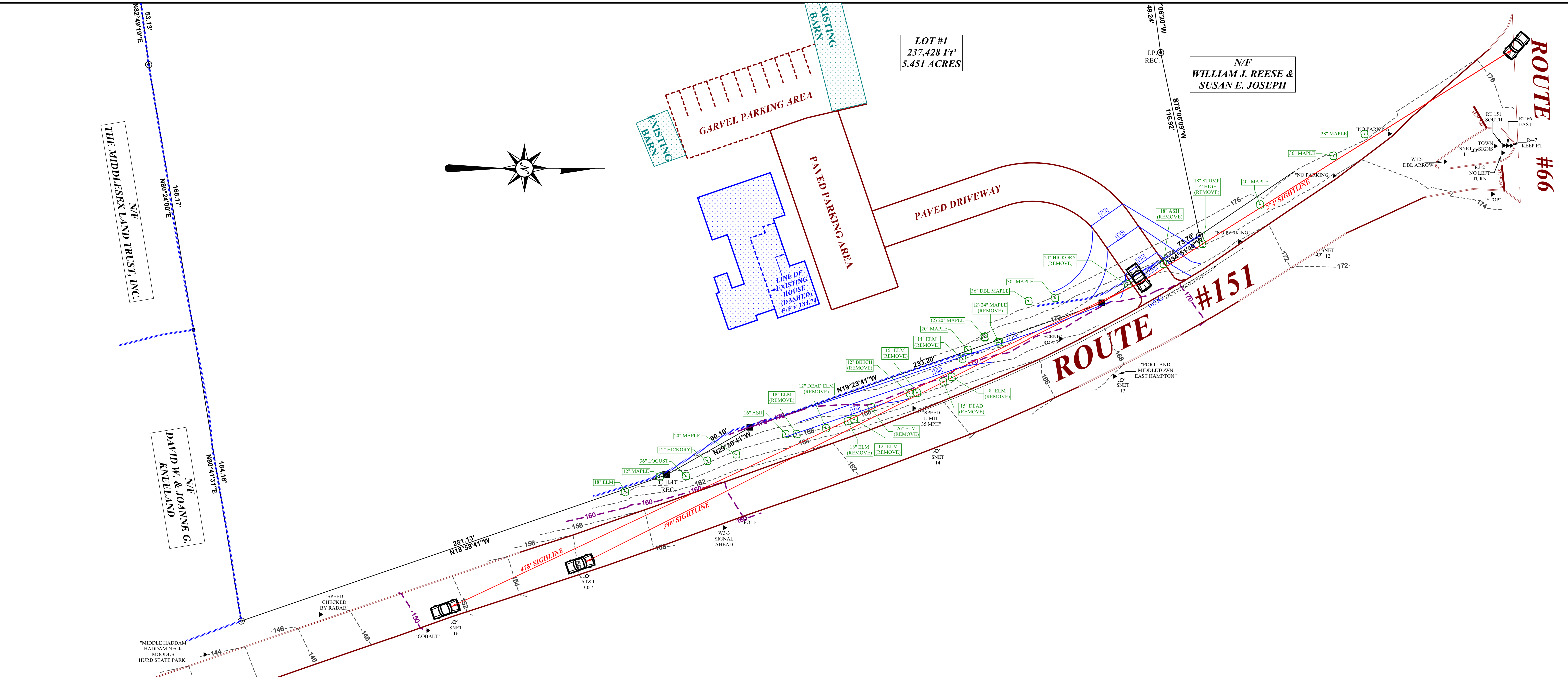
Charles R. Dutch, L.S. 15776  
 LICENSE NUMBER

**MAP REFERENCES**  
 BOUNDARY SURVEY PREPARED FOR EDWARD C. DOHERTY, TRUSTEE OF THE EDWARD CARNEY DOHERTY REVOCABLE TRUST - 9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT - SCALE 1" = 60' - FEBRUARY 3, 2016 - BY DUTCH & ASSOCIATES  
 2 LOT SUBDIVISION PREPARED FOR JONATHAN & CHRISTINE GUSTAVSON - 9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT - SCALE: 1" = 60' - JANUARY 29, 2021 - BY DUTCH & ASSOCIATES

**REFERENCE NOTE**  
 THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-308B-1 THROUGH 20-308B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.  
 THE TYPE OF SURVEY IS "ZONING LOCATION SURVEY".  
 THE BOUNDARY DETERMINATION CATEGORY IS "DEPENDENT RESURVEY".  
 THE HORIZONTAL ACCURACY CONFORMS TO "C" STANDARDS.

**DUTCH & ASSOCIATES**  
 LAND SURVEYORS

392 SOUTH MAIN STREET, COLCHESTER, CONN.  
 PHONE: (860) 537-3465



LEGEND	
	UTILITY POLE
	PROPERTY ANGLE POINT
	C.H.D. MONUMENT (AS NOTED)
	STONE WALL
	SIGN (AS NOTED)
	DRILL HOLE (AS NOTED)
	IRON PIN (AS NOTED)
	SILT FENCE

**SIGHTLINE NOTES:**

PROPOSED SIGHTLINE TO TRAFFIC NORTHBOUND BASED ON 85TH PERCENTILE SPEED PER CONNDOT SPOT SPEED STUDY AT LOCATION #1535 COLLECTED 4/13/2012.

DESIGN SPEED FOR NORTHBOUND TRAFFIC IS 43 M.P.H.  
SIGHTLINE DISTANCE REQUIRED @ 43 M.P.H. = 478 FEET

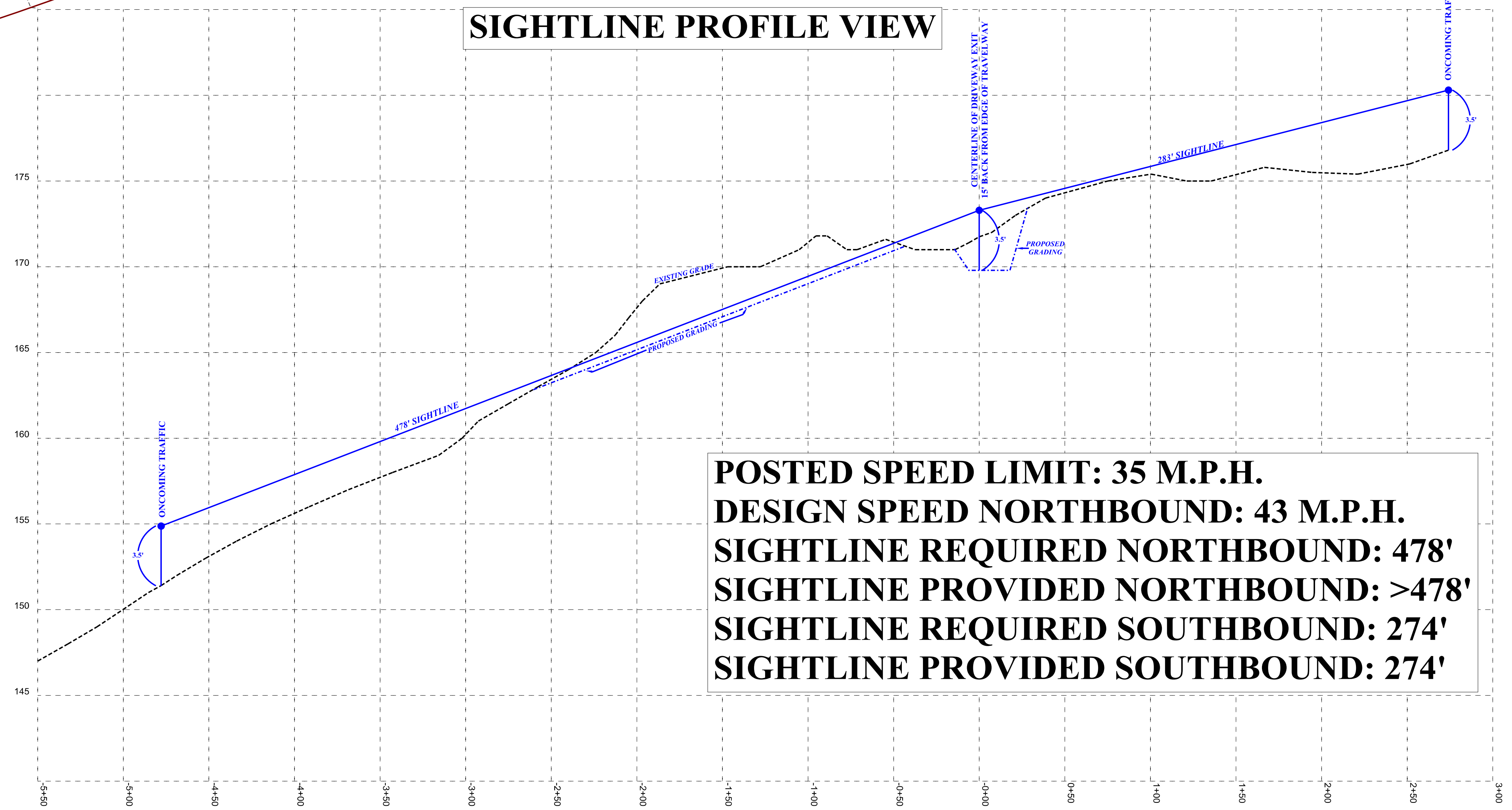
POSTED SPEED IN THIS AREA IS 35 M.P.H.  
SIGHTLINE DISTANCE REQUIRED @ 35 M.P.H. = 390 FEET

THE AMOUNT OF TREE CLEARING AND GRADING REQUIRED TO ACHIEVE SIGHTLINE FOR NORTHBOUND TRAFFIC IS SIGNIFICANTLY LESS TO ACHIEVE 390 FEET COMPARED WITH 478 FEET. THE NECESSITY OF A DESIGN SPEED OF 43 M.P.H. IN THIS AREA SHOULD BE CONSIDERED IN LIGHT OF THE POSTED SPEED, THE UPHILL GRADE, AND THE SIGNAGE INDICATING THE SIGNAL CONTROLLED INTERSECTION.

PROPOSED SIGHTLINE TO TRAFFIC SOUTHBOUND IS 274' WHICH IS THE DISTANCE TO THE SIGNAL CONTROLLED INTERSECTION WITH ROUTE #66

PROPOSED TREE REMOVAL, AND GRADING TO BE PERFORMED AND GRASS AND BRUSH TO BE MAINTAINED TO ACHIEVE SIGHTLINE.

**SIGHTLINE PROFILE VIEW**

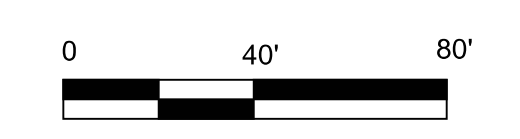


**POSTED SPEED LIMIT: 35 M.P.H.**  
**DESIGN SPEED NORTHBOUND: 43 M.P.H.**  
**SIGHTLINE REQUIRED NORTHBOUND: 478'**  
**SIGHTLINE PROVIDED NORTHBOUND: >478'**  
**SIGHTLINE REQUIRED SOUTHBOUND: 274'**  
**SIGHTLINE PROVIDED SOUTHBOUND: 274'**

*SIGHTLINE PLAN FOR PROPOSED VETERINARY HOSPITAL*  
 PREPARED FOR

**JCG PROPERTIES, LLC**

9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT  
 SCALE: HORIZ. 1" = 40' - VERT. 1" = 4' - JULY 20, 2021  
 SHEET 2 OF 3



**DUTCH & ASSOCIATES**  
 LAND SURVEYORS

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