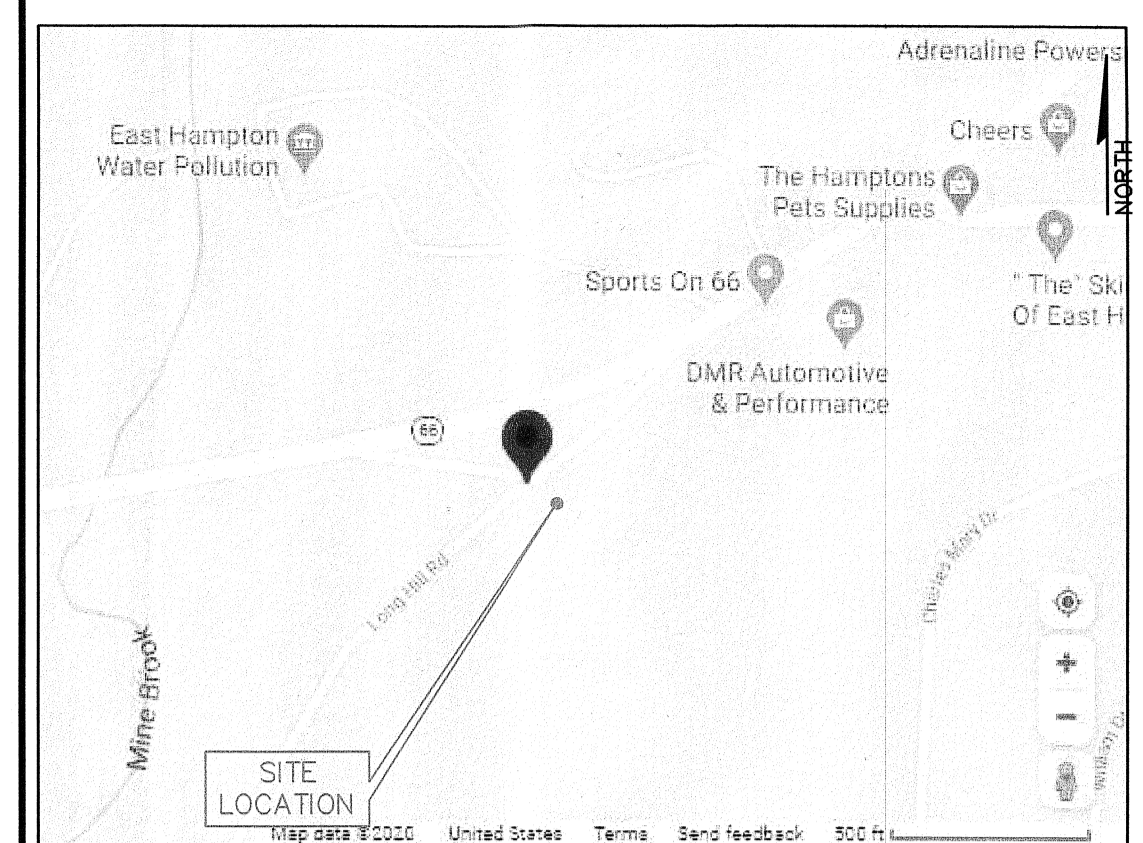
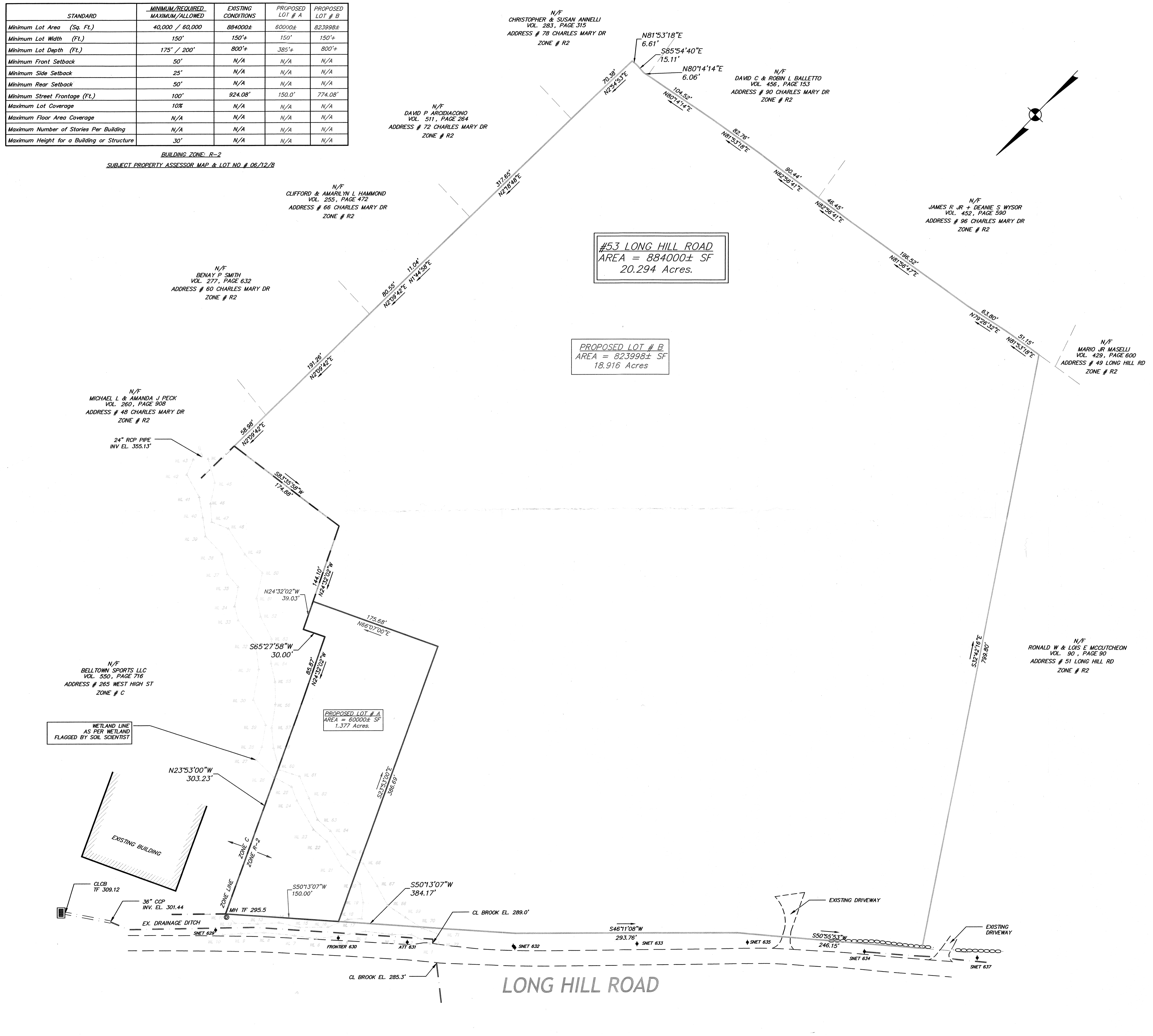


STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED LOT # A	PROPOSED LOT # B
Minimum Lot Area (Sq. Ft.)	40,000 / 60,000	884000±	60000±	823998±
Minimum Lot Width (Ft.)	150'	150'+	150'	150'+
Minimum Lot Depth (Ft.)	175' / 200'	800'+	385'+	800'+
Minimum Front Setback	50'	N/A	N/A	N/A
Minimum Side Setback	25'	N/A	N/A	N/A
Minimum Rear Setback	50'	N/A	N/A	N/A
Minimum Street Frontage (Ft.)	100'	924.08'	150.0'	774.08'
Maximum Lot Coverage	10%	N/A	N/A	N/A
Maximum Floor Area Coverage	N/A	N/A	N/A	N/A
Maximum Number of Stories Per Building	N/A	N/A	N/A	N/A
Maximum Height for a Building or Structure	30'	N/A	N/A	N/A

BUILDING ZONE: R-2
SUBJECT PROPERTY ASSESSOR MAP & LOT NO # 06/12/8



LOCATION MAP
NOT TO SCALE

- SURVEY NOTES**
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
 - This Survey conforms to Class A-2.
 - The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
 - Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds).
 - North Arrow is based on Map Reference # 1.
 - This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
 - This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
 - Property Lines Established According to Record Deeds as exist.
 - Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
 - Underground Utility, Structure and facility Locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
 - Elevations area based on NAVD 1988 DATUM.

- MAP REFERENCES**
- RECORD MAP NO # VOL.8, PAGE 377.
 - RECORD MAP NO # 414.
 - RECORD MAP NO # VOL.83, PAGE 24.
 - RECORD MAP NO # VOL.50, PAGE 27.
 - RECORD MAP NO # VOL.57, PAGE 06.
 - RECORD MAP NO # VOL.64, PAGE 24.
 - RECORD MAP NO # VOL.34, PAGE 51.
 - PROPERTY SURVEY PREPARED FOR JOHN DART LONG HILL ROAD, EAST HAMPTON, CT SCALE 1" = 40' DATED JANUARY 07, 1993 BY DUTCH & ASSOCIATES.

EASEMENT

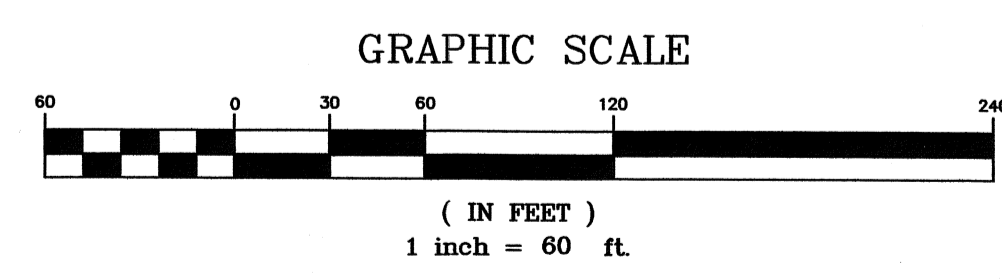
1. EASEMENTS, RESTRICTIONS, RIGHTS AND ENCUMBRANCES AS OF RECORD APPEAR IN THE EAST HAMPTON LAND RECORDS.

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, description, or elevations of any underground structure.

The Underground structures depicted herein are for informational purpose only. The Preparer of this document DISCLAIMS ANY LIABILITY whatsoever to the user. There are no warranties or representations, expressed or implied and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document.

Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.



NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

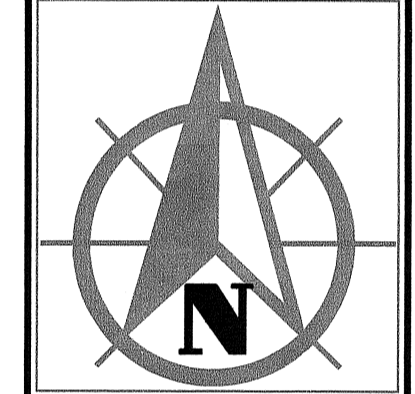
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

Joseph M. Sowi
JGNEESHY M. SOWI, P.L.S. 70,386

PREPARED FOR
LONG HILL ESTATES LLC
53 LONG HILL ROAD
EAST HAMPTON, CT

OWNER
LONG HILL ESTATES LLC
53 LONG HILL ROAD
EAST HAMPTON, CT

NO.	DATE	DESCRIPTION	REVISIONS
1	12-08-2020	DIVISION OF PROPERTY SURVEY	



CT LAND SURVEYING, LLC
SBE | ABE CERTIFIED
LAND SURVEYING / LAND PLANNING
CT LAND SURVEYING, LLC
58 OLD TAVERN ROAD
ORANGE, CT 06477
P:(203)503-1193
FAX:(203)404-0411
EMAIL: JSONIZ@YAHOO.COM

DIVISION OF PROPERTY SURVEY
PREPARED FOR
LONG HILL ESTATES LLC
53 LONG HILL ROAD,
EAST HAMPTON, CONNECTICUT

RECEIVED
DEC 21 2020

DRAFTED: CAD
APPROVED: J.S
SCALE: 1" = 60'
PROJECT NO.: 201012
DATE: 11/26/2020
CAD FILE: 201012
TITLE: IMPROVEMENT LOCATION SURVEY
SHEET NUMBER: EX-1 OF 1