

EROSION CONTROL NOTES

GENERAL REQUIREMENTS FOR EROSION CONTROL:

A SCHEDULE OF OPERATIONS TO INCLUDE STARTING AND COMPLETION DATES FOR MAJOR DEVELOPMENT PHASES, SUCH AS LAND CLEARING AND GRADING, STREET, SIDEWALK, AND STORM SEWAGE INSTALLATION, ETC.

SEEDING, SODDING, OR REVEGETATION PLANS AND SPECIFICATIONS FOR ALL UNPROTECTED OR UNVEGETATED AREAS SHALL BE IMPLEMENTED AS SOON AS POSSIBLE.

EXCAVATIONS, FILLS AND GRADING:

CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 UNLESS STABILIZED BY A RETAINING WALL OR CRIBBING, EXCEPT AS APPROVED BY THE COMMISSION UNDER SPECIAL CONDITIONS.

ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATER FROM DAMAGING THE CUT FACE OF EXCAVATION OR THE SLOPING SURFACES OF FILLS. CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTY.

FILL SHALL BE PLACED AND COMPACTED SO AS TO MINIMIZE SLIDING OR EROSION OF THE SOIL.

GRADING SHALL NOT BE DONE IN SUCH A WAY SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED CONSENT OF THAT LANDOWNER AND THE COMMISSION.

FILLS SHALL NOT ENCOACH ON THE NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS DURING GRADING OPERATIONS. NECESSARY MEASURES FOR DUST CONTROL SHALL BE EXERCISED.

GRADING EQUIPMENT WILL NOT BE ALLOWED TO CROSS LIVE STREAMS EXCEPT BY MEANS OF BRIDGES AND CULVERTS OR OTHER METHODS AS APPROVED BY THE COMMISSION.

IMPLEMENTATION PROCEDURES:

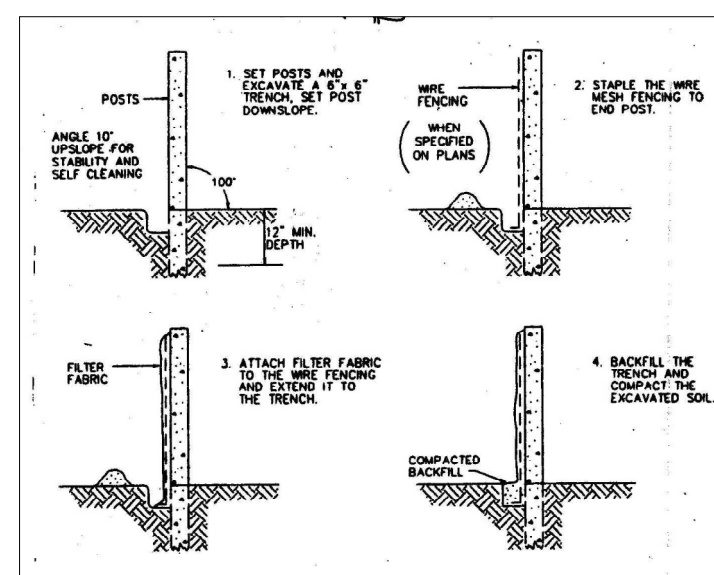
WHEREVER FEASIBLE, NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.

ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.

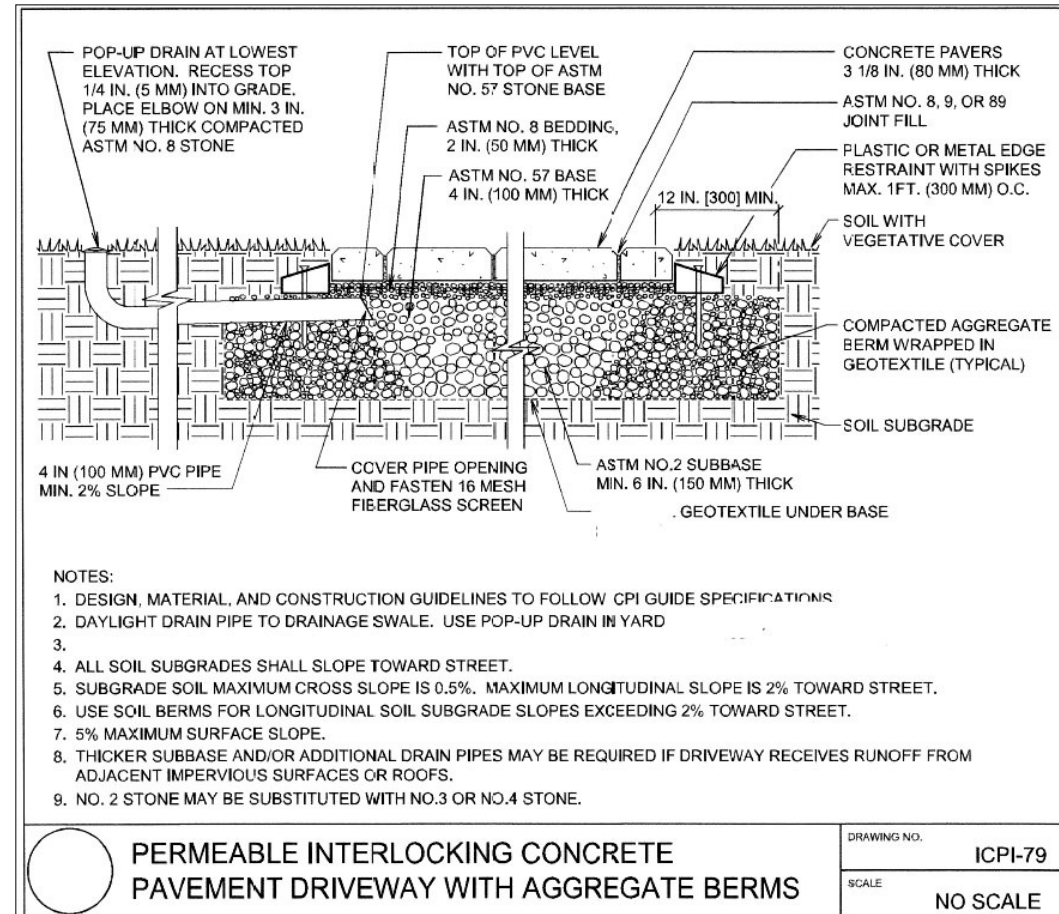
WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.

WHERE NECESSARY, TEMPORARY VEGETATION AND/OR MULCHING SHOULD BE USED TO PROTECT AREAS EXPOSED DURING DEVELOPMENT.

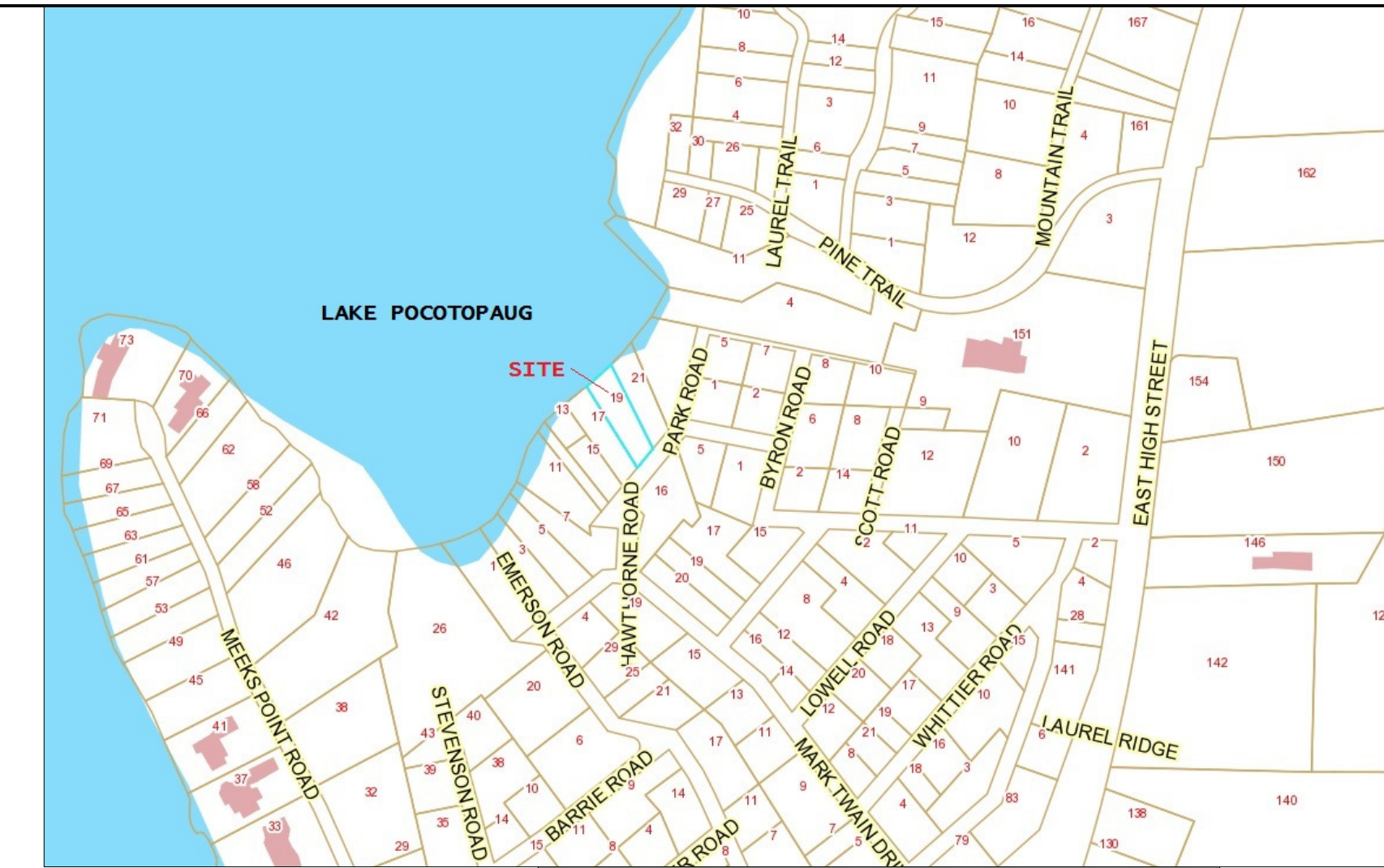
THE PERMANENT FINAL VEGETATION AND STRUCTURES SHOULD BE INSTALLED AS SOON AS PRACTICAL IN THE DEVELOPMENT.



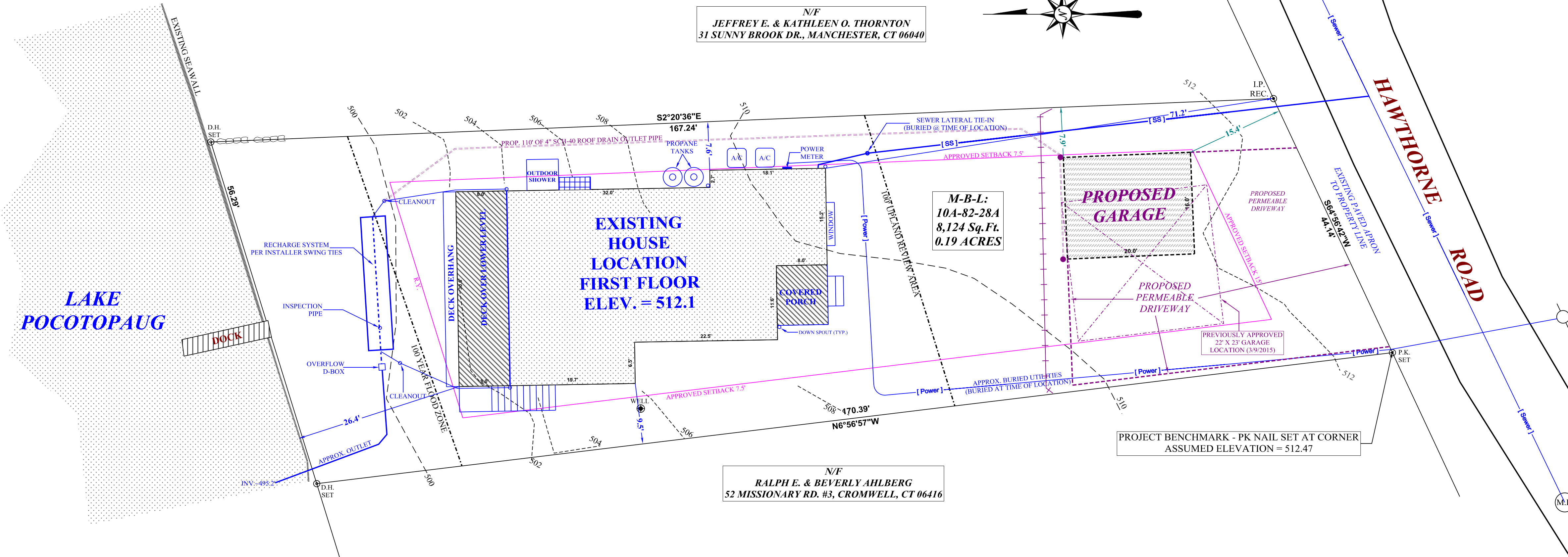
SILT FENCE DETAIL



PERMEABLE INTERLOCKING CONCRETE PAVEMENT DRIVEWAY WITH AGGREGATE BERMS



LOCATION MAP - SCALE: 1" = 300'



N/F
JEFFREY E. & KATHLEEN O. THORNTON
31 SUNNY BROOK DR., MANCHESTER, CT 06040

N/F
RALPH E. & BEVERLY AHLBERG
52 MISSIONARY RD. #3, CROMWELL, CT 06416

NOTES:

- 100 YEAR FLOOD ZONE TAKEN FROM TOWN GIS MAP
- LOCATIONS OF BURIED STRUCTURES ARE APPROXIMATE AND SHOWN PER BUILDER. STRUCTURES BURIED AT TIME OF LOCATION
- VARIANCES GRANTED 3/9/15: FROM SEC. 4.1 SHOWN IN ZONING COMPLIANCE CHART, VARIANCE FROM 8.2.G INCREASED MAX. FF AREA FROM 900 FT² TO 1,484 FT²

ZONING COMPLIANCE CHART

	REQUIRED	EXISTING	PROPOSED
FRONT YARD SETBACK	25'	71.2'	15.4'
SIDE YARD SETBACK	15'	9.5'W - 7.6'E	9.5'W - 7.6'E
REAR YARD SETBACK	25'	26.4'	26.4'
LOT COVERAGE	20%	20.2%	24.1%
BUILDING HEIGHT	30'	<30'	<30'

* VARIANCE GRANTED, REDUCED TO 15'
* VARIANCE GRANTED, REDUCED TO 7.5'
* VARIANCE GRANTED, INCREASED TO 25%

LEGEND

- UTILITY POLE
- ⊙ IRON PIN (AS NOTED)
- WELL
- ++++ SILT FENCE
- 502X3 PROPOSED GRADE

REFERENCE NOTE

THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-308B-1 THROUGH 20-308B-30 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY IS "ZONING LOCATION SURVEY".

THE BOUNDARY DETERMINATION CATEGORY IS "DEPENDENT SURVEY".

THE HORIZONTAL ACCURACY CONFORMS TO "C" STANDARDS.

MAP REFERENCE

PROPERTY SURVEY FOR PROPOSED DECK PREPARED FOR ROBERT & JOAN DOBROUCH - HAWTHORNE ROAD - EAST HAMPTON, CONNECTICUT - SCALE: 1" = 10' - JULY 21, 1992 - BY DUTCH & ASSOCIATES

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

PRELIMINARY

15776
CHARLES R. DUTCH, L.S. LICENSE NUMBER

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