

- Map Symbol    Map Unit (soil name)
- 3 Ridgebury, Leicester, and Whitman soils, extremely stony
  - 54B Wapping very fine sandy loam, 2 to 8 percent slopes, very stony
  - 61C Canton and Charlton soils, 3 to 8 percent slopes, very stony
  - 62D Canton and Charlton soils, 15 to 35 percent slopes, extremely stony
  - 73C Charlton-Chatfield complex, 3 to 15 percent slopes, very rocky
  - 73E Charlton-Chatfield complex, 15 to 45 percent slopes, very rocky
  - 85B Paxton and Montauk fine sandy loams, 3 to 8 percent slopes, very stony
  - 85C Paxton and Montauk fine sandy loams, 8 to 15 percent slopes, very stony

**R-4 ZONE  
SALMON RIVER PROTECTION ZONE**

**EAST HAMPTON INLAND WETLAND COMMISSION, EAST HAMPTON, CONNECTICUT**

DATE OF APPROVAL \_\_\_\_\_ DATE OF EXPIRATION \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN  
\_\_\_\_\_  
SECRETARY

PER SECTION 8-290 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE. THE SUBDIVISION REGULATIONS OF THE EAST HAMPTON PLANNING AND ZONING COMMISSION ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCES OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCES OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

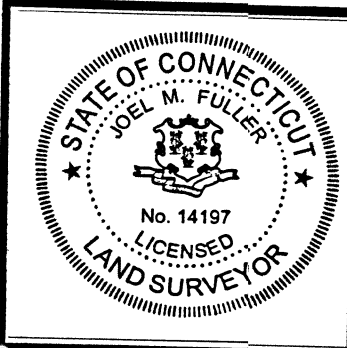
FINAL APPROVAL \_\_\_\_\_ CHAIRMAN  
EXPIRATION DATE: \_\_\_\_\_  
CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN  
DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

RE-SUBDIVISION  
SURVEY & COVER SHEET  
ON LAND OF  
**PETER G. ENGEL JR.  
& SHEILA B. ENGEL**  
#11 MARKHAM ROAD  
EAST HAMPTON, CONNECTICUT  
SCALE: 1"=100' - DATE: 2/11/2020

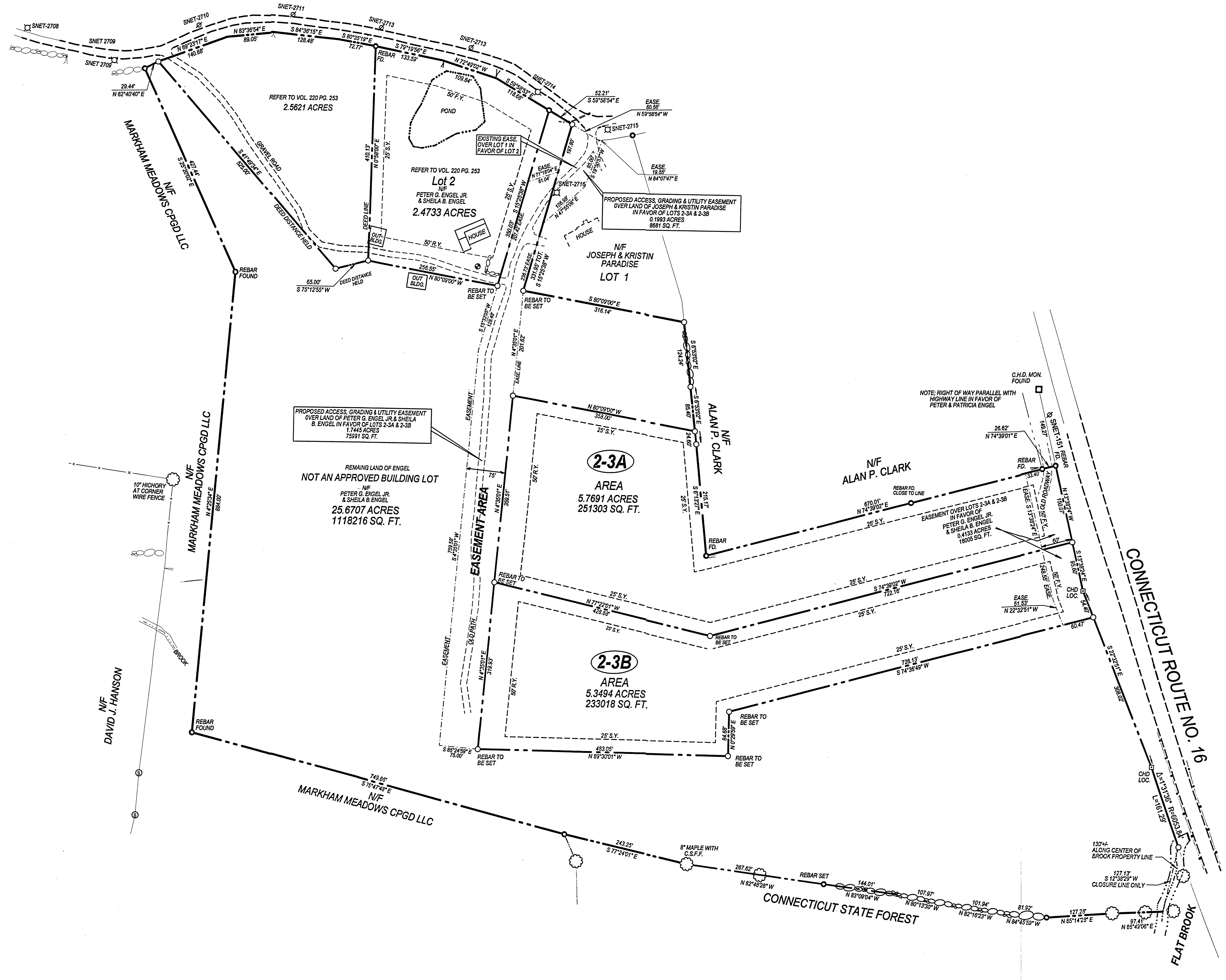
THIS SURVEY MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF STATE AGENCIES \*MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONN.\* AS ENDORSED BY THE CONN. ASSOC. OF LAND SURVEYORS, INC. IT IS A RESUBDIVISION MAP BASED ON A DEPENDENT RESURVEY CONFORMING TO CLASS A2 STANDARDS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

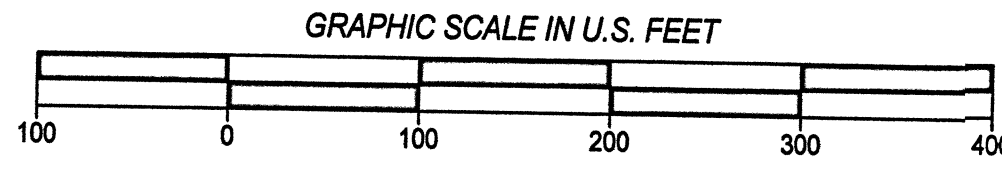
\_\_\_\_\_  
JOEL M. FULLER, C.T., L.S. NO. 14197

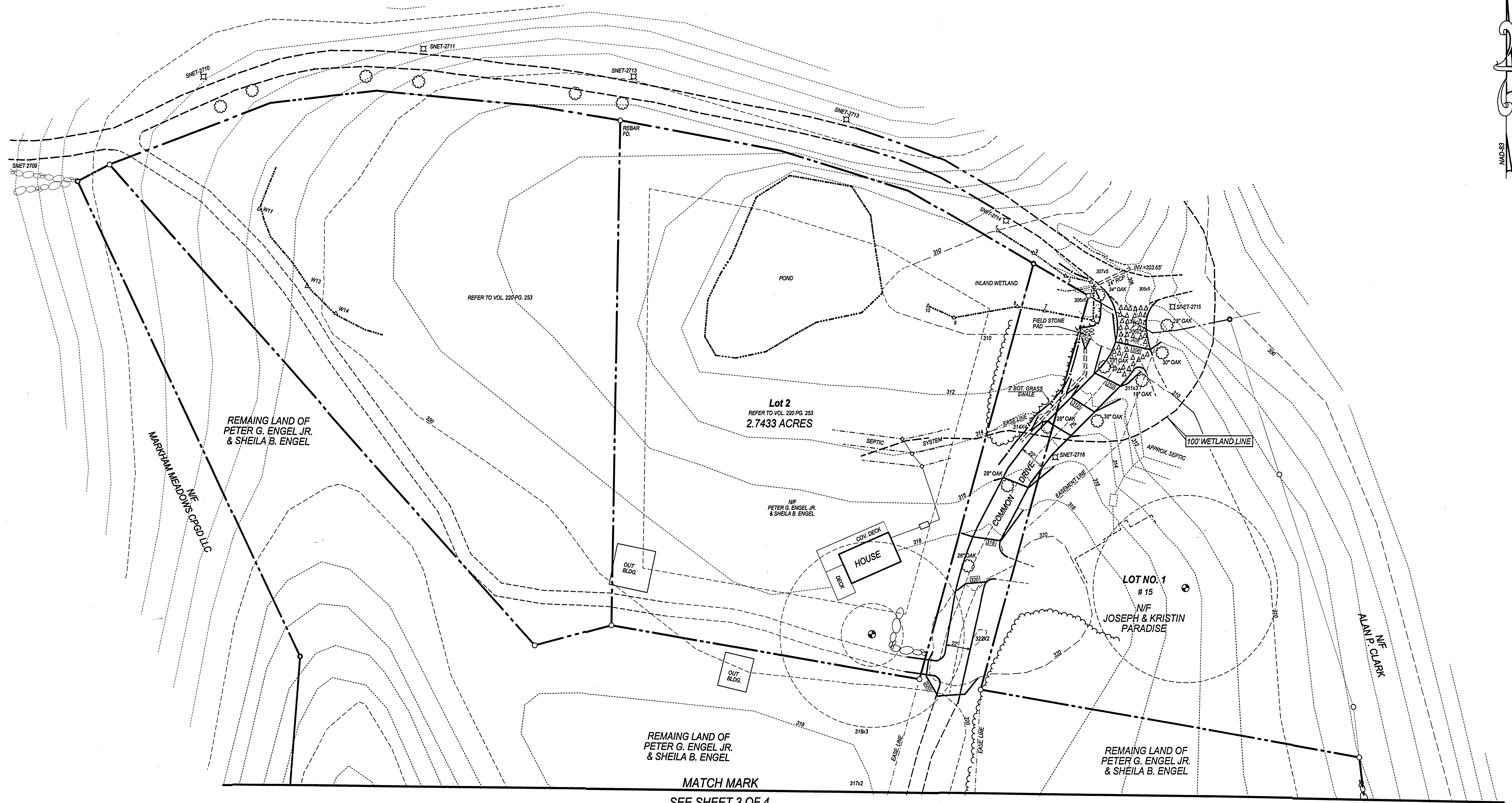


**JOEL M. FULLER**  
191 JONES HOLLOW ROAD  
MARLBOROUGH, CONN. 06447  
LICENSED LAND SURVEYOR  
860-670-1800  
**SHEET 1 OF 4**



1) RE-SUBDIVISION PLAN ON LAND OF PETER G. & PATRICIA N. ENGEL  
MARKHAM ROAD & TOWN FARM ROAD, EAST HAMPTON, CONNECTICUT  
DATE JULY 30, 1986, CLASS A-2 MAPPING BY JOEL M. FULLER LS-14197





MATCH MARK  
SEE SHEET 3 OF 4

PER SECTION 8-28C OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE. THE SUBDIVISION REGULATIONS OF THE EAST HAMPTON PLANNING AND ZONING COMMISSION ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCES OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCES OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN

EXPIRATION DATE: \_\_\_\_\_

CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN

DATE: \_\_\_\_\_

EXPIRATION DATE: \_\_\_\_\_

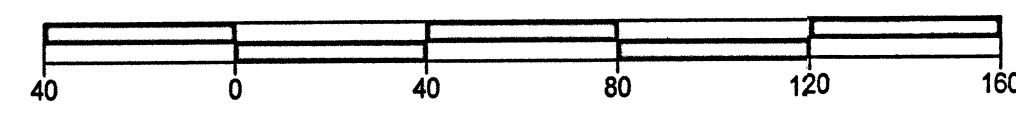
EAST HAMPTON INLAND WETLAND COMMISSION, EAST HAMPTON, CONNECTICUT

DATE OF APPROVAL \_\_\_\_\_ DATE OF EXPIRATION \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN  
SECRETARY

LINE CHART	
--- 50' ---	EXISTING CONTOUR
--- 50' ---	EXISTING CONTOUR
---	LOT LINE
○ ○ ○ ○ ○	STONEWALL
---	EDGE WETLAND
---	100' BUFFER
---	SILT FENCE
---	BUILDING LINE
---	BIT. LIP CURBING
---	FOOTING DRAIN
---	CONSERVATION
---	PROPOSED CONTOUR
---	CLEARING LIMIT
---	LEDGE OUTCROP

- ⊠ TEST PIT
- F.Y. FRONT YARD
- S.Y. SIDE YARD
- R.Y. REAR YARD
- UTILITY POLE
- WELL
- CONIFER TREE
- HARDWOOD TREE
- IRON PIPE FOUND

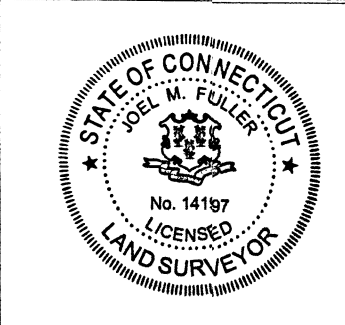


I (DELINEATED THE INLAND WETLAND AND WATERCOURSE BOUNDARY ON THIS PROPERTY. I AM OF THE OPINION THAT THE WETLAND BOUNDARY WHICH I MARKED ON THE PROPERTY IS SHOWN CORRECTLY ON THIS MAP.  
R. Richard Swarski  
R. RICHARD SWARSKI, CERTIFIED SOIL SCIENTIST #1973

12/18/2012  
DATE

CONTOURS FROM FIELD SURVEY CLASS T-3  
THIS SURVEY MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300a-1 THRU 20-300a-20 OF THE REGULATIONS OF STATE AGENCIES "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONN." AS ENDORSED BY THE CONN. ASSOC. OF LAND SURVEYORS, INC. IT IS A IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO CLASS A-2 STANDARDS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AND NOTED HEREON  
JOEL M. FULLER  
JOEL M. FULLER CT. L.S. NO. 14197



RE-SUBDIVISION  
SITE DEVELOPMENT SHEET  
ON LAND OF  
**PETER G. ENGEL JR.  
& SHEILA B. ENGEL**  
#11 MARKHAM ROAD  
EAST HAMPTON, CONNECTICUT  
SCALE: 1"=40' DATE: 2/11/2020

**JOEL M. FULLER**  
LICENSED LAND SURVEYOR  
860-670-1800  
191 JONES HOLLOW ROAD  
MARLBOROUGH, CONN.  
06447



SEE SHEET 2 OF 4

MATCH MARK

REMAING LAND OF  
PETER G. ENGEL JR.  
& SHEILA B. ENGEL

WOODED

2-3A

5.7691 ACRES  
251303 SQ. FT.

BENCHMARK  
STEEL SPIKE  
ELEV. = 318.14'

WOODED

WOODED

2-3B

5.3494 ACRES  
233018 SQ. FT.

BENCHMARK  
STEEL SPIKE  
ELEV. = 333.0'

WOODED

REMAING LAND OF  
PETER G. ENGEL JR.  
& SHEILA B. ENGEL

PER SECTION 8-28C OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL  
AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED  
BY THIS PLAN ARE NOT COMPLETED BY THAT DATE.  
THE SUBDIVISION REGULATIONS OF THE EAST HAMPTON PLANNING AND ZONING  
COMMISSION  
ARE A PART OF THIS PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION  
OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTS ANY VARIANCES OR  
MODIFICATIONS  
MADE BY THE COMMISSION. ANY SUCH VARIANCES OR MODIFICATIONS ARE ON FILE  
IN THE OFFICE OF THE COMMISSION.  
APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN

EXPIRATION DATE: \_\_\_\_\_

CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN

DATE: \_\_\_\_\_

EXPIRATION DATE: \_\_\_\_\_

EAST HAMPTON INLAND WETLAND COMMISSION, EAST HAMPTON, CONNECTICUT

DATE OF APPROVAL \_\_\_\_\_ DATE OF EXPIRATION \_\_\_\_\_

CHAIRMAN  
SECRETARY

LINE CHART	
	EXISTING CONTOUR
	EXISTING CONTOUR
	LOT LINE
	STONEWALL
	EDGE WETLAND
	100' BUFFER
	SILT FENCE
	BUILDING LINE
	BIT. LIP CURBING
	FOOTING DRAIN
	CONSERVATION
	PROPOSED CONTOUR
	CLEARING LIMIT
	LEDGE OUTCROP

- ⊠ TEST PIT
- F.Y. FRONT YARD
- S.Y. SIDE YARD
- R.Y. REAR YARD
- UTILITY POLE
- WELL
- CONIFER TREE
- HARDWOOD TREE
- IRON PIPE FOUND



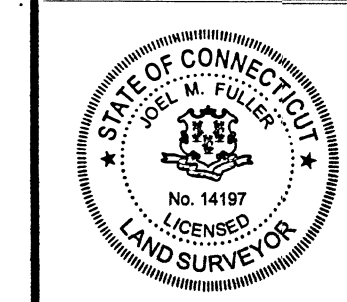
REMAING LAND OF ENGEL  
NOT AN APPROVED BUILDING LOT  
REMAING LAND OF  
PETER G. ENGEL JR.  
& SHEILA B. ENGEL  
25.6707 ACRES  
1118216 SQ. FT.

REMAING LAND OF  
PETER G. ENGEL JR.  
& SHEILA B. ENGEL

CONTOURS FROM FIELD SURVEY CLASS T-3  
THIS SURVEY MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS  
28-300-1 THRU 28-300-20 OF THE REGULATIONS OF STATE AGENCIES  
"MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONN."  
AS ENDORSED BY THE CONN. ASSOC. OF LAND SURVEYORS, INC. IT IS A  
IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY  
CONFORMING TO CLASS A-2 STANDARDS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP  
IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
*Joel M. Fuller*  
JOEL M. FULLER CT. L.S. NO. 14197

RE-SUBDIVISION  
SITE DEVELOPMENT SHEET  
ON LAND OF  
**PETER G. ENGEL JR.  
& SHEILA B. ENGEL**  
#11 MARKHAM ROAD  
EAST HAMPTON, CONNECTICUT  
SCALE: 1"=40' DATE: 2/11/2020



**JOEL M. FULLER**  
LICENSED LAND SURVEYOR  
860-670-1800  
191 JONES HOLLOW ROAD  
MARLBOROUGH, CONN.  
06447



**LOT 2-3A**

PERC. A PERFORMED 11/21/2019					PERC. B PERFORMED 11/21/2019				
NAIL DN 6" PRESOAK TIME 9:15 PM DEPTH HOLE 24"					NAIL DN 3" PRESOAK TIME 9:15 PM DEPTH HOLE 23"				
START TIME	DEPTH	TIME CHANGE	DEPTH CHANGE	MIN./IN.	START TIME	DEPTH	TIME CHANGE	DEPTH CHANGE	MIN./IN.
10:30	5-1/2"				10:32	7"			
10:35	9"				10:37	12-1/2"			
10:40	11"				10:42	15-1/4"			
10:45	12-3/4"				10:47	18"			
10:50	14"				10:52	19-1/2"	1-1/2"		3.33 MI
10:55	15"				10:57	DRY			
11:00	16"								
10:05	16-1/2"			10.0 MI					

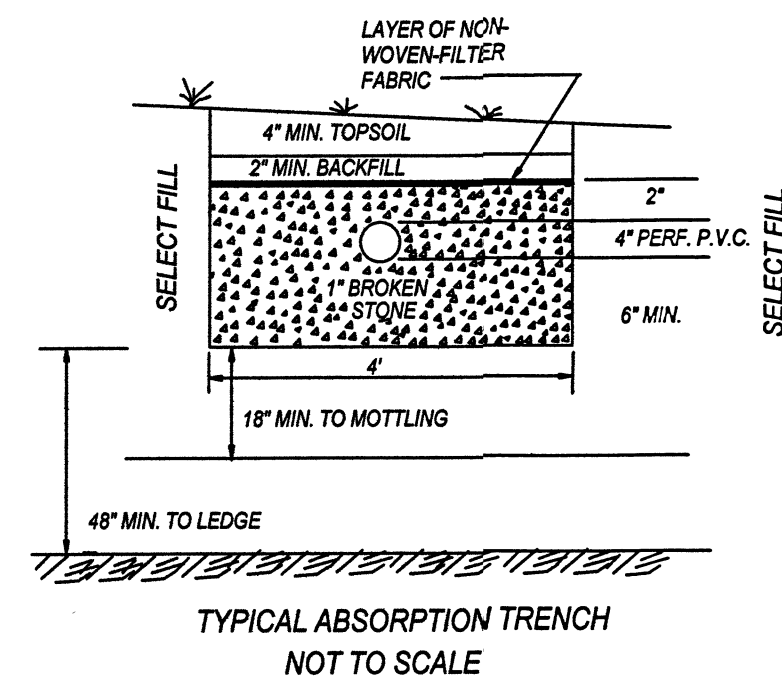
TEST PIT: 6	TEST PIT: 7
0'-5" Dark topsoil	0'-6" Dark topsoil
5'-22" Red-brown fine silt loam	6'-26" Brown fine sandy loam
22'-30" Light brown fine silty loam (firm)	26'-67" Mottled light brown sandy till, moderately compact grading to compact
30'-60" Moderately compact to compact mottled sandy till	
Mottles: 30"	Mottles: 25"
GW: None	GW: None
Ledge: No refusal	Ledge: No refusal
Roots: Most at 37"	Roots: N/A

0-6" Top Soil  
6-29" Brown Sandy Loam  
29-62" Moderately Compact Grey/Brown Sandy Till  
28" Mottles 25" Roots

TP 8  
0-6" Top Soil  
6-34" Brown Sandy Loam  
34-67" Moderately Compact Brown Sandy Hardpan  
34" Mottles 38" Roots

**3 BEDROOM HOUSE**  
495.0' SQ. FT. REQUIRED  
504.0' PROVIDED

M.L.S.S.  
M.L.S.S. = H.F. X F.F. X P.F.  
= 54 X 1.75 X 1.0 = 84' < 84" OK



**LOT 2-3B**

PERC. C PERFORMED 11/21/2019					PERC. D PERFORMED 11/21/2019				
NAIL DN 6" PRESOAK TIME 9:15 PM DEPTH HOLE 23"					NAIL DN 6" PRESOAK TIME 9:18 DEPTH HOLE 24"				
START TIME	DEPTH	TIME CHANGE	DEPTH CHANGE	MIN./IN.	START TIME	DEPTH	TIME CHANGE	DEPTH CHANGE	MIN./IN.
11:40	4"				11:42	4"			
11:45	8-1/4"				11:47	7-1/4"			
11:50	10-1/2"				11:52	9"			
12:00	14"				12:02	12"			
12:10	15-1/2"	1-1/2"		6.66 MI	12:12	13-1/2"			
12:15	DRY				12:22	15"			6.66 MI
					12:30	DRY			

DATE: 11/14/19  
(Record all Test Pits)

TEST PIT: 1	TEST PIT: 2
0'-8" Topsoil	0'-3" Topsoil
8"-27" Dark orange brown fine sandy loam	3"-13" Orange brown fine sandy loam
27"-64" Light brown fine to medium sand with silt, mottled	13"-27" Light orange-brown loamy sand
	27"-67" Light brown fine to medium sand with silt, mottled (firm)
Mottles: 22"	Mottles: 20"
GW: None	GW: None
Ledge: No refusal	Ledge: 62"
Roots: 24"	Roots: Most at 24" some at 36"

TP 3

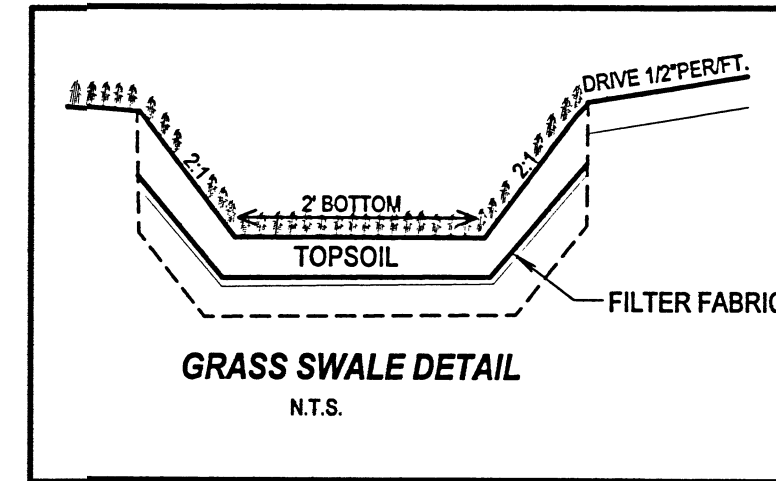
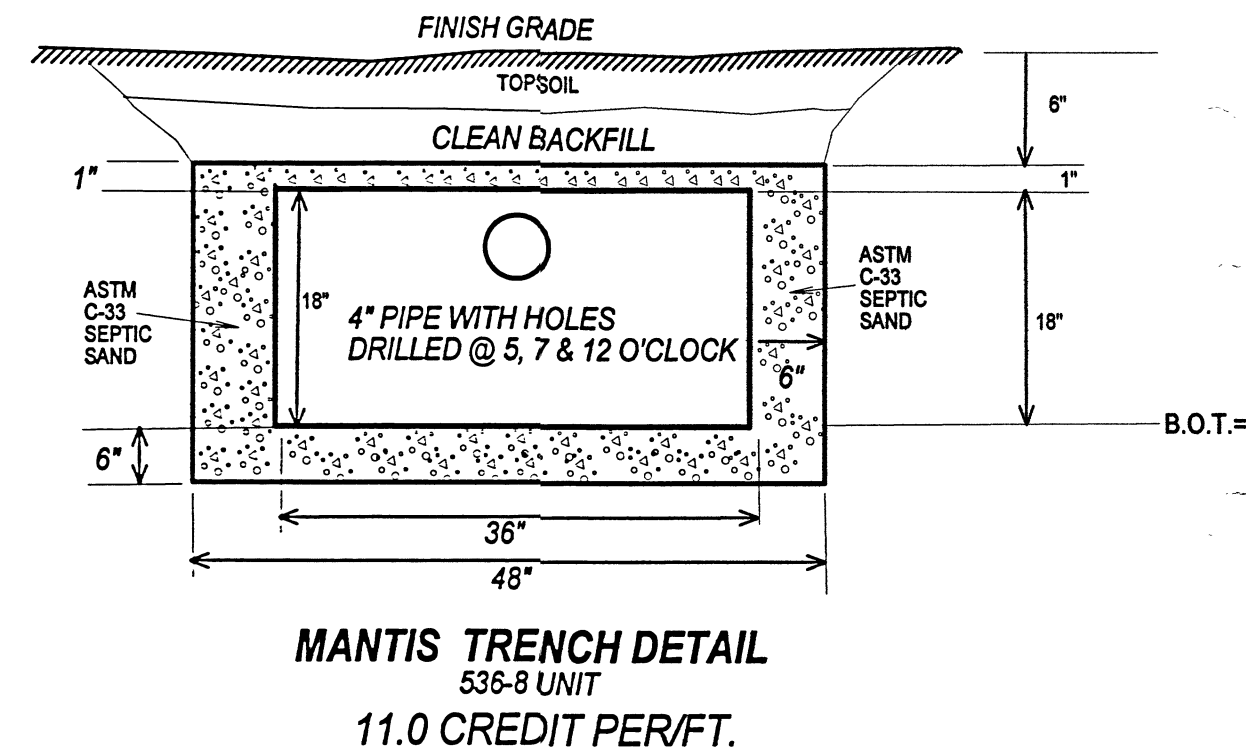
0-4" Top Soil  
4-29" Brown fine Sandy Loam  
29-64" Firm Brown Sandy Till  
29" Mottles 30" Roots

TP 4

0-2" Top Soil  
2-25" Brown Sandy Loam  
25-62" Firm Brown Sandy Till  
24" Mottles 21" Roots

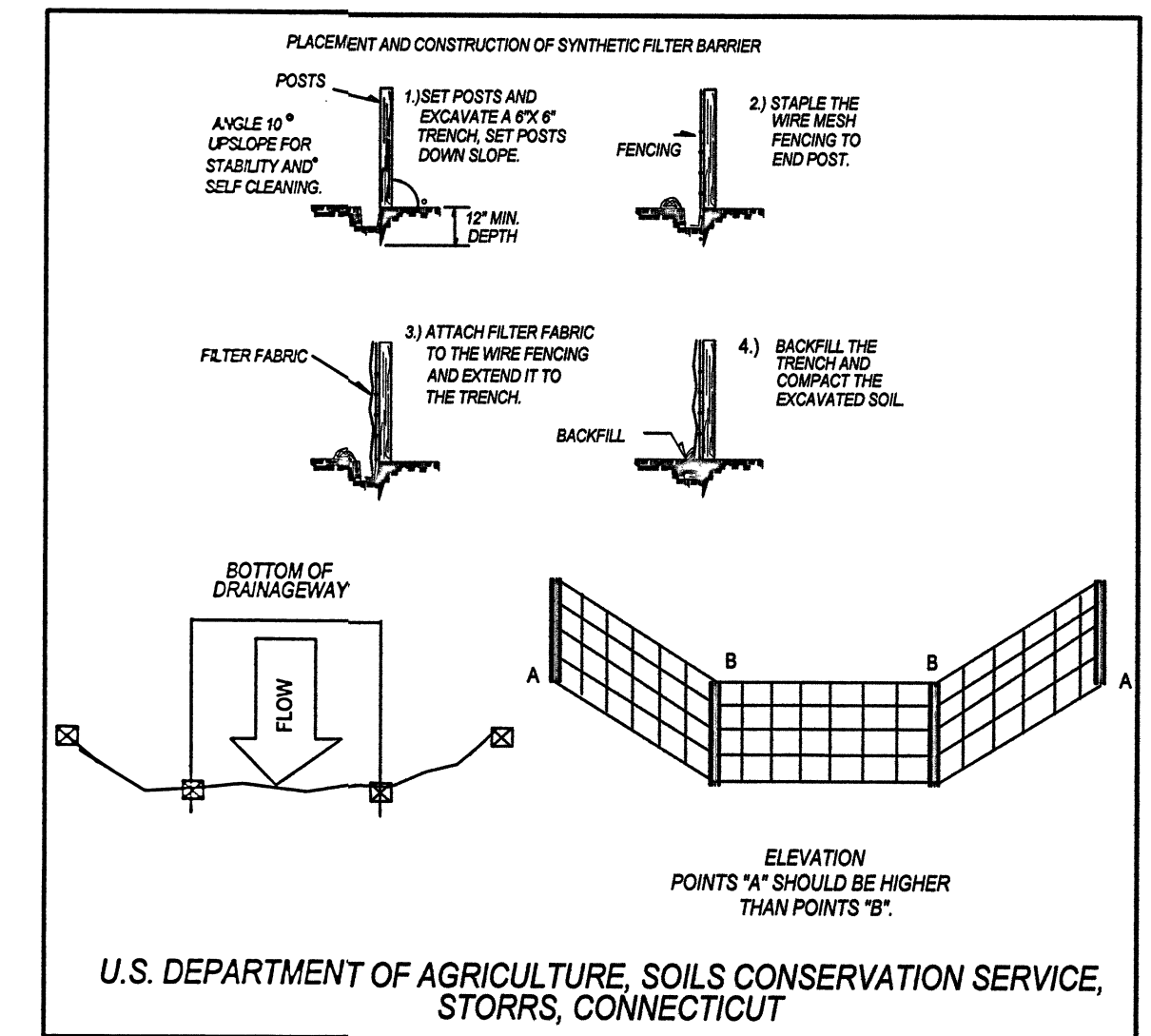
**3 BEDROOM HOUSE**  
495 SQ. FT. REQUIRED  
605 SQ. FT. PROVIDED

M.L.S.S.  
M.L.S.S. = H.F. X F.F. X P.F.  
= 34 X 1.5 X 1.0 = 51.0' < 55.0' OK



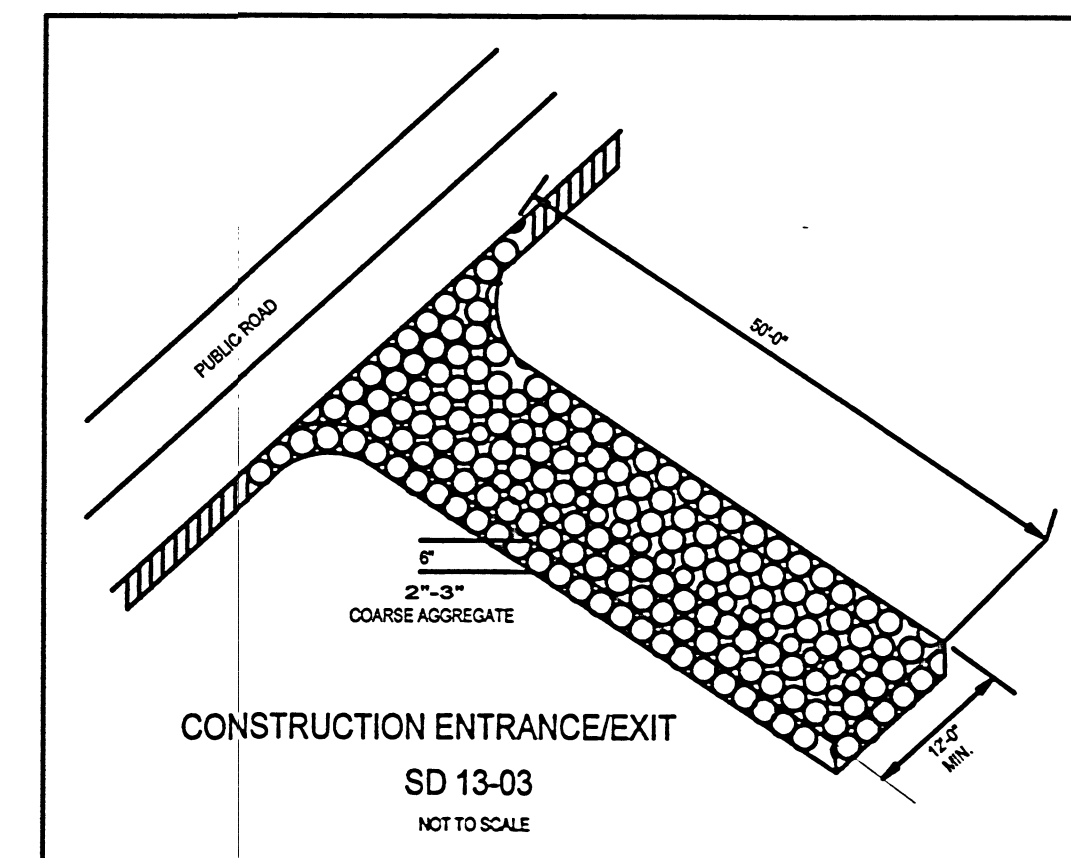
SEQUENCE OF ACTIVITY - HOUSE LOT DEVELOPMENT

- LIMIT OF DISTURBANCE.** Upon approval of individual site plan development, the limits of development shall be established in the field for each proposed structure. Disturbance limits shall be AS-SHOWN and shall be bounded by staked haybales, silt fence or wood chips.
- TREES CLEARED.** Trees shall be cleared and cut to length and stacked or removed from the site.
- EROSION CONTROLS.** Disturbed area shall be bounded by staked haybales or silt fence. All erosion controls, including silt fence and silt check, shall be installed and inspected by the Land Use Planner/ZEO and Wetlands Agent. PRIOR TO STUMPS BEING PULLED, GRUBBING, OR EXCAVATION. The Planner/ZEO and Wetlands Agent may modify the erosion control requirements based on field conditions so as to adequately control erosion and siltation from the site.
- DRIVEWAYS.** All driveway and driveway shoulders shall be stripped, graded as shown on plan, and gravelled. All driveway shoulders shall be stabilized immediately upon grading, either by diverting runoff, mulching, or seeding and mulching (depending on the season).
- TOPSOIL.** All topsoil shall be stripped and saved in an area as shown on the plan or as approved by the Planner and Wetlands Agent. Topsoil shall not be removed from the site except as in compliance with the Zoning Regulations.
- CONSTRUCTION AND DISTURBED AREA.** Excavation and construction shall commence following inspection and approval of erosion controls and construction of the driveway. The disturbed area shall be graded so as to contain runoff within the lot to the greatest extent possible.
- SITES IN WINTER.** When a site will be open during the winter months, rough grading and 4-6 inch mulching must occur prior to construction in order to minimize erosion and uncontrolled runoff during the winter months.
- DRAINS.** Foundation and curtain drains shall be installed as shown on the approved plan. ANY CHANGES TO THE LOCATION OF THE DRAINS OR THE ADDITION OF ANY DRAINS SHALL BE APPROVED BY THE PLANNER AND WETLANDS AGENT PRIOR TO INSTALLATION.
- COMPLETE SITE WORK.** Finish grading shall occur as soon as possible on all lots where there is potential for erosion and for degradation of wetlands and watercourses. Lots shall be finish graded, seeded with perennial grasses suitable for the respective amount of sun or shade and mulched prior to Certificate of Zoning Compliance.
- FINAL STABILIZATION.** EROSION CONTROLS SHALL BE MAINTAINED ON THE LOT AS LONG AS THEY ARE NEEDED TO CONTROL EROSION AND SEDIMENTATION.

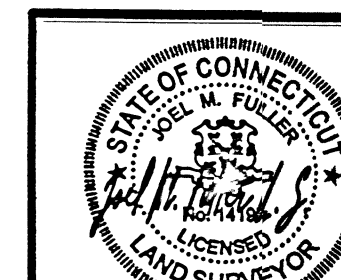


COMMON DRIVE NOTES:

- COMMON PORTION OF DRIVE TO HAVE A FINISHED DRIVING SURFACE OF 22' WIDE MIN.
- COMMON DRIVE TO HAVE A ROLLED GRAVEL BASE.
- COMMON DRIVE TO HAVE 3" THICK PROCESSED AGGREGATE BASE. DOT 3.04
- STREET NO.S SHALL BE POSTED FOR ALL DWELLINGS AT INTERSECTION OF COMMON DRIVE WITH PUBLIC HIGHWAY, AND POSTED FOR INDIVIDUAL DWELLINGS AT INTERSECTION OF DRIVES WITH ARROWS.
- STREET NO.S SHALL BE A MIN. OF 4' HIGH AND LOCATED FOR OPTIMUM VISIBILITY.



RE-SUBDIVISION  
SOILS & EROSION CONTROL SHEET  
ON LAND OF  
**PETER G. ENGEL JR.**  
& **SHEILA B. ENGEL**  
#11 MARKHAM ROAD  
EAST HAMPTON, CONNECTICUT  
SCALE: AS-NOTED - DATE: 2/11/2020



**JOEL M. FULLER**  
LICENSED LAND SURVEYOR  
191 JONES HOLLOW ROAD  
MARLBOROUGH, CONN.  
06447  
860-670-1800