

LEGEND

- EXISTING**
- 210- CONTOURS
 - 339 ± 57 SPOT ELEVATIONS
 - PERCOLATION TEST
 - TEST HOLE
 - LEACHING TRENCH
 - CURTAIN DRAIN
 - SURVEY CONTROL POINT
 - SILT FENCE
 - FLAGGED WETLAND BOUNDARY
 - SOIL DELINEATION
 - CATCH BASIN
 - UTILITY POLE
 - LIMITS OF CLEARING
- PROPOSED**
- HA
 - EA

INSTALL 22 "DARK AMERICAN" ARBORVITAE
4-5' TALL SPACED 5' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.

INSTALL 12 "GREEN GIANT" ARBORVITAE
5-6' TALL SPACED 8' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.

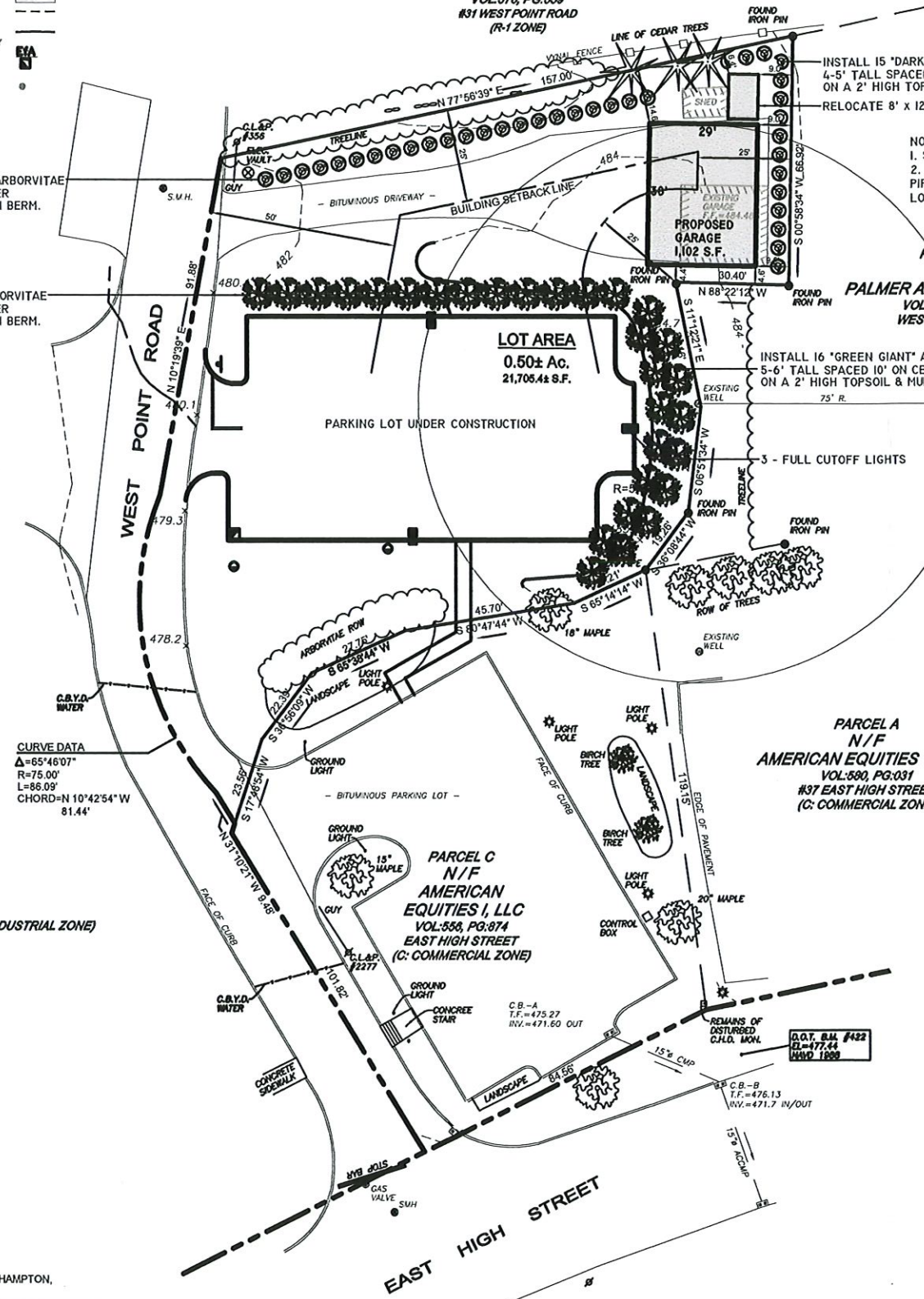
N/F
MARY MICHELLE MILTON
VOL:576, PG:559
#31 WEST POINT ROAD
(R-1 ZONE)

PARCEL B
N/F
PALMER APARTMENTS, LLC
VOL:551, PG:1077
WEST POINT ROAD
(R-1 ZONE)

PARCEL A
N/F
AMERICAN EQUITIES VI, LLC
VOL:590, PG:031
#37 EAST HIGH STREET
(C: COMMERCIAL ZONE)

PARCEL C
N/F
AMERICAN EQUITIES I, LLC
VOL:556, PG:874
EAST HIGH STREET
(C: COMMERCIAL ZONE)

(I: INDUSTRIAL ZONE)



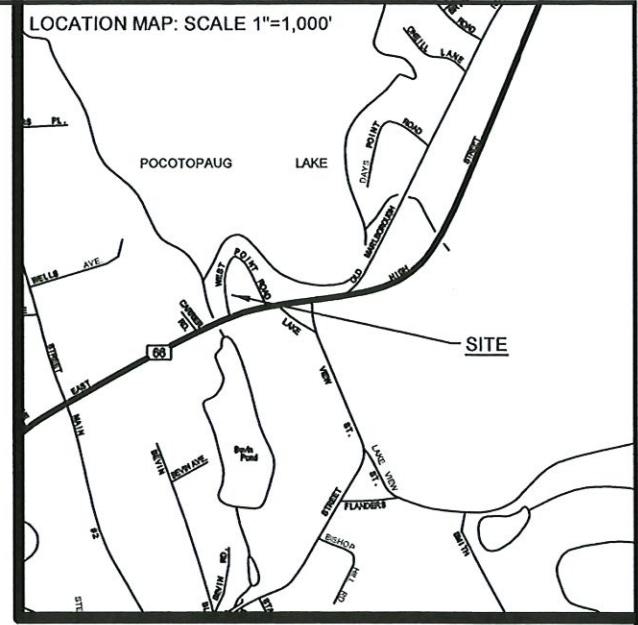
INSTALL 15 "DARK AMERICAN" ARBORVITAE
4-5' TALL SPACED 5' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.
RELOCATE 8' x 12' SHED

NOTE:
1. SEE ZBA APPROVAL 3.9.20 FOR BUILDING SETBACKS.
2. ALL ROOF WATER FROM PROPOSED GARAGE SHALL BE
PIPED TO THE EXISTING CATCH BASIN IN THE PARKING
LOT UNDER CONSTRUCTION.

EROSION & SEDIMENTATION CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE STATE OF CONNECTICUT "GUIDELINES FOR SEDIMENT AND EROSION CONTROL" 2002 EDITION.
LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND LAND RESTABILIZATION SCHEDULED AS SOON AS PRACTICABLE.
ALL CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED.
HAY BALE FILTERS OR FABRIC FENCE SHALL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES;
AFTER CONSTRUCTION IS COMPLETED, TOPSOIL SHALL BE EVENLY DISTRIBUTED OVER THE DISTURBED AREA, PROPERLY TREATED, AND SEEDED.
GRADING SHALL NOT BE DONE IN SUCH A MANNER SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THAT LANDOWNER AND THE COMMISSION.
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DRIVEWAYS WITH A SLOPE OF TEN PERCENT OR GREATER SHALL BE PAVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CASH BOND SHALL BE POSTED WITH THE TOWN EQUAL TO THE COST OF CONSTRUCTION.
DISTURBED AREAS WITH A SLOPE OF TEN PERCENT OR GREATER SHALL BE SEEDED AND MULCHED PRIOR TO OCTOBER 15TH OR AN EROSION CONTROL BLANKET APPROVED BY THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURERS' SPECIFICATIONS.

LOCATION MAP: SCALE 1"=1,000'



GENERAL SITE DEVELOPMENT NOTES

1. EXISTING TOPOGRAPHY FROM FIELD SURVEY BY BASCOM & BENJAMIN LLC.
2. THIS PROPERTY IS LOCATED IN THE C-COMMERCIAL ZONE.
3. THIS SITE PLAN REQUIRES A ZONE CHANGE FROM R-1 TO C-COMMERCIAL. MAXIMUM ALLOWED LOT COVERAGE (Impervious area) = 60%. EXISTING LOT COVERAGE = 55.6%. PROPOSED LOT COVERAGE = 58.1%.
4. THIS SITE IS SERVED SANITARY SEWERS AND WELLS.
5. ALL GRADES ADJACENT TO FILLS SHALL BE BLENDED SO AS TO PREVENT PONDING.
6. FOR LOCATIONS OF UNDERGROUND ELECTRIC, TELEPHONE, GAS, CABLE TELEVISION, OR OTHER UTILITIES, INQUIRE AT THE APPROPRIATE UTILITY COMPANY AND CONTACT CALL BEFORE YOU DIG AT 1-800-922-4455.
7. DRIVEWAYS AND DRAIN OUTLETS SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT ICING CONDITIONS.
8. ALL WORK TO CONFORM TO TOWN OF EAST HAMPTON SPECIFICATIONS AND REGULATIONS.
9. THE CONTRACTOR IS REQUIRED TO PROVIDE DEMOLITION AND REMOVAL OF ALL ITEMS, EITHER ABOVE OR BELOW GRADE, REQUIRED TO CONSTRUCT THE PROPOSED SITE IMPROVEMENTS PER THE OWNERS DIRECTION AND REQUIREMENTS.
10. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREAS, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ON THE PLANS. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
11. THE CONTRACTOR IS REQUIRED TO PROVIDE AND INSTALL ALL ITEMS AS SHOWN ON THE SITE DEVELOPMENT PLANS, AND AS REQUIRED BY THE OWNER.
12. THE PROPOSED PARKING AREAS SHALL BE STRIPED WITH A 4" WIDE WHITE LINE.
13. ALL MATERIALS AND METHODS SHALL CONFORM TO CT DOT FORM 816 AS REVISED.
14. ALL EXCESS MATERIAL FROM CONSTRUCTION OR DEMOLITION SHALL BE DISPOSED OFF SITE.
15. THE CONTRACTOR SHALL VERIFY AND REPORT ANY DISCREPANCIES BETWEEN THE DESIGN PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER, GENERAL CONTRACTOR OR DESIGN ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
16. ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, COVERS, VALVE BOXES ETC. TO BE FLUSH WITH THE PROPOSED GRADES.
17. 22 PARKING SPACES ARE PROPOSED.
18. ALL SIGNAGE SHALL CONFORM TO SECTION 7.2 OF THE EAST HAMPTON ZONING REGULATIONS. FINAL DESIGN APPROVAL TO BE GRANTED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION.

MAP REFERENCE:
PROPERTY OF DONALD BURKHART, #35 EAST HIGH STREET, EAST HAMPTON,
CONN. SCALE: 1"=20', DATE: JULY, 1972, BY: WILSON M. ALFORD

This Survey and Map has been prepared in accordance with SECTIONS 20-300b-1 through 20-300b-20 of the REGULATIONS OF CONNECTICUT STATE AGENCIES "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc.

It is a TOPOGRAPHIC SURVEY based on the DEPENDENT RESURVEY METHOD conforming to Vertical Accuracy Class T-2 and Horizontal Accuracy Class A-2, and is intended to be used for the design of a Site Development Plan for this property.

This map is substantially correct to the best of my knowledge and belief.

Robert A. Bascom, L.S. Conn. License #14,199

APPROVED BY THE EAST HAMPTON
PLANNING & ZONING COMMISSION

FINAL APPROVAL: _____ CHAIRMAN
DATE: _____
EXPIRATION DATE: _____



REVISIONS

NO.	DESCRIPTION	BY	DATE
1	ZBA APPROVAL	P.B.	3-9-20

#35 WEST POINT ROAD EAST HAMPTON, CT		PROPERTY OF: AMERICAN EQUITIES V, LLC	Designed By: P.M.B.	Project No. 1058-01
			Drawn By: S.M.S.	Sheet No. 1 OF 1
		Checked By: P.M.B.	Scale: 1"=20'	Date: 27 JAN. 2020
		Approved By:	BASCOM & BENJAMIN, LLC SURVEYING and ENGINEERING CONSULTANTS 360 MAIN STREET DURHAM, CONN TEL. (860) 349-1678	

LEGEND

- | EXISTING | PROPOSED |
|--------------------------|-------------------|
| -210- CONTOURS | [Symbol] [Symbol] |
| 239 x 57 SPOT ELEVATIONS | [Symbol] |
| PERCOLATION TEST | [Symbol] |
| TEST HOLE | [Symbol] |
| LEACHING TRENCH | [Symbol] |
| CURTAIN DRAIN | [Symbol] |
| SURVEY CONTROL POINT | [Symbol] |
| SILT FENCE | [Symbol] |
| FLAGGED WETLAND BOUNDARY | [Symbol] |
| SOIL DELINEATION | [Symbol] |
| CATCH BASIN | [Symbol] |
| UTILITY POLE | [Symbol] |
| LIMITS OF CLEARING | [Symbol] |

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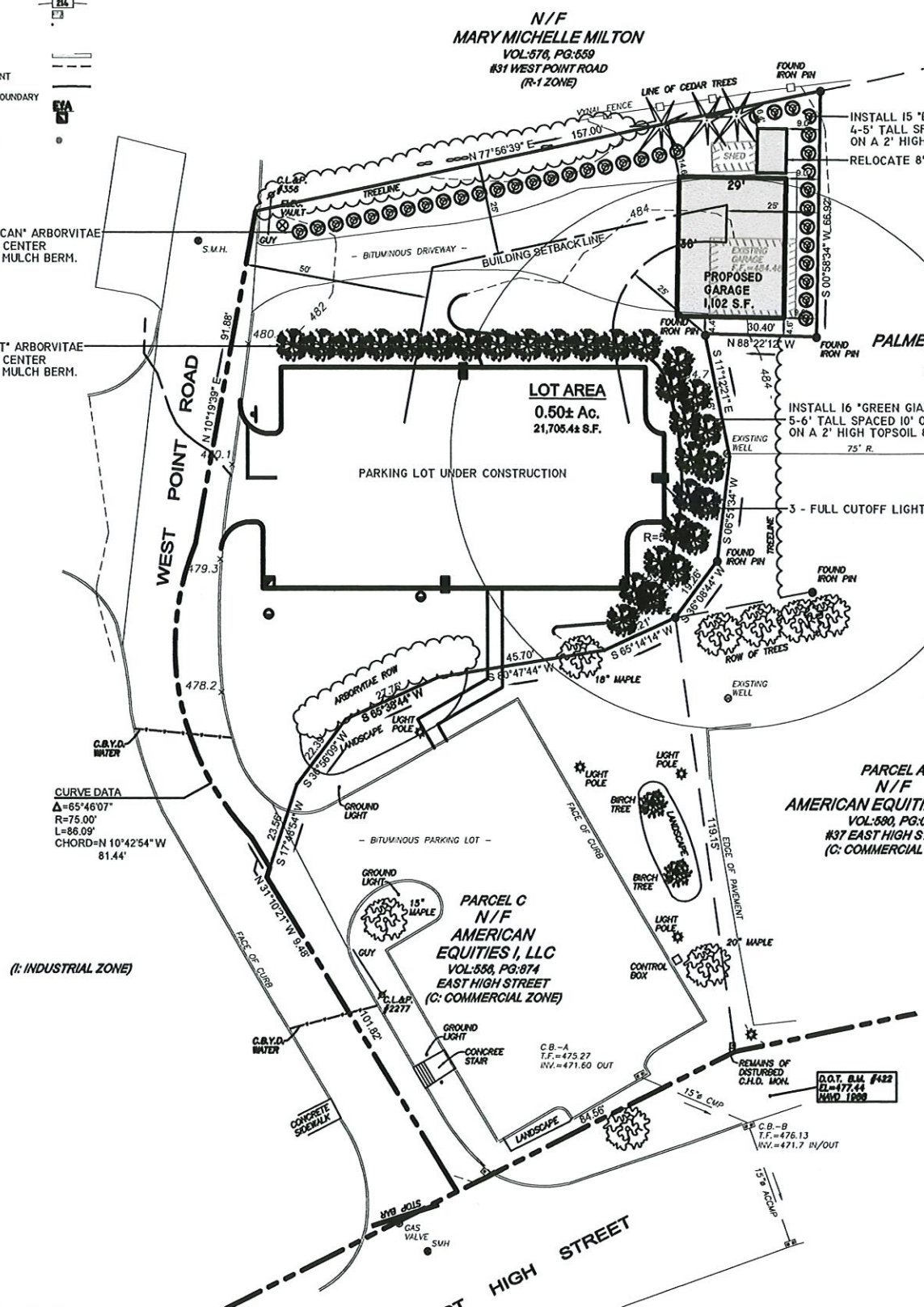
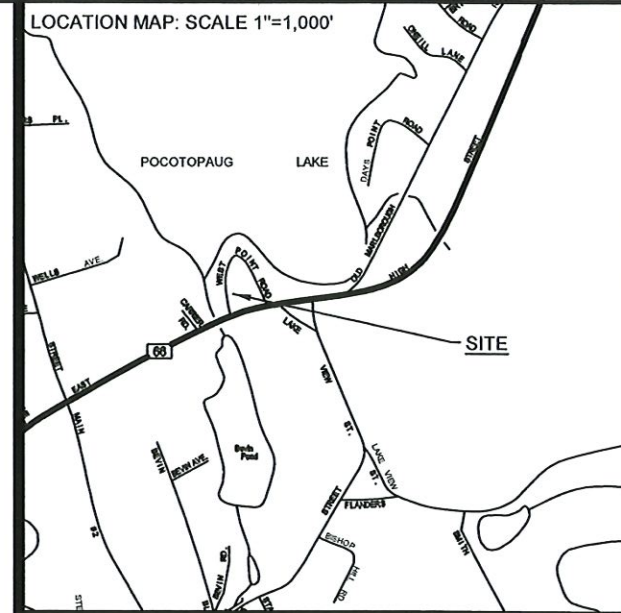
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CONN. SCALE: 1"=20', DATE: JULY, 1972, BY: WILSON M. ALFORD

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This map is substantially correct to the best of my knowledge and belief.

Robert A. Bascom, L.S. Conn. License #14,199

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL: _____ CHAIRMAN

DATE: _____

EXPIRATION DATE: _____



#35 WEST POINT ROAD
EAST HAMPTON, CT

PROPERTY OF:
AMERICAN EQUITIES V, LLC

Designed By: P.M.B.
Drawn By: S.M.S.
Checked By: P.M.B.
Approved By: [Signature]

SITE DEVELOPMENT PLAN
ASSESSORS MAP 5A, BLOCK 84, LOT 1

Project No. 1058-01
Sheet No. 1 OF 1
Scale: 1"=20'
Date: 27 JAN. 2020

BASCOM & BENJAMIN, LLC
SURVEYING and ENGINEERING CONSULTANTS
300 MAIN STREET DURHAM, CONN.
TEL. (860) 349-1678

REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	ZBA APPROVAL	P.B.	3-9-20

LEGEND

- EXISTING**
- 210 - CONTOURS
 - 230 ± 575' POT ELEVATIONS WELL
 - PERCOLATION TEST
 - TEST HOLE
 - LEACHING TRENCH
 - CURTAIN DRAIN
 - SURVEY CONTROL POINT
 - SILT FENCE
 - FLAGGED WETLAND BOUNDARY
 - SOIL DELINEATION
 - CATCH BASIN
 - UTILITY POLE
 - LIMITS OF CLEARING
- PROPOSED**
- 22' ARBORVITAE
 - 12' ARBORVITAE
 - PROPOSED GARAGE
 - PARKING LOT
 - DRIVEWAY
 - SETBACK LINE
 - ROW OF TREES
 - LANDSCAPE
 - CONCRETE STAIR
 - CONCRETE SIDEWALK
 - WETLAND
 - WETLAND BOUNDARY
 - WETLAND DELINEATION
 - WETLAND CONTROL POINT
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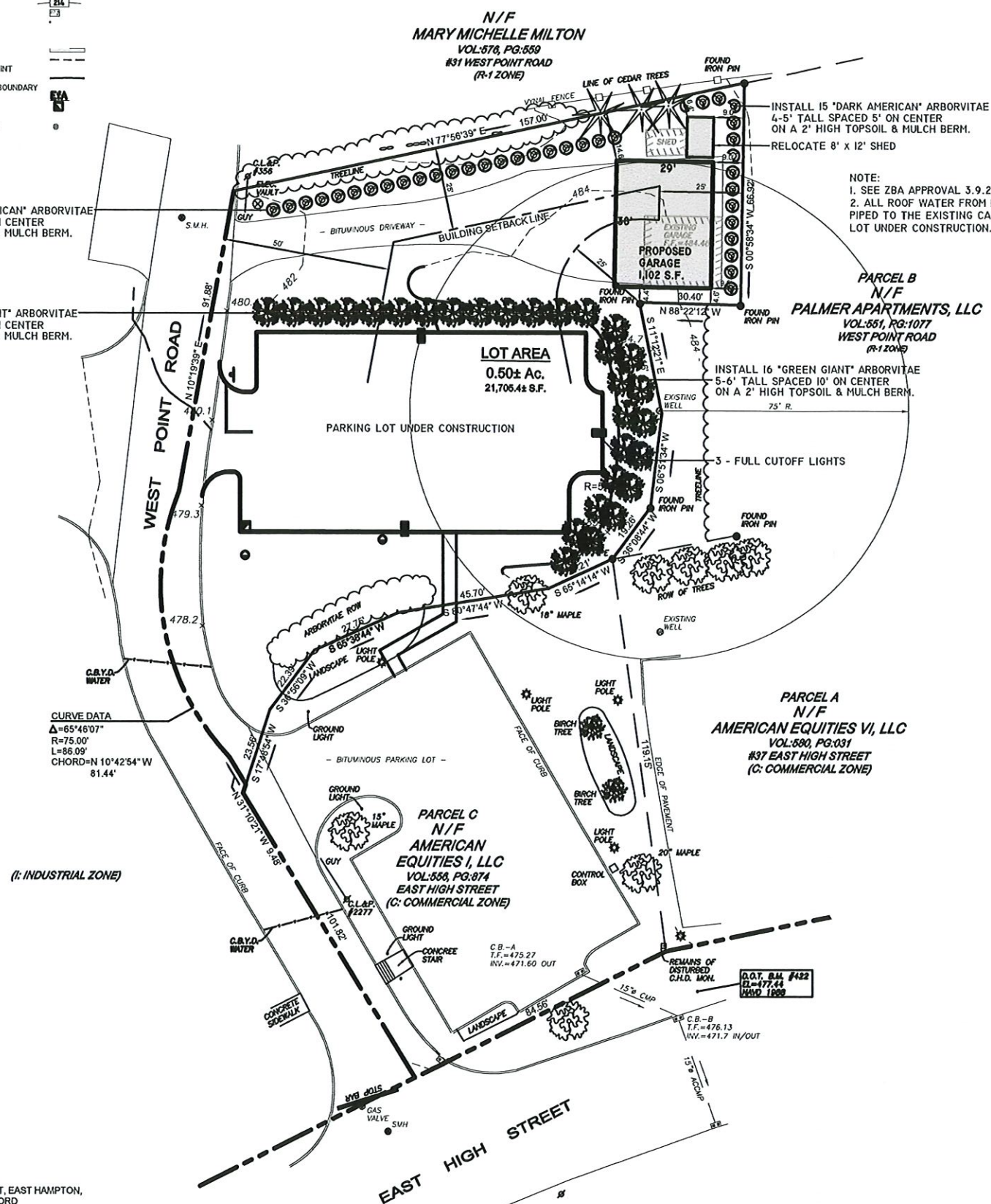
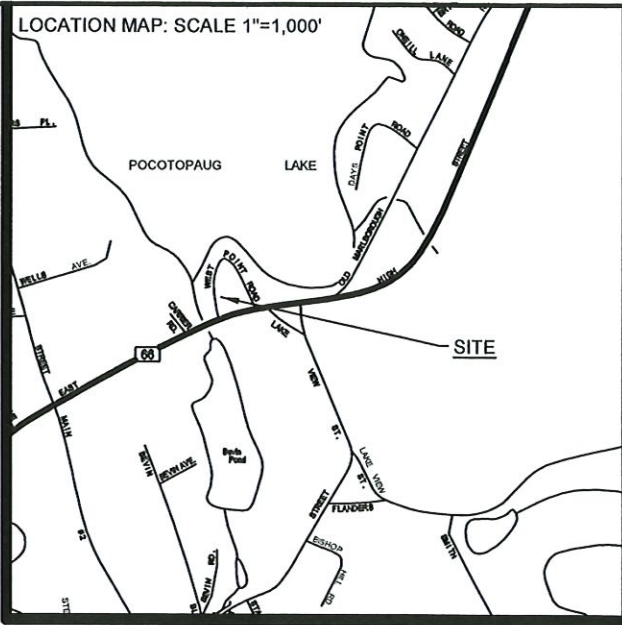
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Project No. 1058-01
Sheet No. 1 OF 1
Scale: 1"=20'
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VOL-570, PG:550
#31 WEST POINT ROAD
(R-1 ZONE)

PARCEL B
N/F
PALMER APARTMENTS, LLC
VOL:551, PG:1077
WEST POINT ROAD
(R-1 ZONE)

PARCEL A
N/F
AMERICAN EQUITIES VI, LLC
VOL:590, PG:031
#37 EAST HIGH STREET
(C: COMMERCIAL ZONE)

PARCEL C
N/F
AMERICAN EQUITIES I, LLC
VOL:558, PG:874
EAST HIGH STREET
(C: COMMERCIAL ZONE)

(I: INDUSTRIAL ZONE)

CURVE DATA
Δ = 65°46'07"
R = 75.00'
L = 88.09'
CHORD = N 10°42'54" W
81.44'

INSTALL 15 "DARK AMERICAN" ARBORVITAE
4-5' TALL SPACED 5' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.
RELOCATE 8' x 12' SHED

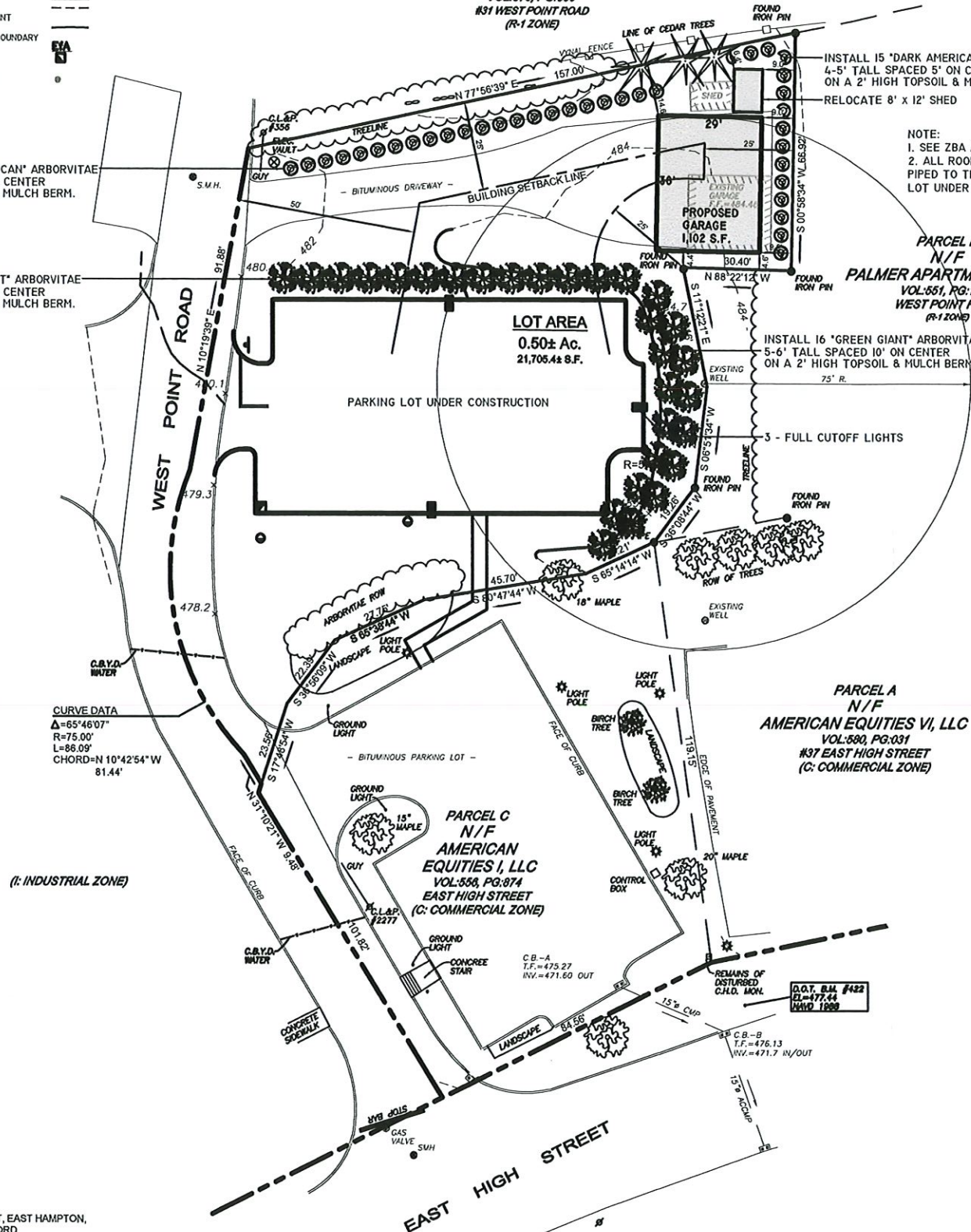
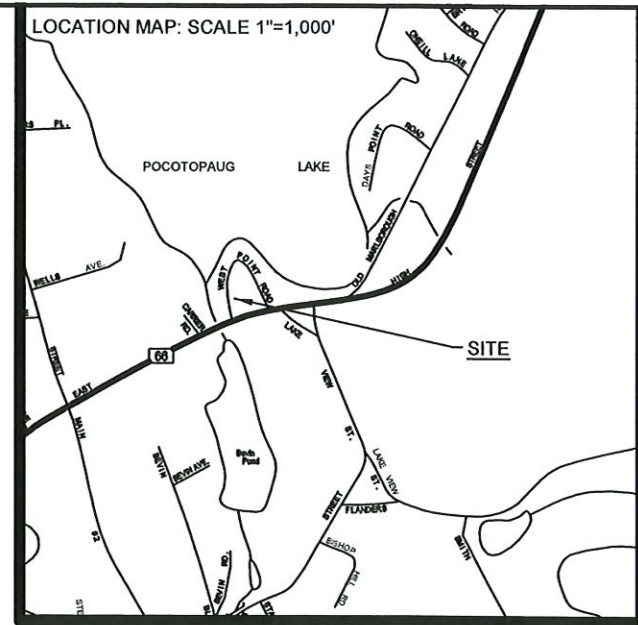
NOTE:
1. SEE ZBA APPROVAL 3.9.20 FOR BUILDING SETBACKS.
2. ALL ROOF WATER FROM PROPOSED GARAGE SHALL BE
PIPED TO THE EXISTING CATCH BASIN IN THE PARKING
LOT UNDER CONSTRUCTION.

EROSION & SEDIMENTATION CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE STATE OF CONNECTICUT "GUIDELINES FOR SEDIMENT AND EROSION CONTROL" 2002 EDITION.
LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND LAND RESTABILIZATION SCHEDULED AS SOON AS PRACTICABLE;
ALL CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED.
HAY BALE FILTERS OR FABRIC FENCE SHALL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES;
AFTER CONSTRUCTION IS COMPLETED, TOPSOIL SHALL BE EVENLY DISTRIBUTED OVER THE DISTURBED AREA, PROPERLY TREATED, AND SEEDED.
GRADING SHALL NOT BE DONE IN SUCH A MANNER SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THAT LANDOWNER AND THE COMMISSION.
ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER.
DRIVEWAYS WITH A SLOPE OF TEN PERCENT OR GREATER SHALL BE PAVED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CASH BOND SHALL BE POSTED WITH THE TOWN EQUAL TO THE COST OF CONSTRUCTION.
DISTURBED AREAS WITH A SLOPE OF TEN PERCENT OR GREATER SHALL BE SEEDED AND MULCHED PRIOR TO OCTOBER 15TH OR AN EROSION CONTROL BLANKET APPROVED BY THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURERS' SPECIFICATIONS.

GENERAL SITE DEVELOPMENT NOTES

- EXISTING TOPOGRAPHY FROM FIELD SURVEY BY BASCOM & BENJAMIN LLC.
- THIS PROPERTY IS LOCATED IN THE C-COMMERCIAL ZONE.
- THIS SITE PLAN REQUIRES A ZONE CHANGE FROM R-1 TO C: COMMERCIAL. MAXIMUM ALLOWED LOT COVERAGE (IMPERVIOUS AREA) = 60%. EXISTING LOT COVERAGE = 55.6%. PROPOSED LOT COVERAGE = 58.1%.
- THIS SITE IS SERVED SANITARY SEWERS AND WELLS.
- ALL GRADES ADJACENT TO FILLS SHALL BE BLENDED SO AS TO PREVENT PONDING.
- FOR LOCATIONS OF UNDERGROUND ELECTRIC, TELEPHONE, GAS, CABLE TELEVISION, OR OTHER UTILITIES, INQUIRE AT THE APPROPRIATE UTILITY COMPANY AND CONTACT CALL BEFORE YOU DIG AT 1-800-922-4455.
- DRIVEWAYS AND DRAIN OUTLETS SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT ICING CONDITIONS.
- ALL WORK TO CONFORM TO TOWN OF EAST HAMPTON SPECIFICATIONS AND REGULATIONS.
- THE CONTRACTOR IS REQUIRED TO PROVIDE DEMOLITION AND REMOVAL OF ALL ITEMS, EITHER ABOVE OR BELOW GRADE, REQUIRED TO CONSTRUCT THE PROPOSED SITE IMPROVEMENTS PER THE OWNERS DIRECTION AND REQUIREMENTS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREAS, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ON THE PLANS. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND INSTALL ALL ITEMS AS SHOWN ON THE SITE DEVELOPMENT PLANS, AND AS REQUIRED BY THE OWNER.
- THE PROPOSED PARKING AREAS SHALL BE STRIPED WITH A 4" WIDE WHITE LINE.
- ALL MATERIALS AND METHODS SHALL CONFORM TO CT DOT FORM 816 AS REVISED.
- ALL EXCESS MATERIAL FROM CONSTRUCTION OR DEMOLITION SHALL BE DISPOSED OF OFF SITE.
- THE CONTRACTOR SHALL VERIFY AND REPORT ANY DISCREPANCIES BETWEEN THE DESIGN PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER, GENERAL CONTRACTOR OR DESIGN ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, COVERS, VALVE BOXES ETC. TO BE FLUSH WITH THE PROPOSED GRADES.
- 22 PARKING SPACES ARE PROPOSED.
- ALL SIGNAGE SHALL CONFORM TO SECTION 7.2 OF THE EAST HAMPTON ZONING REGULATIONS. FINAL DESIGN APPROVAL TO BE GRANTED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION.



MAP REFERENCE:
PROPERTY OF DONALD BURKHART, #35 EAST HIGH STREET, EAST HAMPTON,
CONN. SCALE: 1"=20', DATE: JULY, 1972, BY: WILSON M. ALFORD

This Survey and Map has been prepared in accordance with SECTIONS 20-300b-1 through 20-300b-20 of the REGULATIONS OF CONNECTICUT STATE AGENCIES "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc.

It is a TOPOGRAPHIC SURVEY based on the DEPENDENT RESURVEY METHOD conforming to Vertical Accuracy Class T-2 and Horizontal Accuracy Class A-2, and is intended to be used for the design of a Site Development Plan for this property.

This map is substantially correct to the best of my knowledge and belief.

Robert A. Bascom, L.S. Conn. License #14,199

APPROVED BY THE EAST HAMPTON
PLANNING & ZONING COMMISSION

FINAL APPROVAL: _____ CHAIRMAN

DATE: _____

EXPIRATION DATE: _____

REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	ZBA APPROVAL	P.B.	3-9-20

#35 WEST POINT ROAD EAST HAMPTON, CT		
PROPERTY OF: AMERICAN EQUITIES V, LLC		
Designed By: P.M.B.	SITE DEVELOPMENT PLAN ASSESSORS MAP 5A, BLOCK 84, LOT 1	Project No. 1058-01
Drawn By: S.M.S.		Sheet No. 1 OF 1
Checked By: P.M.B.	 BASCOM & BENJAMIN, LLC SURVEYING and ENGINEERING CONSULTANTS 350 MAIN STREET DURHAM, CONN TEL (860) 349-1676	Scale: 1"=20'
Approved By:		Date: 27 JAN. 2020



LEGEND

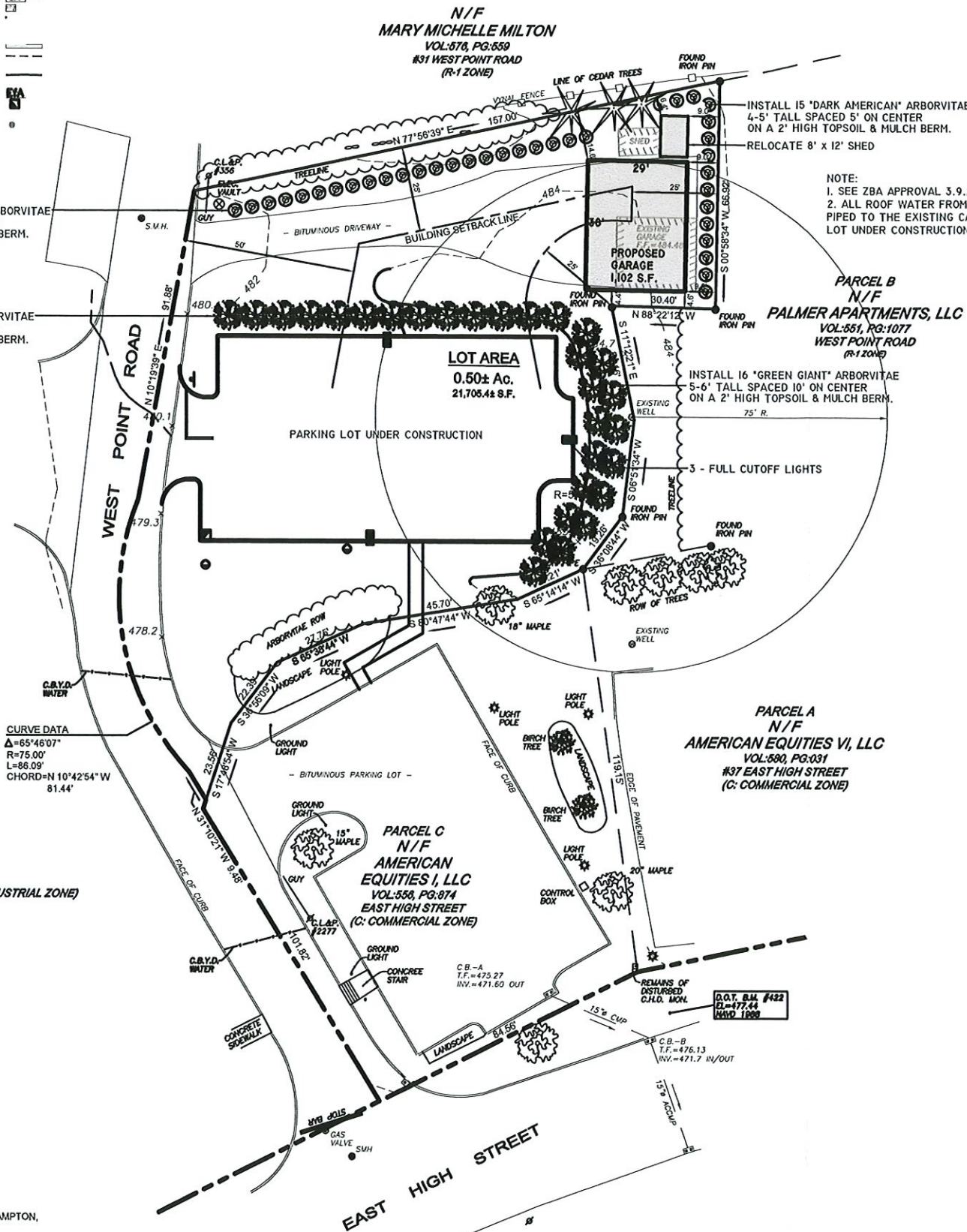
- | | |
|--------------------------|-----------------------|
| EXISTING | PROPOSED |
| - 210 - CONTOURS | - [Symbol] - [Symbol] |
| 239 x 575 POT ELEVATIONS | [Symbol] |
| PERCOLATION TEST WELL | [Symbol] |
| TEST HOLE | [Symbol] |
| LEACHING TRENCH | [Symbol] |
| CURTAIN DRAIN | [Symbol] |
| SURVEY CONTROL POINT | [Symbol] |
| SILT FENCE | [Symbol] |
| FLAGGED WETLAND BOUNDARY | [Symbol] |
| SOIL DELINEATION | [Symbol] |
| CATCH BASIN | [Symbol] |
| UTILITY POLE | [Symbol] |
| LIMITS OF CLEARING | [Symbol] |

INSTALL 22 "DARK AMERICAN" ARBORVITAE
4-5' TALL SPACED 5' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.

INSTALL 12 "GREEN GIANT" ARBORVITAE
5-6' TALL SPACED 8' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.

CONNECTICUT COORDINATE GRID

(I: INDUSTRIAL ZONE)



CURVE DATA
Δ=65°46'07"
R=75.00'
L=86.09'
CHORD=N 10°42'54" W
81.44'

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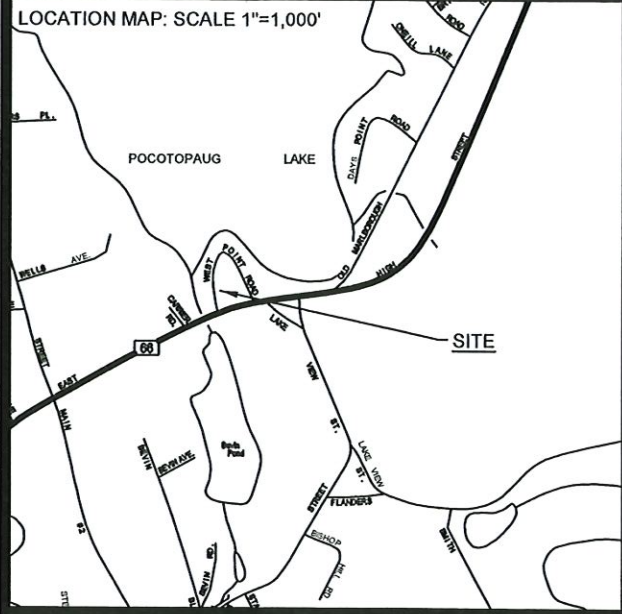
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LOCATION MAP: SCALE 1"=1,000'



GENERAL SITE DEVELOPMENT NOTES

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MAP REFERENCE:
PROPERTY OF DONALD BURKHART, #35 EAST HIGH STREET, EAST HAMPTON, CONN. SCALE: 1"=20', DATE: JULY, 1972, BY: WILSON M. ALFORD

This Survey and Map has been prepared in accordance with SECTIONS 20-300b-1 through 20-300b-20 of the REGULATIONS OF CONNECTICUT STATE AGENCIES "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc.

It is a TOPOGRAPHIC SURVEY based on the DEPENDENT RESURVEY METHOD conforming to Vertical Accuracy Class T-2 and Horizontal Accuracy Class A-2, and is intended to be used for the design of a Site Development Plan for this property.

This map is substantially correct to the best of my knowledge and belief.

Robert A. Bascom, L.S. Conn. License #14,199

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL: _____ CHAIRMAN
DATE: _____
EXPIRATION DATE: _____

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	ZBA APPROVAL	P.B.	3-9-20

#35 WEST POINT ROAD EAST HAMPTON, CT		PROPERTY OF: AMERICAN EQUITIES V, LLC	
Designed By: P.M.B.	SITE DEVELOPMENT PLAN	Project No. 1058-01	Scale: 1"=20'
Drawn By: S.M.S.		Sheet No. 1 OF 1	
Checked By: P.M.B.	ASSESSORS MAP 5A, BLOCK 84, LOT 1	Date: 27 JAN. 2020	
Approved By:	BASCOM & BENJAMIN, LLC SURVEYING AND ENGINEERING CONSULTANTS 360 MAIN STREET DURHAM, CONN. TEL. (603) 349-1676		



LEGEND

- EXISTING**
- 210- CONTOURS
 - 230 ± 57 SPOT ELEVATIONS
 - PERCOLATION TEST
 - TEST HOLE
 - LEACHING TRENCH
 - CURTAIN DRAIN
 - ▲ SURVEY CONTROL POINT
 - SLT FENCE
 - FLAGGED WETLAND BOUNDARY
 - SOIL DELINEATION
 - CATCH BASIN
 - UTILITY POLE
 - LIMITS OF CLEARING
- PROPOSED**
- [Symbol] 4" x 4" CONC. CURB
 - [Symbol] 4" x 4" CONC. SIDEWALK
 - [Symbol] 4" x 4" CONC. DRIVEWAY
 - [Symbol] 4" x 4" CONC. DRIVEWAY
 - [Symbol] 4" x 4" CONC. DRIVEWAY

INSTALL 22 "DARK AMERICAN" ARBORVITAE
4-5' TALL SPACED 5' ON CENTER
ON A 2' HIGH TOPSOIL & MULCH BERM.

INSTALL 12 "GREEN GIANT" ARBORVITAE
5-6' TALL SPACED 8' ON CENTER
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INSTALL 15 "DARK AMERICAN" ARBORVITAE
4-5' TALL SPACED 5' ON CENTER
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RELOCATE 8' x 12' SHED

NOTE:
1. SEE ZBA APPROVAL 3.9.20 FOR BUILDING SETBACKS.
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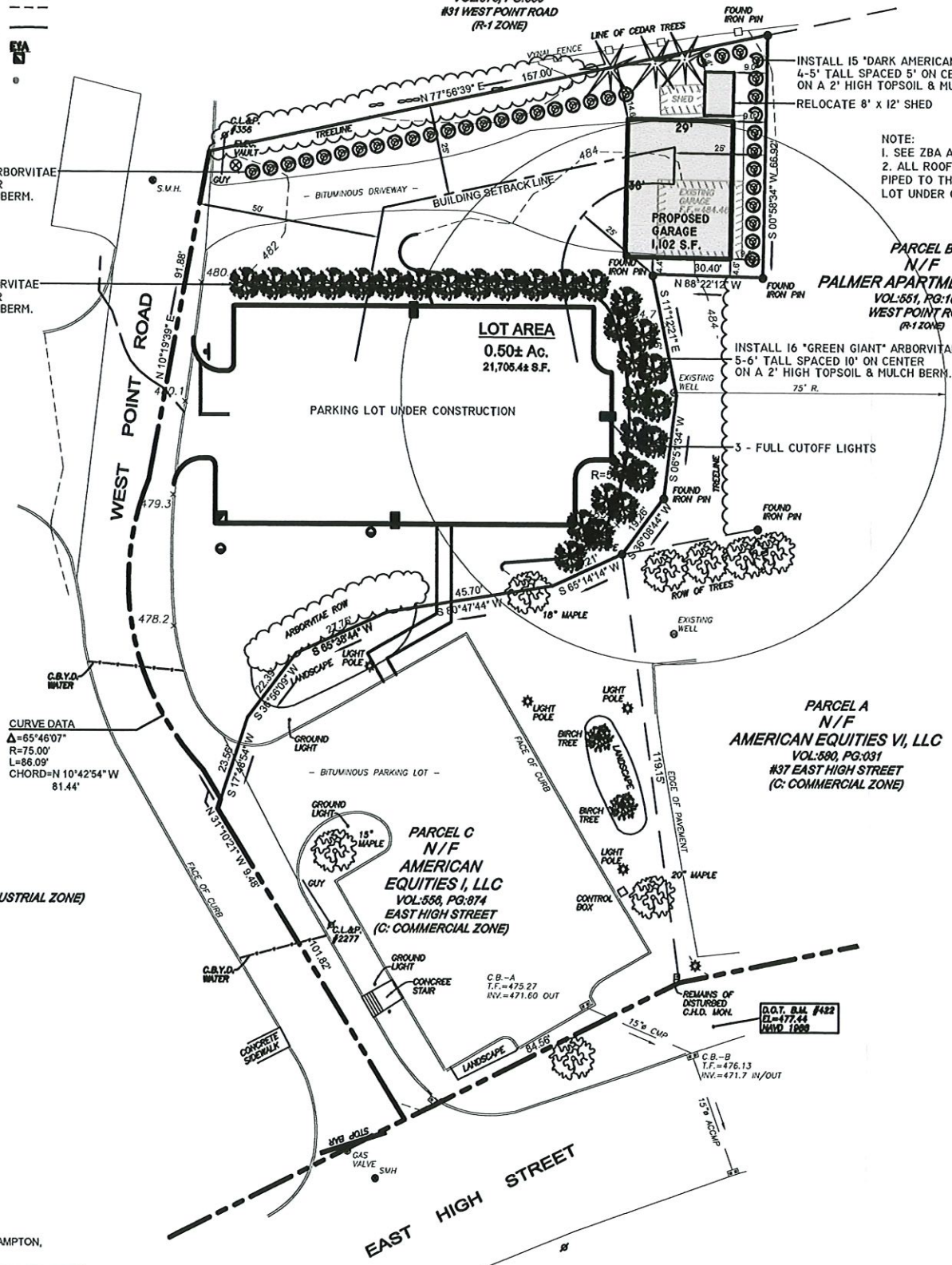
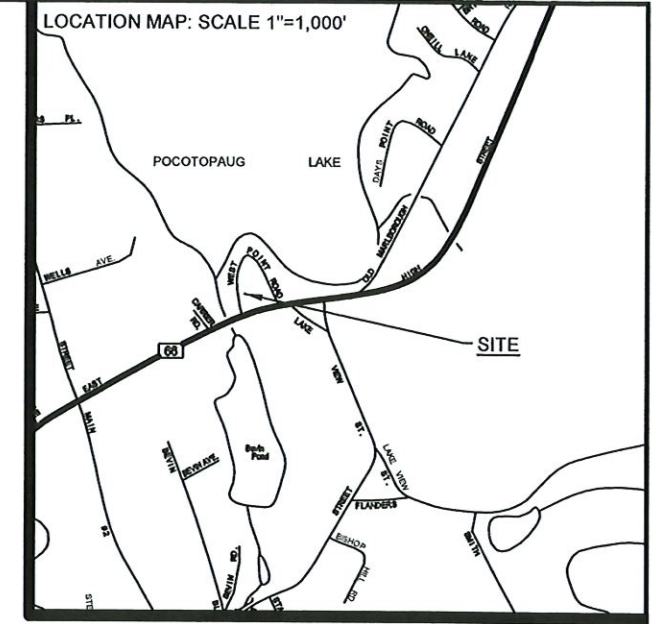
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GENERAL SITE DEVELOPMENT NOTES

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CONN. SCALE: 1"=20', DATE: JULY, 1972, BY: WILSON M. ALFORD

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APPROVED BY THE EAST HAMPTON
PLANNING & ZONING COMMISSION

FINAL APPROVAL: _____ CHAIRMAN

DATE: _____

EXPIRATION DATE: _____

REVISIONS			
NO	DESCRIPTION	BY	DATE
1	ZBA APPROVAL	P.B.	3-9-20

#35 WEST POINT ROAD
EAST HAMPTON, CT

PROPERTY OF:
AMERICAN EQUITIES V, LLC

Designed By: P.M.B.
Drawn By: S.M.S.
Checked By: P.M.B.
Approved By: _____

SITE DEVELOPMENT PLAN
ASSESSORS MAP 5A, BLOCK 84, LOT 1

Project No. 1058-01
Sheet No. 1 OF 1
Scale: 1"=20'
Date: 27 JAN. 2020

BASCOM & BENJAMIN, LLC
SURVEYING and ENGINEERING CONSULTANTS
360 MAIN STREET DURHAM, CONN.
TEL. (860) 349-1878