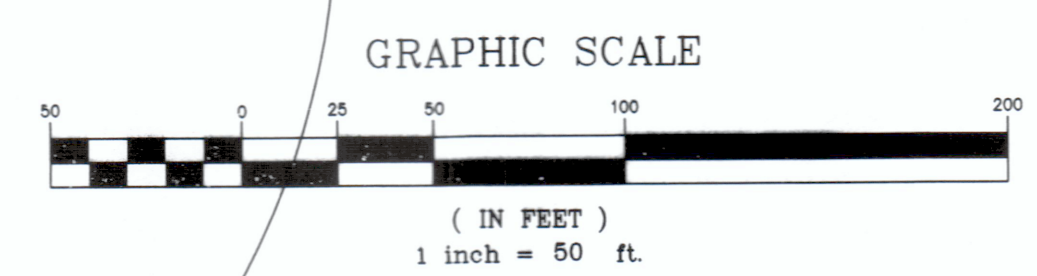


- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
  - THIS MAP SHOWS A PROPERTY SURVEY DEPICTING THE PROPOSED SUBDIVISION IN RELATION TO THE EXISTING BOUNDARY LINES UNDER THE PROPERTY/BOUNDARY SURVEY CATEGORY.
  - BOUNDARY DETERMINATION/OPINION IS A DEPENDENT RESURVEY AS NOTED. SEE NOTE 9.
  - THIS SURVEY CONFORMS TO A CLASS A-2.
  - THE HORIZONTAL DATUM IS NAD 83 WITH 1986 ADJUSTMENTS. THE VERTICAL DATUM IS NAVD 88.
  - THIS PROPERTY IS IN AN "R-2" ZONE.
  - THE EXISTING LOT 6A AREA = 643,224 S.F. / 14.766 ACRES. THE NEW LOT 6-1 AREA = 199,696 S.F. / 4.584 ACRES. THE NEW LOT 6-2 AREA = 61,027 S.F. / 1.401 ACRES. THE NEW LOT 6-3 AREA = 216,496 S.F. / 4.970 ACRES. THE NEW LOT 6-4 AREA = 166,005 S.F. / 3.811 ACRES.
  - THIS PROPERTY IS NOT WITHIN ANY FLOOD ZONE.
  - REFERENCE IS MADE TO THE FOLLOWING MAPS:
    - LOT SPLIT "FIRST CUT" FOR STANISLAV J. OLEKSENKO LOT 6A CONE ROAD EAST HAMPTON, CONNECTICUT SCALE: 1" = 50' DATED: 1-15-17 PREPARED BY: JOHN L. THOMPSON MAP ON FILE VOL. 83 PAGE 57 AT THE EAST HAMPTON TOWN CLERKS OFFICE.
    - SITE DEVELOPMENT PLAN PREPARED FOR STANISLAV J. OLEKSENKO LOT 6A CONE ROAD EAST HAMPTON, CT SCALE: 1" = 20' DATED: 1-26-19 PREPARED BY: FRANK C. MAGNOTTA MAP ON FILE IN THE EAST HAMPTON BUILDING DEPT.
    - PROPERTY SURVEY PREPARED FOR STANISLAV J. OLEKSENKO CONE ROAD & OLD MIDDLETOWN ROAD ASSESSOR'S MAP 6 / BLOCK 37 / LOT 6 EAST HAMPTON, CONNECTICUT SCALE: 1" = 50' DATED: MARCH 15, 2019 PREPARED BY: KENNETH J. PICARD MAP ON FILE IN THE EAST HAMPTON BUILDING DEPT.
  - THE STONEWALLS AND/OR THE WIRE FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN THE PRINCIPAL POINTS OF COURSE INDICATED.

JAN 27 2020



REVISIONS			
NO.	DATE	DESCRIPTION	BY

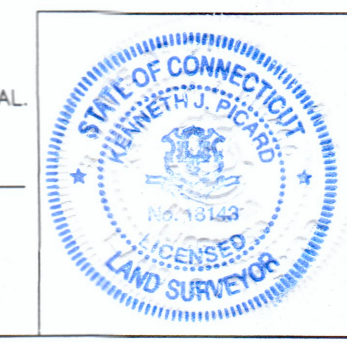
- LEGEND:
- I.P. FOUND
  - LOT CORNER
  - x SPOT ELEVATIONS
  - MONUMENT
  - MONUMENT FOUND
  - BOUNDARY LINE
  - SETBACK LINE
  - WETLANDS
  - STONEWALL
  - PROPOSED ELEVATION

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP VALID ONLY WITH A LIVE SIGNATURE AND AN EMBOSSED SEAL.

*Kenneth J. Picard*

KENNETH J. PICARD, L.S. 18143  
PICARD LAND SURVEYING, LLC  
459 JONES HOLLOW ROAD  
MARLBOROUGH, CT 06447



PROPERTY SURVEY  
SHOWING THE PROPOSED SUBDIVISION  
OF THE PARCEL SHOWN ON  
ASSESSOR'S MAP 6 / BLOCK 37 / LOT 6A

PREPARED FOR  
STANISLAV J. OLEKSENKO

#11 CONE ROAD & OLD MIDDLETOWN ROAD  
EAST HAMPTON, CONNECTICUT

DRAWN BY: K.J.P. CHECKED BY:

SCALE: 1 INCH = 50 FEET

DATE: JANUARY 24, 2020

PROPOSED SUBDIVISION SHEET: 1

Approved by the East Hampton Inland Wetland & Watercourse Agency

Final Approval: \_\_\_\_\_ Chairman Date: \_\_\_\_\_

Date of Approval: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

THE WETLAND, WATERCOURSE, AND CHANNEL BOUNDARIES SHOWN ON THIS MAP WERE DELINEATED BY WILLIAM A. JACKSON AT VARIOUS DATES IN 2018 AND 2019. THE WETLAND BOUNDARIES IDENTIFIED ON THIS PLAN ARE SUBSTANTIALLY CORRECT.

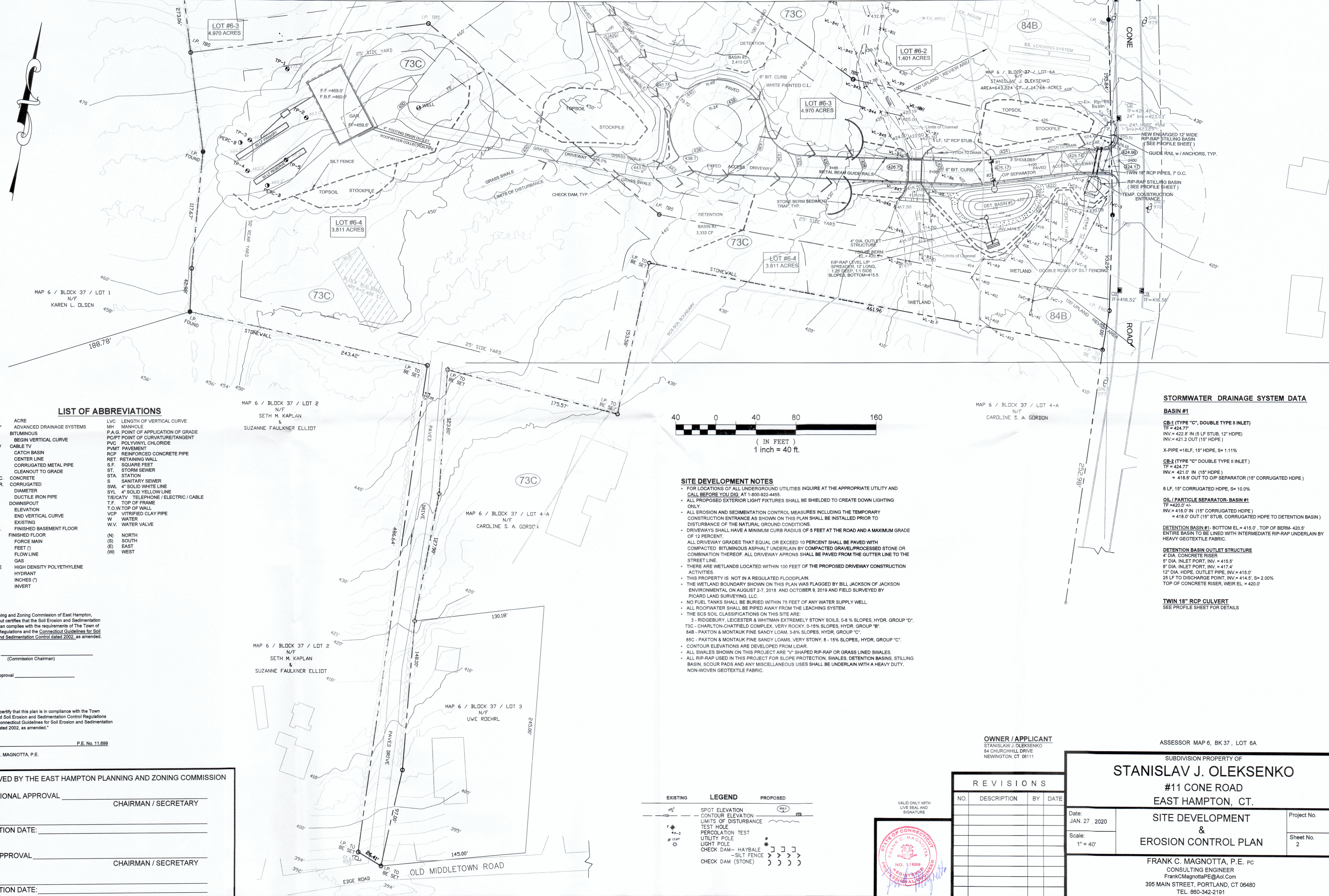
*William A. Jackson* January 27 2020

WILLIAM A. JACKSON, R.S., L.E.P.  
REGISTERED SOIL SCIENTIST

UNDERGROUND FEATURES DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROL TESTIMONY, FIELD INVESTIGATIONS, AND OTHER SOURCES. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KENNETH J. PICARD DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

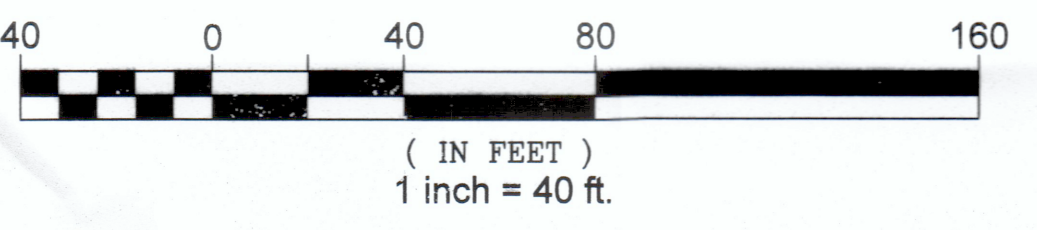
THE LOCATIONS OF ALL UNDERGROUND UTILITIES, STRUCTURES, AND FACILITIES SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE IN NATURE AND ALL SUCH FEATURES MAY NOT BE SHOWN.

CALL BEFORE YOU DIG 1-800-922-4455.



**LIST OF ABBREVIATIONS**

AC	ACRE	LVC	LENGTH OF VERTICAL CURVE
"AD"	ADVANCED DRAINAGE SYSTEMS	MH	MANHOLE
BIT.	BITUMINOUS	P.A.G.	POINT OF APPLICATION OF GRADE
BVC	BEGIN VERTICAL CURVE	P.C/P.T	POINT OF CURVATURE/TANGENT
CATV	CABLE TV	PVC	POLYVINYL CHLORIDE
C.B.	CATCH BASIN	P.V.M.T.	PAVEMENT
CL	CENTER LINE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	RET.	RETAINING WALL
C.O.	CLEANOUT TO GRADE	S.F.	SQUARE FEET
CONC.	CONCRETE	ST.	STORM SEWER
CORR.	CORRUGATED	STA.	STATION
DIA.	DIAMETER	S	SANITARY SEWER
DIP	DUCTILE IRON PIPE	SWL	4" SOLID WHITE LINE
D.S.	DOWNSPOUT	SYL	4" SOLID YELLOW LINE
EL	ELEVATION	T/E/CATV	TELEPHONE / ELECTRIC / CABLE
EVC	END VERTICAL CURVE	T.F.	TOP OF FRAME
EX.	EXISTING	T.O.W.	TOP OF WALL
F.B.F.	FINISHED BASEMENT FLOOR	VCP	VITRIFIED CLAY PIPE
F.F.	FINISHED FLOOR	W	WATER
F.M.	FORCE MAIN	W.V.	WATER VALVE
FT.	FEET (')	(N)	NORTH
FL	FLOW LINE	(S)	SOUTH
G	GAS	(E)	EAST
HDPE	HIGH DENSITY POLYETHYLENE	(W)	WEST
HYD.	HYDRANT		
IN.	INCHES (")		
INV.	INVERT		



**SITE DEVELOPMENT NOTES**

- FOR LOCATIONS OF ALL UNDERGROUND UTILITIES INQUIRE AT THE APPROPRIATE UTILITY AND CALL BEFORE YOU DIG AT 1-800-922-4465
- ALL PROPOSED EXTERIOR LIGHT FIXTURES SHALL BE SHIELDED TO CREATE DOWN LIGHTING ONLY.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING THE TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO DISTURBANCE OF THE NATURAL GROUND CONDITIONS
- DRIVEWAYS SHALL HAVE A MINIMUM CURB RADIUS OF 5 FEET AT THE ROAD AND A MAXIMUM GRADE OF 12 PERCENT.
- ALL DRIVEWAY GRADES THAT EQUAL OR EXCEED 10 PERCENT SHALL BE PAVED WITH COMPACTED BITUMINOUS ASPHALT UNDERLAIN BY COMPACTED GRAVEL/PROCESSED STONE OR COMBINATION THEREOF. ALL DRIVEWAY APRONS SHALL BE PAVED FROM THE GUTTER LINE TO THE STREET LINE.
- THERE ARE WETLANDS LOCATED WITHIN 100 FEET OF THE PROPOSED DRIVEWAY CONSTRUCTION ACTIVITIES.
- THIS PROPERTY IS NOT IN A REGULATED FLOODPLAIN
- THE WETLAND BOUNDARY SHOWN ON THIS PLAN WAS FLAGGED BY BILL JACKSON OF JACKSON ENVIRONMENTAL ON AUGUST 2-7, 2018 AND OCTOBER 9, 2019 AND FIELD SURVEYED BY PICARD LAND SURVEYING, LLC.
- NO FUEL TANKS SHALL BE BURIED WITHIN 75 FEET OF ANY WATER SUPPLY WELL.
- ALL ROOFWATER SHALL BE PIPED AWAY FROM THE LEACHING SYSTEM.
- THE SOIL CLASSIFICATIONS ON THIS SITE ARE:  
 3 - RIDGEBURY, LEICESTER & WHITMAN EXTREMELY STONY SOILS, 0-8 % SLOPES, HYDR. GROUP "D".  
 73C - CHARLTON-CHATFIELD COMPLEX, VERY ROCKY, 0-15% SLOPES, HYDR. GROUP "B".  
 84B - PAXTON & MONTAUK FINE SANDY LOAM, 3-8% SLOPES, HYDR. GROUP "C".  
 85C - PAXTON & MONTAUK FINE SANDY LOAMS, VERY STONY, 8 - 15% SLOPES, HYDR. GROUP "C".
- CONTOUR ELEVATIONS ARE DEVELOPED FROM LIDAR.
- ALL SWALES SHOWN ON THIS PROJECT ARE "V" SHAPED RIP-RAP OR GRASS LINED SWALES.
- ALL RIP-RAP USED IN THIS PROJECT FOR SLOPE PROTECTION, SWALES, DETENTION BASINS, STILLING BASIN, SCOUR PADS AND ANY MISCELLANEOUS USES SHALL BE UNDERLAIN WITH A HEAVY DUTY, NON-WOVEN GEOTEXTILE FABRIC.

**STORMWATER DRAINAGE SYSTEM DATA**

**BASIN #1**  
**CB-1 (TYPE "C", DOUBLE TYPE II INLET)**  
 TF = 424.77'  
 INV. = 422.0' IN (15' HDPE)  
 INV. = 421.2' OUT (15' HDPE)  
 X-PIPE = 18" LF, 15' HDPE, S= 1.11%

**CB-2 (TYPE "C" DOUBLE TYPE II INLET)**  
 TF = 424.77'  
 INV. = 421.0' IN (15' HDPE)  
 = 418.6' OUT TO O/P SEPARATOR (15' CORRUGATED HDPE)

8 LF, 15" CORRUGATED HDPE, S= 10.0%

**OIL / PARTICLE SEPARATOR- BASIN #1**  
 TF = 420.0' +/-  
 INV. = 418.0' IN (15" CORRUGATED HDPE)  
 = 418.0' OUT (15" STUB, CORRUGATED HDPE TO DETENTION BASIN)

**DETENTION BASIN #1- BOTTOM EL. = 415.0', TOP OF BERM- 420.5'**  
 ENTIRE BASIN TO BE LINED WITH INTERMEDIATE RIP-RAP UNDERLAIN BY HEAVY GEOTEXTILE FABRIC.

**DETENTION BASIN OUTLET STRUCTURE**  
 4" DIA. CONCRETE RISER  
 5" DIA. INLET PORT, INV. = 415.5'  
 8" DIA. INLET PORT, INV. = 417.4'  
 12" DIA. HOPE, OUTLET PIPE, INV. = 415.0'  
 25 LF TO DISCHARGE POINT, INV. = 414.5', S= 2.00%  
 TOP OF CONCRETE RISER, WEIR EL. = 420.0'

**TWIN 18" RCP CULVERT**  
 SEE PROFILE SHEET FOR DETAILS

The Planning and Zoning Commission of East Hampton, Connecticut certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of The Town of Portland Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended.

Signature \_\_\_\_\_  
 (Commission Chairman)

Date of Approval \_\_\_\_\_

MAP 6 / BLOCK 37 / LOT 2  
 N/F  
 SETH M. KAPLAN  
 &  
 SUZANNE FAULKNER ELLIOT

MAP 6 / BLOCK 37 / LOT 2  
 N/F  
 SETH M. KAPLAN  
 &  
 SUZANNE FAULKNER ELLIOT

MAP 6 / BLOCK 37 / LOT 3  
 N/F  
 UWE RDEHRL

**OWNER / APPLICANT**  
 STANISLAV J. OLEKSENKO  
 84 CHURCHHILL DRIVE  
 NEWINGTON, CT 06111

ASSESSOR MAP 6, BK 37, LOT 6A

SUBDIVISION PROPERTY OF  
**STANISLAV J. OLEKSENKO**  
 #11 CONE ROAD  
 EAST HAMPTON, CT.

**SITE DEVELOPMENT  
 &  
 EROSION CONTROL PLAN**

FRANK C. MAGNOTTA, P.E. PC  
 CONSULTING ENGINEER  
 FrankCMagnottaPE@aol.com  
 395 MAIN STREET, PORTLAND, CT 06480  
 TEL. 860-342-2191

**REVISIONS**

NO.	DESCRIPTION	BY	DATE



EXISTING	LEGEND	PROPOSED
102	SPOT ELEVATION	102
103	CONTOUR ELEVATION	103
104	LIMITS OF DISTURBANCE	104
105	TEST HOLE	105
106	PERCOLATION TEST	106
107	UTILITY POLE	107
108	LIGHT POLE	108
109	CHECK DAM - HAYBALE	109
110	CHECK DAM - SILT FENCE	110
111	CHECK DAM (STONE)	111

APPROVED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION

CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

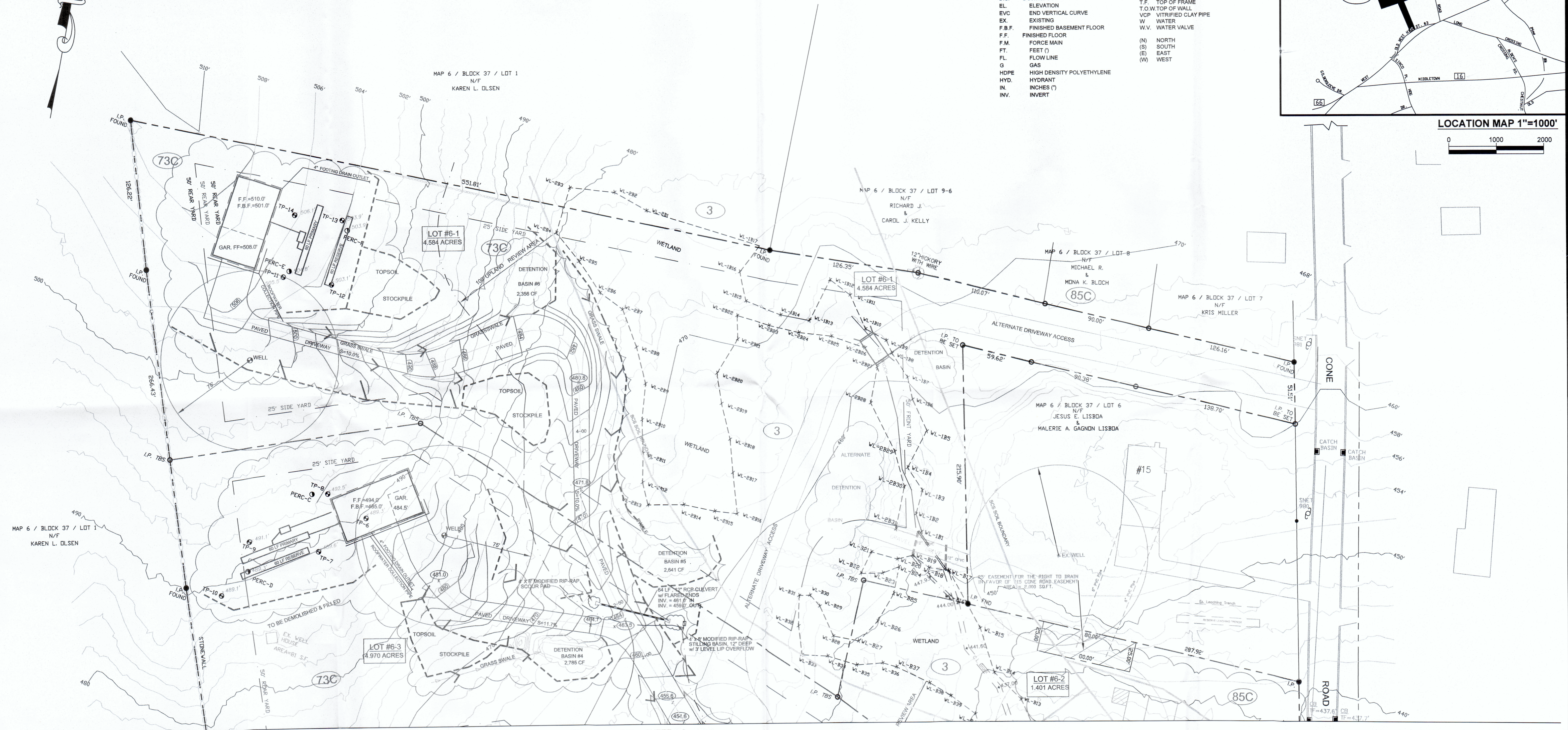
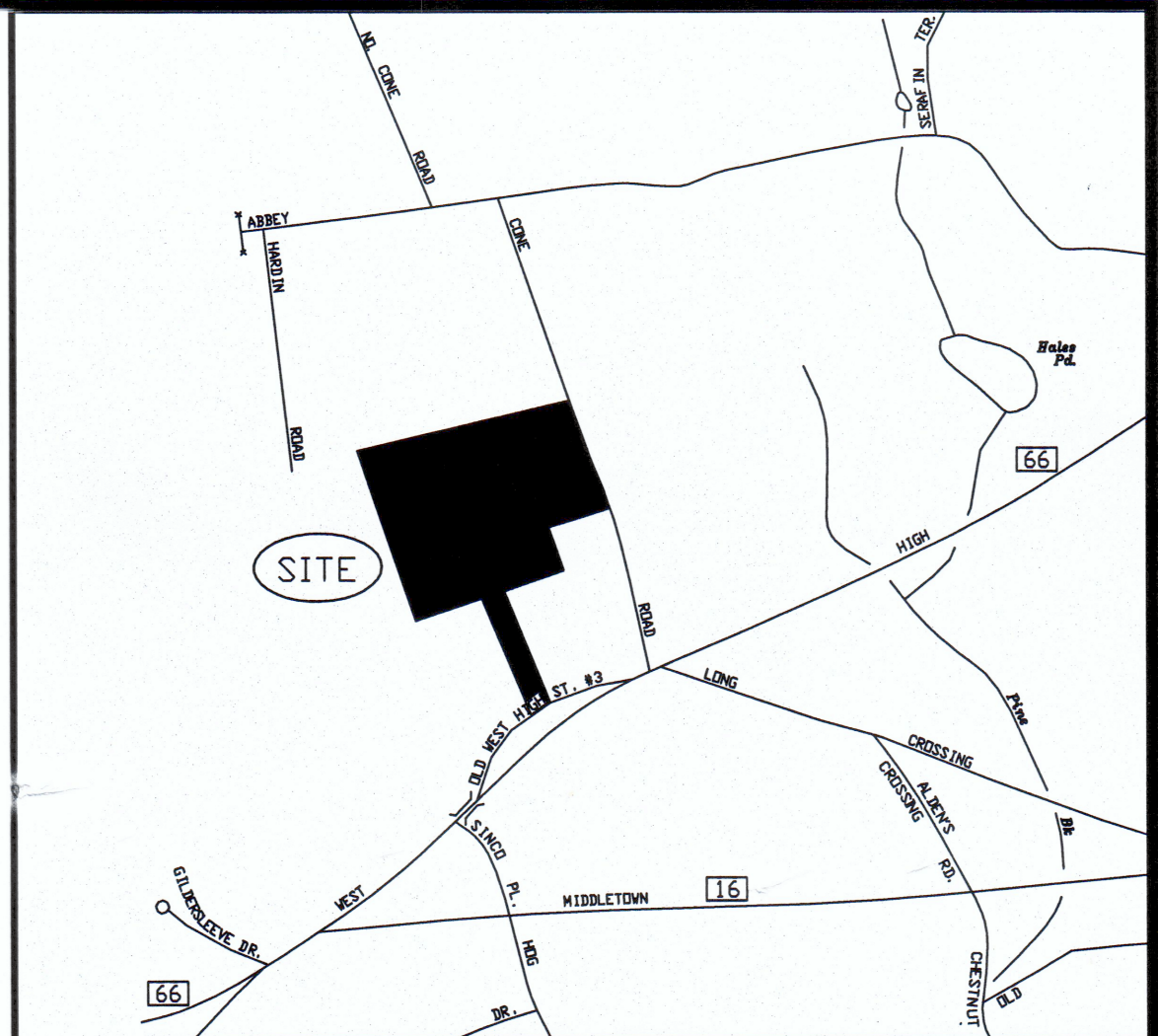
DATE: \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_

**LIST OF ABBREVIATIONS**

AC	ACRE	LVC	LENGTH OF VERTICAL CURVE
*ADS*	ADVANCED DRAINAGE SYSTEMS	MH	MANHOLE
BIT.	BITUMINOUS	P.A.G.	POINT OF APPLICATION OF GRADE
BVC	BEGIN VERTICAL CURVE	P.C.T.	POINT OF CURVATURE/TANGENT
CATV	CABLE TV	PVC	POLYVINYL CHLORIDE
C.B.	CATCH BASIN	PVMT	PAVEMENT
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C.O.	CLEANOUT TO GRADE	S.F.	SQUARE FEET
CONC.	CONCRETE	ST	STORM SEWER
CORR.	CORRUGATED	STA.	STATION
DIA.	DIAMETER	S	SANITARY SEWER
DIP	DUCTILE IRON PIPE	SWL	4" SOLID WHITE LINE
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F.M.	FORCE MAIN	W.V.	WATER VALVE
FT.	FEET ( )	(N)	NORTH
FL.	FLOW LINE	(S)	SOUTH
G	GAS	(E)	EAST
HDPE	HIGH DENSITY POLYETHYLENE	(W)	WEST
HYD.	HYDRANT		
IN.	INCHES ( )		
INV.	INVERT		



**OWNER / APPLICANT**  
STANISLAV J. OLEKSENKO  
84 CHURCHHILL DRIVE  
NEWINGTON, CT 06111

ASSESSOR MAP 6, BK 37, LOT 6A

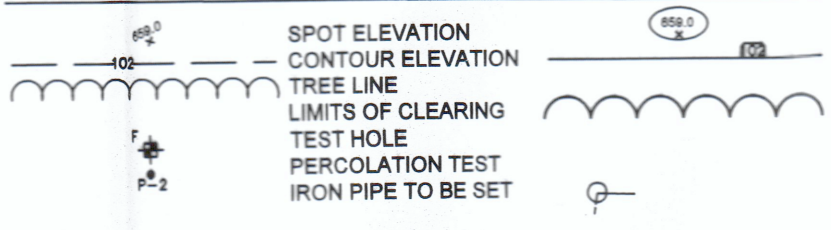
SUBDIVISION PROPERTY OF  
**STANISLAV J. OLEKSENKO**  
#11 CONE ROAD  
EAST HAMPTON, CT.

**SITE DEVELOPMENT  
&  
EROSION CONTROL PLAN**

Project No.  
Sheet No.  
3

FRANK C. MAGNOTTA, P.E. PC  
CONSULTING ENGINEER  
FrankCMagnottaPE@aol.com  
395 MAIN STREET, PORTLAND, CT 06480  
TEL. 860-342-2191

REVISIONS			
NO.	DESCRIPTION	BY	DATE



The Planning and Zoning Commission of East Hampton, Connecticut certifies that the Soil Erosion and Sedimentation Control Plan complies with the requirements of the Town of Portland Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended.

"I hereby certify that this plan is in compliance with the Town of Portland Soil Erosion and Sedimentation Control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended."

FRANK C. MAGNOTTA, P.E.

Signature \_\_\_\_\_ (Commission Chairman) P.E. No. 11699  
Date of Approval \_\_\_\_\_

APPROVED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION

CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

SITE INVESTIGATION FOR A SEWAGE DISPOSAL SYSTEM

Property Owner: Stanislaw Oleksenko
Location: Cone Road (Access from Old West High Street)

DEEP TEST PIT DATA/SOIL DESCRIPTIONS

DATE: 9/17/19 and 9/25/19 (Record all Test Pits)

Table with columns: TEST PIT, TH-2, TH-1, TH-5, TH-3. Contains soil descriptions and test results for pits TH-2, TH-1, TH-5, and TH-3.

Table with columns: TEST PIT, TH-4, TH-8, TH-6, TH-7. Contains soil descriptions and test results for pits TH-4, TH-8, TH-6, and TH-7.

Table with columns: TEST PIT, TH-10, TH-9, TH-14, TH-11, TH-12, TH-13. Contains soil descriptions and test results for pits TH-10, TH-9, TH-14, TH-11, TH-12, and TH-13.

PERCOLATION TESTS - CONE ROAD, EAST HAMPTON

PERFORMED BY FRANK C. MAGNOTTA P.E., PC SEPTEMBER 25, 2019

Table with columns: TIME, READING, RATE. Shows percolation test results for NO. A (AT TP-3).

PRESOAK AT 9:00 AM, DRY AT 10:30 AM REFERENCE AT 23.5' BELOW GRADE

Table with columns: TIME, READING, RATE. Shows percolation test results for NO. B (AT TP-4).

PRESOAK AT 9:10 AM, DRY AT 10:30 AM REFERENCE AT 18' BELOW GRADE

Table with columns: TIME, READING, RATE. Shows percolation test results for NO. C (AT TP-8).

PRESOAK AT 1:38 PM, DRY AT 3:00 PM REFERENCE AT 15' BELOW GRADE

Table with columns: TIME, READING, RATE. Shows percolation test results for NO. D (AT TP-10).

PRESOAK AT 2:00 PM, DRY AT 3:00 PM REFERENCE AT 13' BELOW GRADE

Table with columns: TIME, READING, RATE. Shows percolation test results for NO. E (AT TP-11).

PRESOAK AT 11:50 AM, DRY AT 12:15 AM REFERENCE AT 14' BELOW GRADE

Table with columns: TIME, READING, RATE. Shows percolation test results for NO. F (AT TP-13).

PRESOAK AT NOON, DRY AT 12:20 AM REFERENCE AT 13 1/2' BELOW GRADE

BASIS OF SANITARY DESIGN

LOT #1 NUMBER OF BEDROOMS - 4 DESIGN PERCOLATION RATE - 1-10 MIN/INCH RELA - 578 SF USE - 60 LF OF GEOMATRIX 'GST 6212', (12' x 62'), 12' O.C. @ 10.0 SF/LF = 600 SF

EXISTING 4 BEDROOM DWELLING, SEE MAP REFERENCE #4.

LOT #2 NUMBER OF BEDROOMS - 4 DESIGN PERCOLATION RATE - 1-10 MIN/INCH RELA - 578 SF USE - 60 LF OF GEOMATRIX 'GST 6212', (12' x 62'), 12' O.C. @ 10.0 SF/LF = 600 SF

LOT #3 NUMBER OF BEDROOMS - 4 DESIGN PERCOLATION RATE - 1-10 MIN/INCH RELA - 578 SF USE - 60 LF OF GEOMATRIX 'GST 6212', (12' x 62'), 12' O.C. @ 10.0 SF/LF = 600 SF

LOT #4 NUMBER OF BEDROOMS - 4 DESIGN PERCOLATION RATE - 1-10 MIN/INCH RELA - 578 SF USE - 60 LF OF GEOMATRIX 'GST 6212', (12' x 62'), 12' O.C. @ 10.0 SF/LF = 600 SF

MAP REFERENCES

LOT SPLIT, FIRST CUT FOR STANISLAW J. OLEKSENKO, LOT 6, BK 37, 15 CONE ROAD, EAST HAMPTON, CT. SCALE: 1"=50'; DATE: JANUARY 15, 2017; SHT-1, PREPARED BY J.L. SURVEYING.

ZONING DATA

Table with columns: ZONE, R-2 RESIDENTIAL, MINIMUM LOT AREA, FRONT INTERIOR, MINIMUM LOT WIDTH, FRONT INTERIOR, MINIMUM LOT DEPTH, MINIMUM LOT FRONTAGE, FRONT INTERIOR, MAXIMUM LOT COVERAGE, MAXIMUM BUILDING HEIGHT, BUILDING SETBACKS, FRONT YARD, SIDE YARD, REAR YARD. Lists required dimensions and percentages.

EROSION & SEDIMENTATION CONTROL NOTES

- PRIOR TO THE START OF CONSTRUCTION, HAY BALES AND/OR SILT FENCES SHOWN ON THIS DRAWING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS OUTLINED IN 'CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002' AND THIS SITE PLAN.
AT THE REQUEST OF THE TOWN PLANNER OR ZONING ENFORCEMENT OFFICER, ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS FIELD CONDITIONS.
ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH THE MINIMUM STANDARDS OUTLINED IN 'CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002', AS FOLLOWS:
PERMANENT SEEDING AND PLANTING DATES ARE APRIL 1ST TO JUNE 1ST AND AUG. 15TH TO SEPT. 30TH.

OPERATION & MAINTANENCE SCHEDULES

O/P SEPARATORS & DETENTION BASIN #1 INSPECT SEMI-ANNUALLY AND REMOVE OIL, GREASES, FLOATABLES AND SEDIMENT FROM THE O/P SEPARATORS AT LEAST TWICE A YEAR. OR MORE OFTEN DURING THE WINTER WHEN SEDIMENT MATERIAL IS WITHIN 24 INCHES OF OUTLET PIPE INVERT.

CATCH BASIN SUMPS INSPECT EVERY 6 MONTHS AND MORE OFTEN DURING WINTER SEASON FOR ACCUMULATION OF DEBRIS AND SEDIMENT. REMOVE ALL MATERIAL AT LEAST ONCE A YEAR, TYPICALLY MAY OR WHEN THE SEDIMENT LEVEL IN THE SUMP IS WITHIN 24 INCHES OF THE INVERT OF THE LOWEST PIPE IN THE STRUCTURE.

SEQUENCE OF CONSTRUCTION - ACCESS DRIVEWAY

Table with columns: START, COMPLETION. Lists construction phases from START to COMPLETION, including temporary construction entrance, clearing, concrete footings, aggregate base, and final grade.

SEQUENCE OF CONSRUCTION - LOT #1 DEVELOPMENT

Table with columns: START, COMPLETION. Lists construction phases for lot development, including limits of disturbance, aggregate base, driveway installation, and landscaping.

APPROVED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION

CONDITIONAL APPROVAL CHAIRMAN / SECRETARY

DATE: EXPIRATION DATE:

FINAL APPROVAL CHAIRMAN / SECRETARY

DATE: EXPIRATION DATE:

OWNER / APPLICANT

STANISLAW J. OLEKSENKO 84 CHURCHHILL DRIVE NEWINGTON, CT 06111

ASSESSOR MAP 6, BK 37, LOT 6A

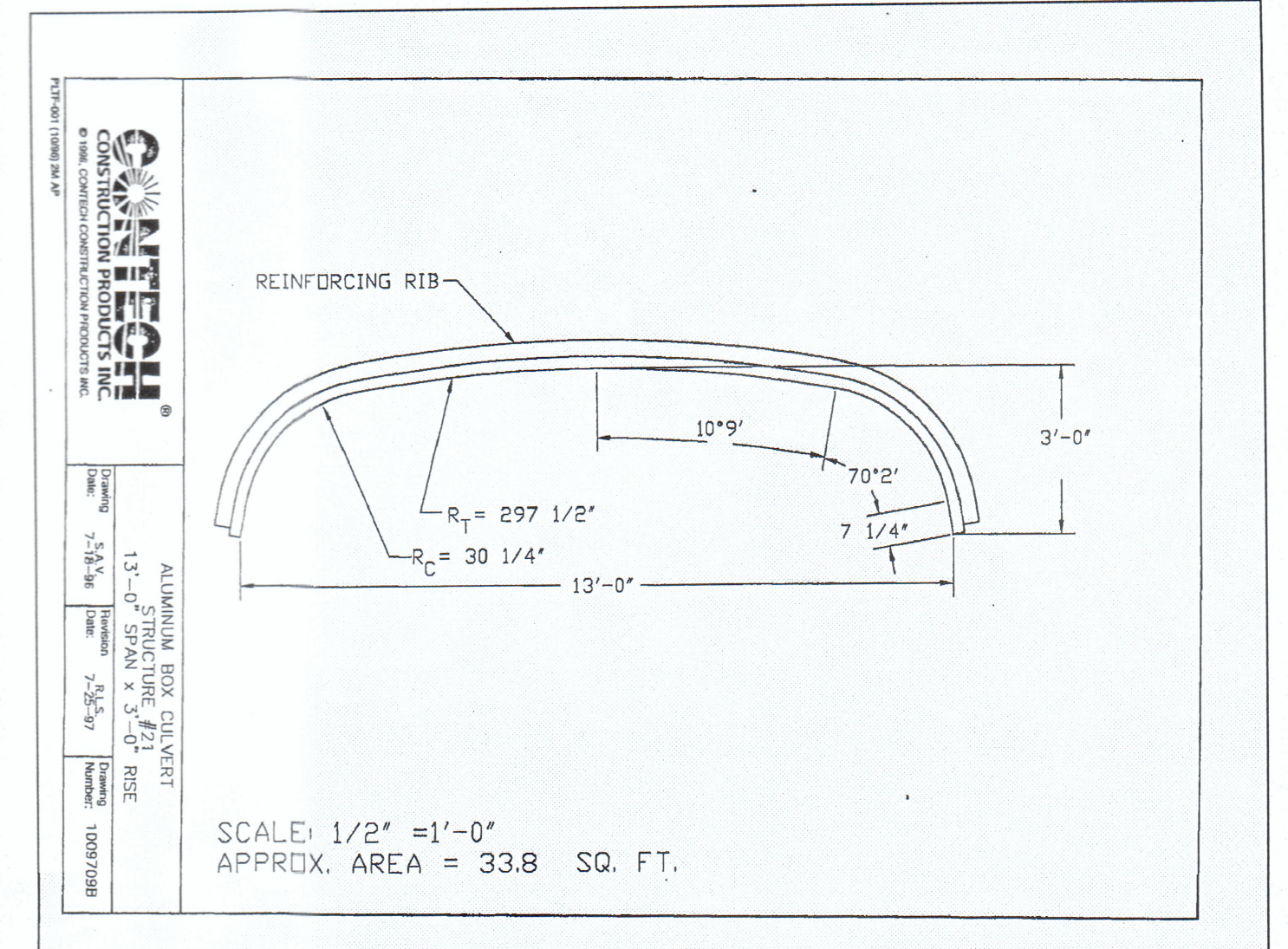
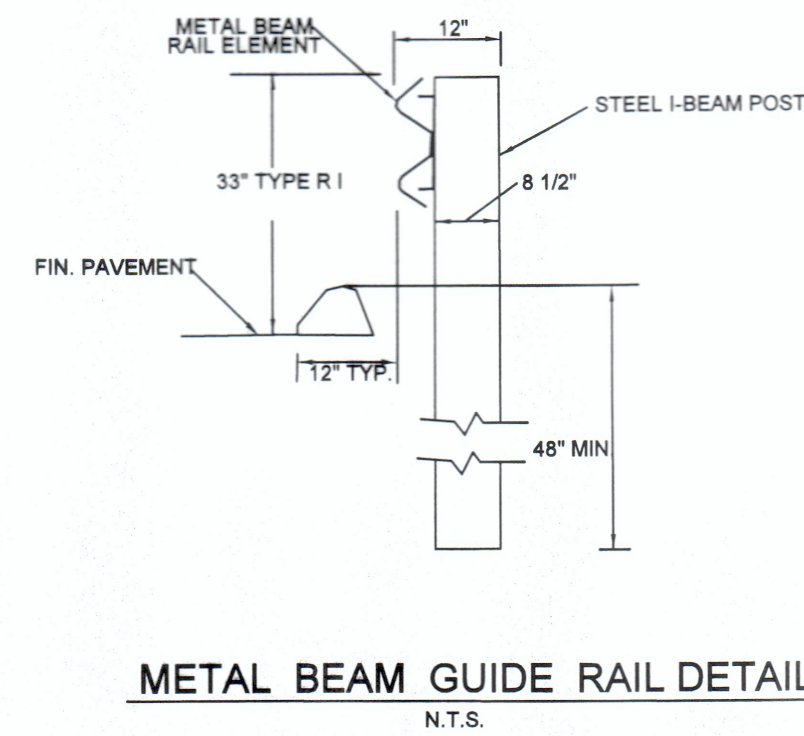
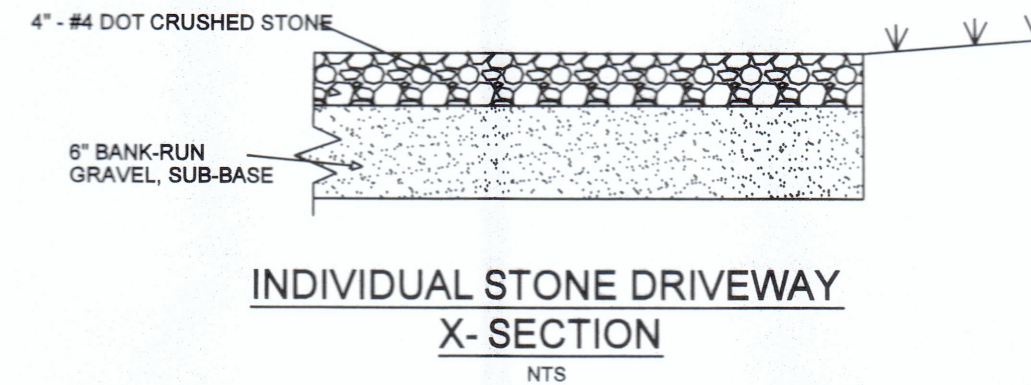
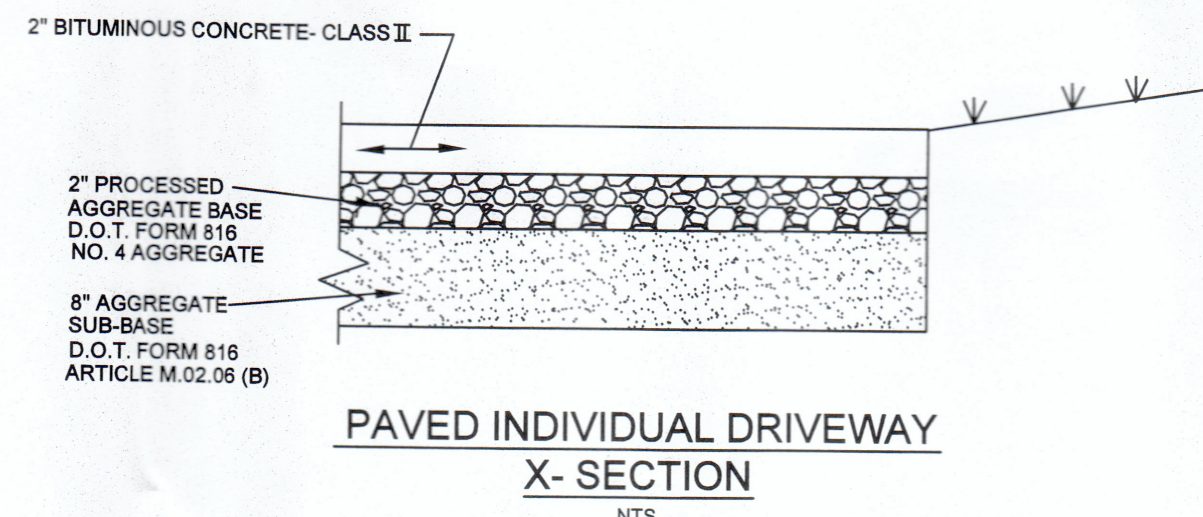
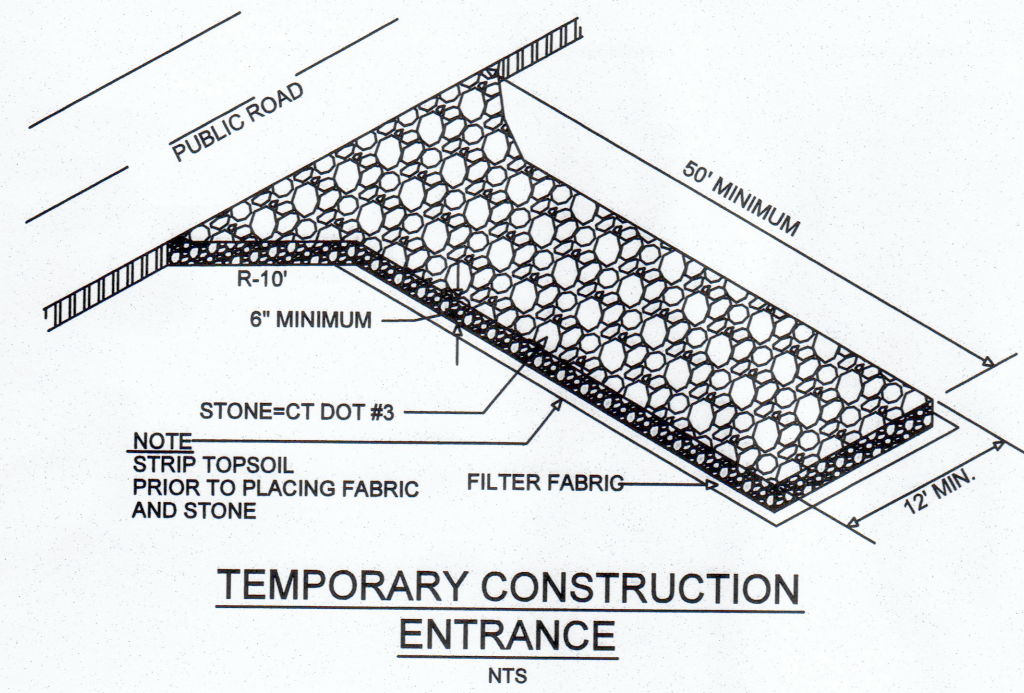
REVISIONS

Table with columns: NO., DESCRIPTION, BY, DATE. Revision log table.

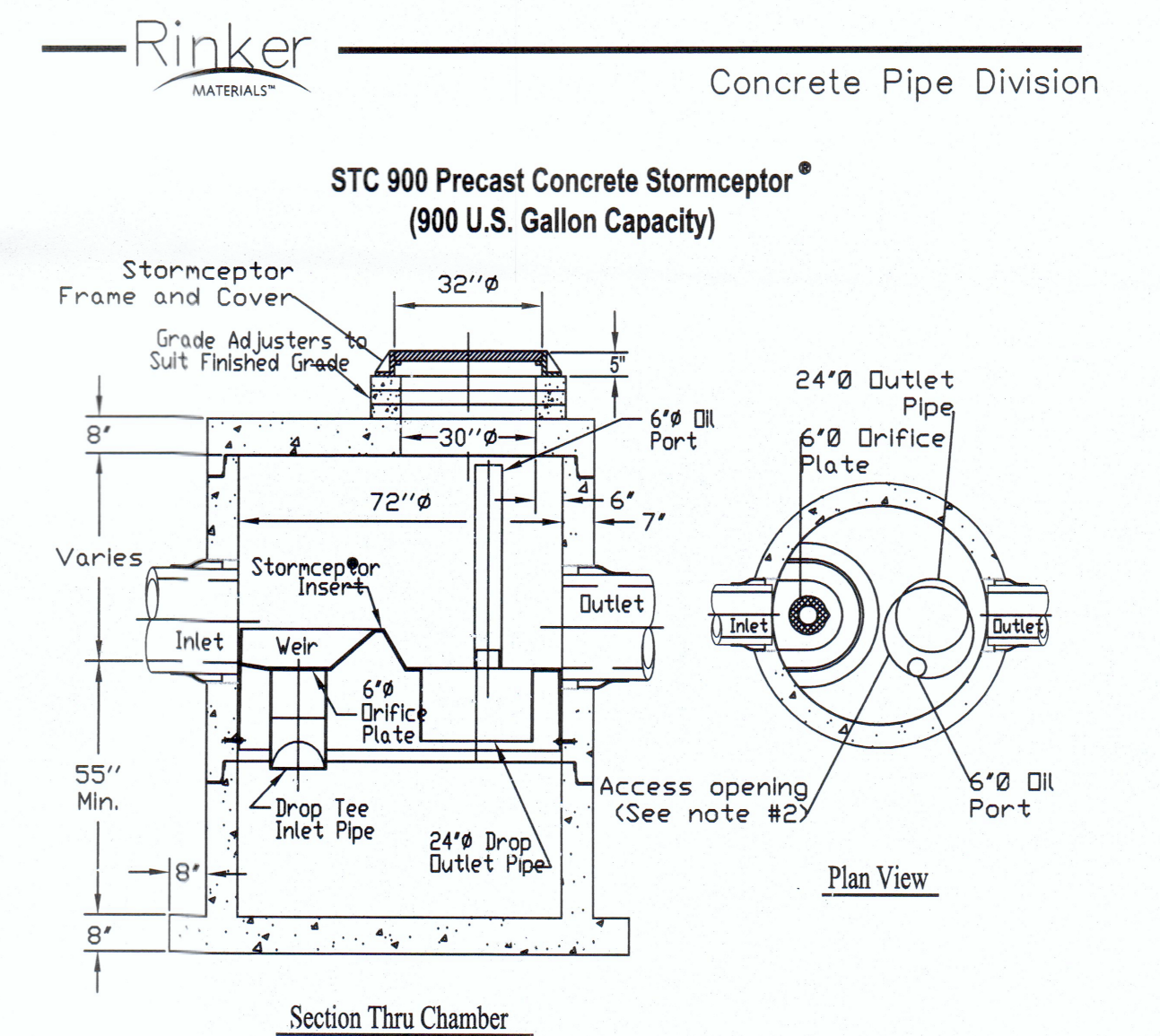
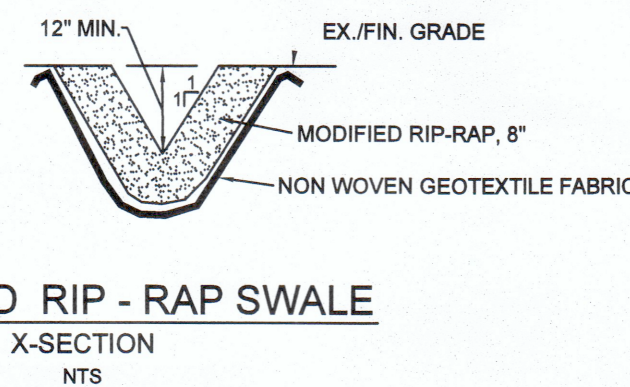
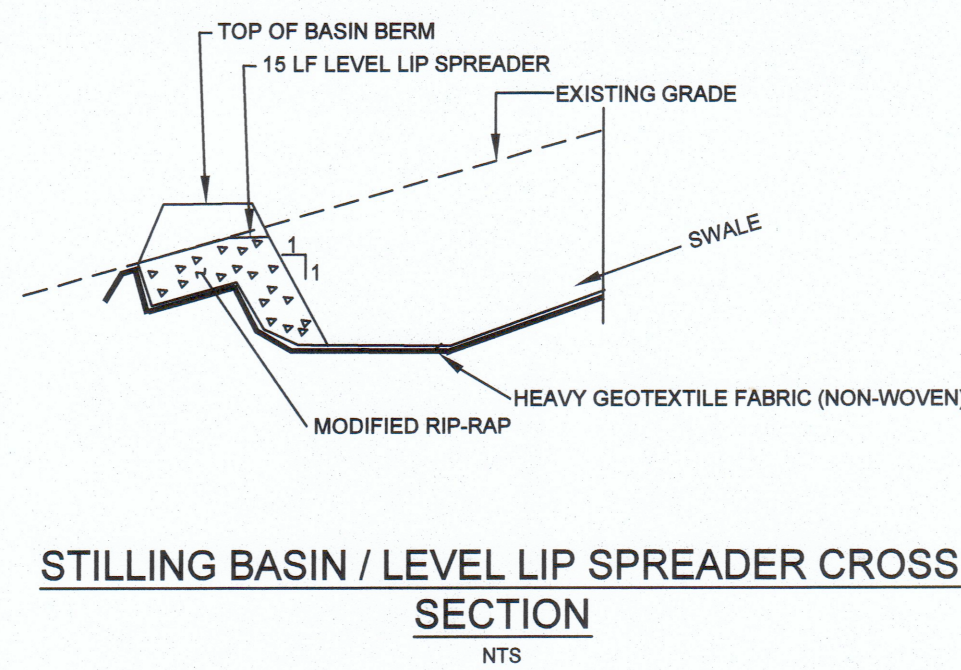
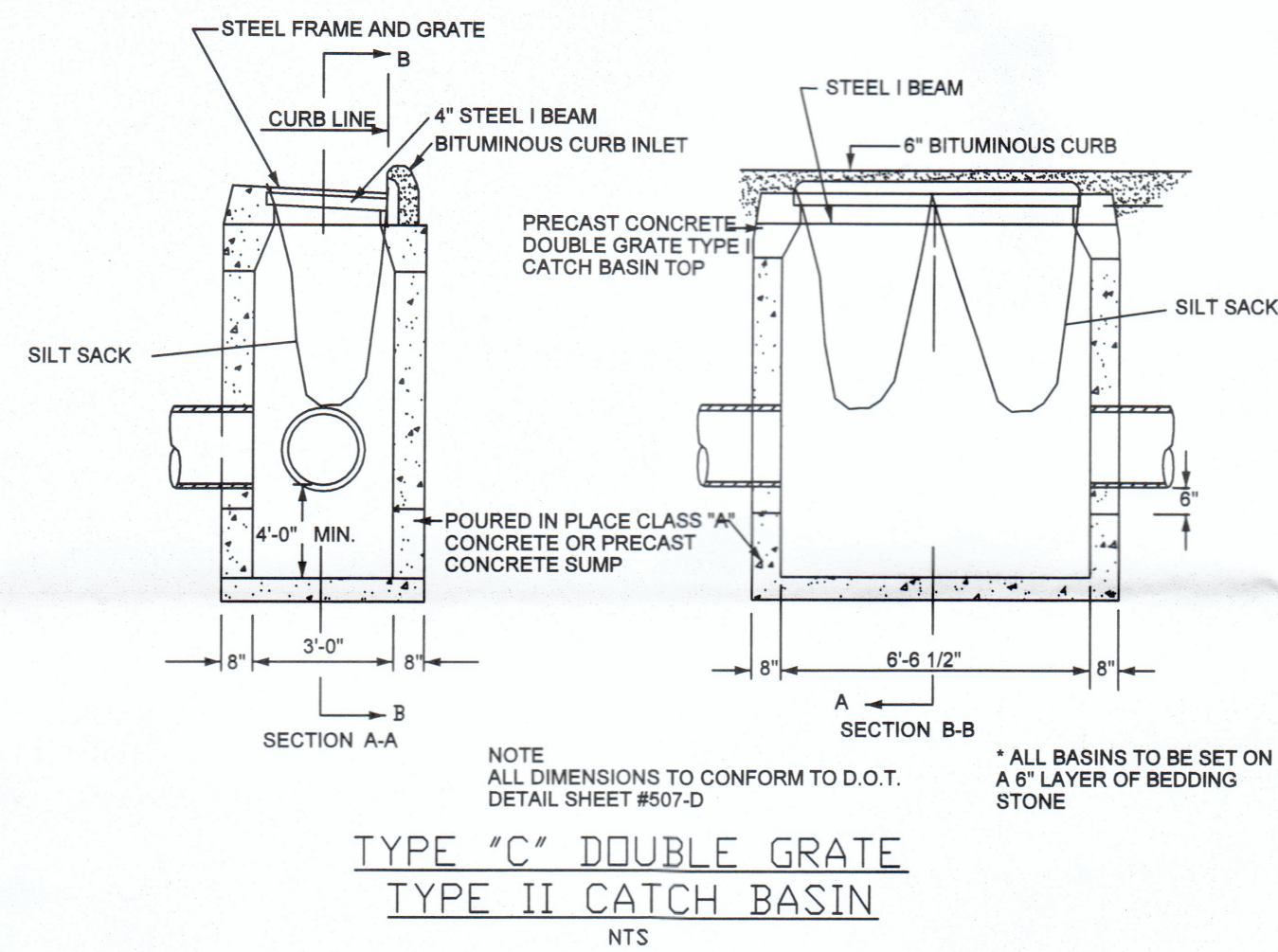
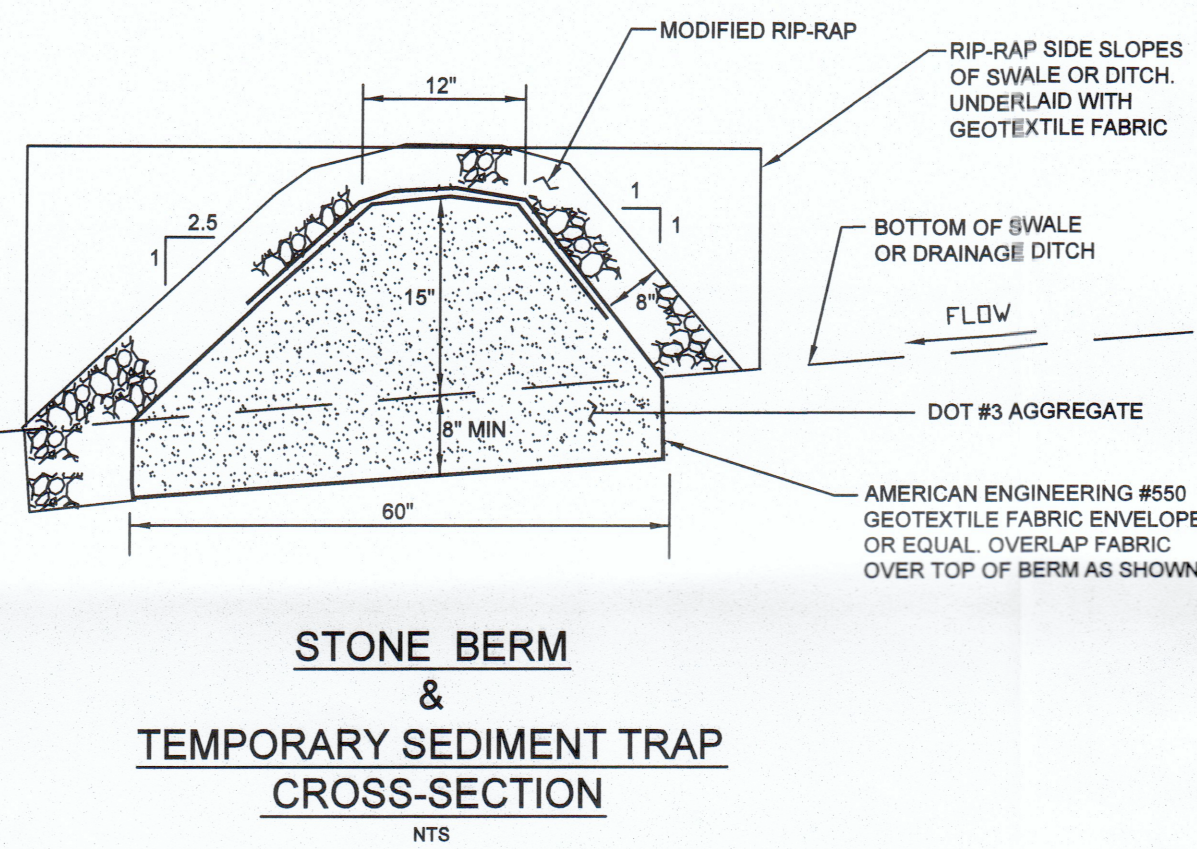
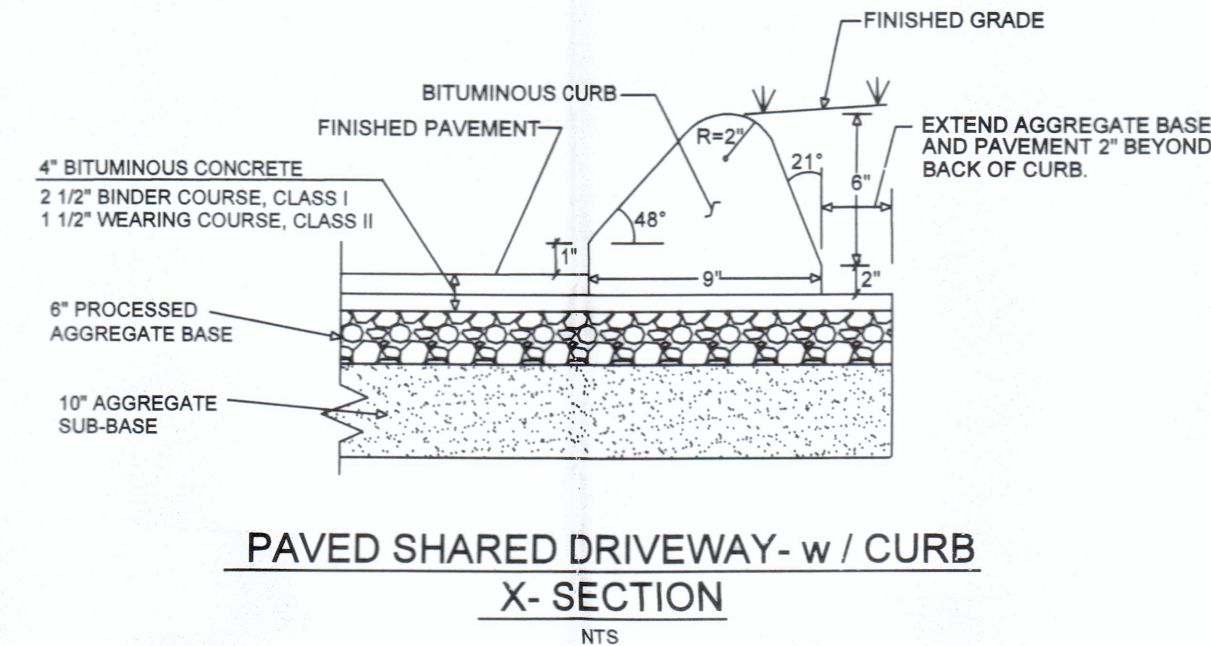
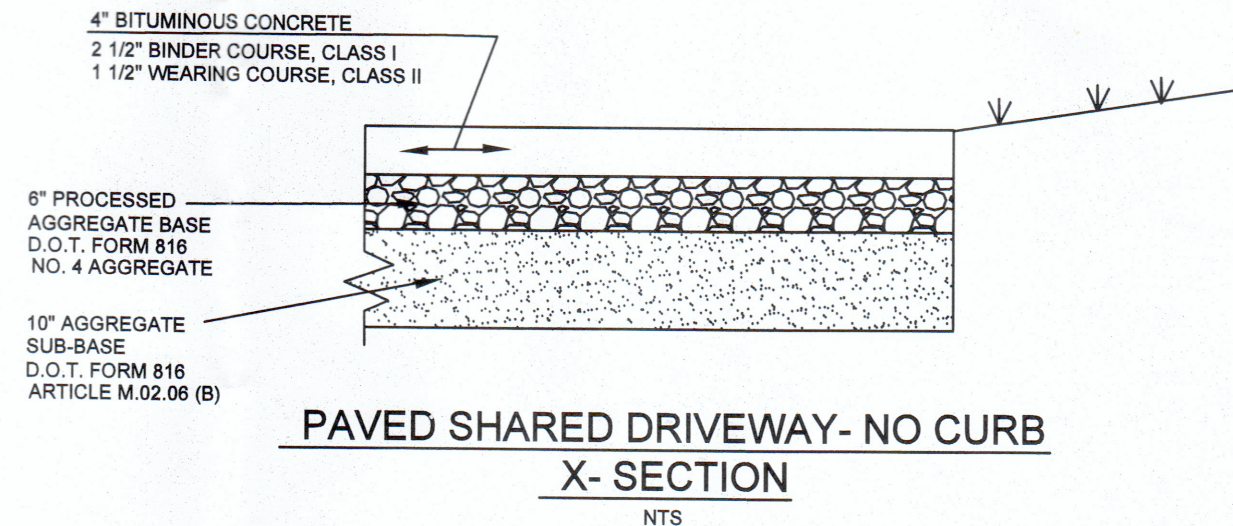
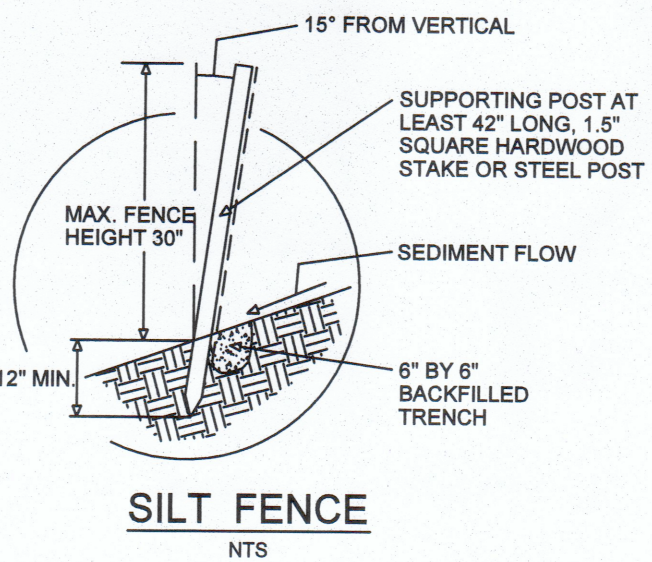


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STANISLAV J. OLEKSENKO #11 CONE ROAD EAST HAMPTON, CT. NOTES, SOIL TESTING DATA & E/S CONTROL NARRATIVES. Project No. Sheet No. 4. FRANK C. MAGNOTTA, P.E. CONSULTING ENGINEER.



**NOTE:** THE BOTTOMS OF THE ARCH SHALL BEAR ON 36" WIDE STEEL-REINFORCED CONCRETE FOOTINGS, 48" DEEP FOR THE FULL LENGTH OF THE ARCH STRUCTURE.



**LIST OF ABBREVIATIONS**

AC	ACRE	LVC	LENGTH OF VERTICAL CURVE
"ADS"	ADVANCED DRAINAGE SYSTEMS	MH	MANHOLE
BIT.	BITUMINOUS	P.A.G.	POINT OF APPLICATION OF GRADE
BVC	BEGIN VERTICAL CURVE	P.O.C.	POINT OF CURVATURE/TANGENT
CATV	CABLE TV	PVC	POLYVINYL CHLORIDE
C.B.	CATCH BASIN	P.V.M.T.	PAVEMENT
CL	CENTER LINE	R.C.P.	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	RET.	RETAINING WALL
C.O.	CLEANOUT TO GRADE	S.F.	SQUARE FEET
CONC.	CONCRETE	ST.	STORM SEWER
CORR.	CORRUGATED	STA.	STATION
DIA.	DIAMETER	S	SANITARY SEWER
DIP	DUCTILE IRON PIPE	SWL	4" SOLID WHITE LINE
D.S.	DOWNSPOUT	SYL	4" SOLID YELLOW LINE
EL.	ELEVATION	T/E/CATV	TELEPHONE / ELECTRIC / CABLE
EVC	END VERTICAL CURVE	T.F.	TOP OF FRAME
EX.	EXISTING	T.O.W.	TOP OF WALL
F.B.F.	FINISHED BASEMENT FLOOR	VCP	VITRIFIED CLAY PIPE
F.F.	FINISHED FLOOR	W	WATER
F.M.	FORCE MAIN	W.V.	WATER VALVE
FT.	FEET (')		
FL.	FLOW LINE		
G	GAS		
HDPE	HIGH DENSITY POLYETHYLENE		
HYD.	HYDRANT		
IN.	INCHES (")		
INV.	INVERT		
		(N)	NORTH
		(S)	SOUTH
		(E)	EAST
		(W)	WEST

- Notes:**
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  - The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
  - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
  - Contact a Concrete Pipe Division representative for further details not listed on this drawing.

Rinker 028

**OWNER / APPLICANT**  
STANISLAW J. OLEKSENKO  
84 CHURCHHILL DRIVE  
NEWINGTON, CT 06111

ASSESSOR MAP 6, BK 37, LOT 6A

SUBDIVISION PROPERTY OF  
**STANISLAW J. OLEKSENKO**  
#11 CONE ROAD  
EAST HAMPTON, CT.

**DETAILS**

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REVISIONS			
NO.	DESCRIPTION	BY	DATE

VALID ONLY WITH LIVE SEAL AND SIGNATURE



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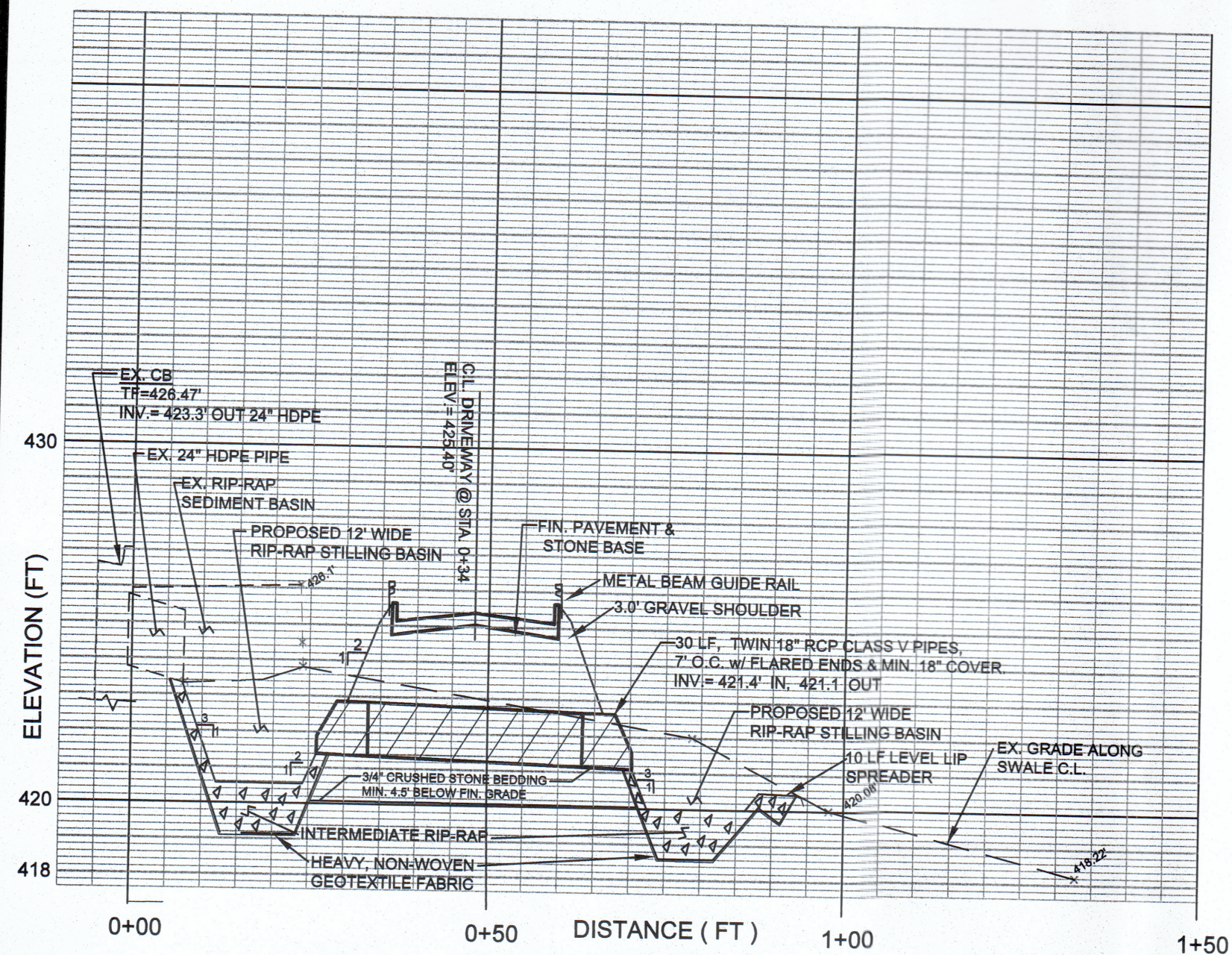
APPROVED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION

CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

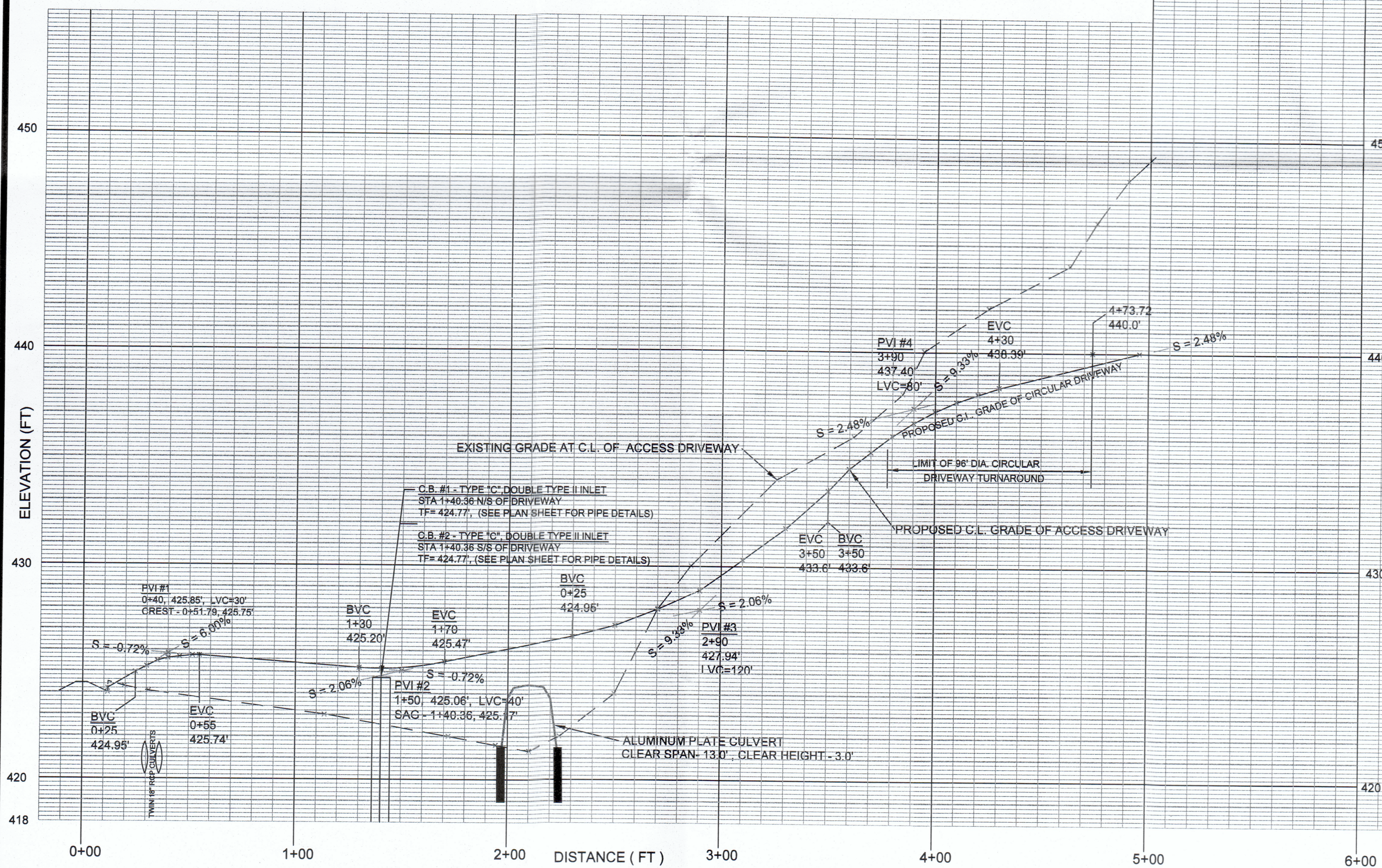
FINAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_



**STORM DRAIN CROSSING ACCESS DRIVEWAY  
STA. 0+34**

SCALE: 1"=4' VERTICAL  
1"=20' HORIZONTAL



**SUBDIVISION ACCESS DRIVEWAY**

SCALE: 1"=4' VERTICAL  
1"=40' HORIZONTAL

APPROVED BY THE EAST HAMPTON PLANNING AND ZONING COMMISSION

CONDITIONAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN / SECRETARY

DATE: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_



REVISIONS			
NO.	DESCRIPTION	BY	DATE

SUBDIVISION PROPERTY OF  
**STANISLAW J. OLEKSENKO**  
#11 CONE ROAD - LOT 6A  
EAST HAMPTON, CT.

Date: JAN. XX, 2020	<b>DRIVEWAY &amp; STORM DRAIN PROFILES</b>	Project No.
Scale: AS SHOWN		Sheet No. 6

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