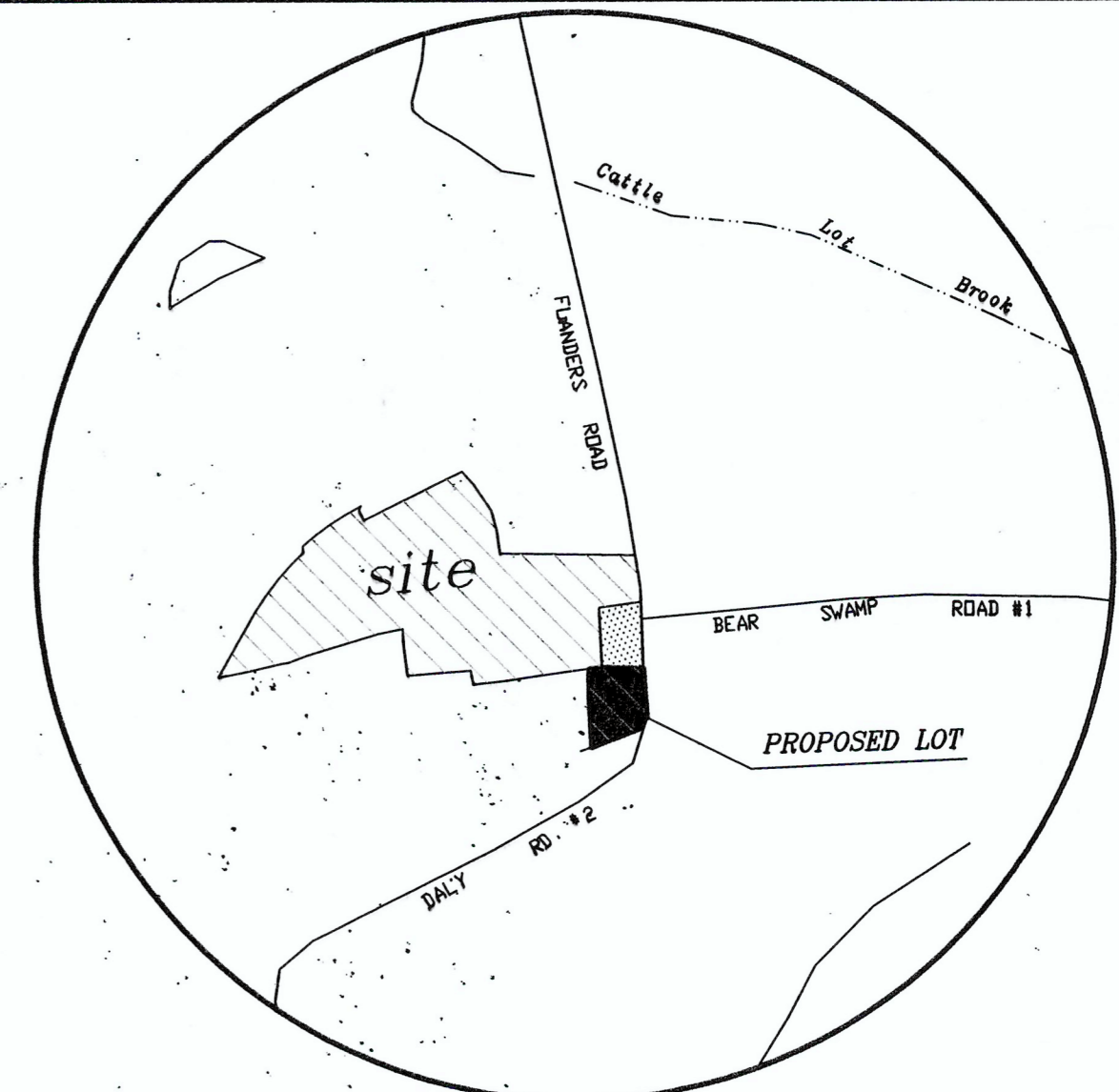


MAP REFERENCE:

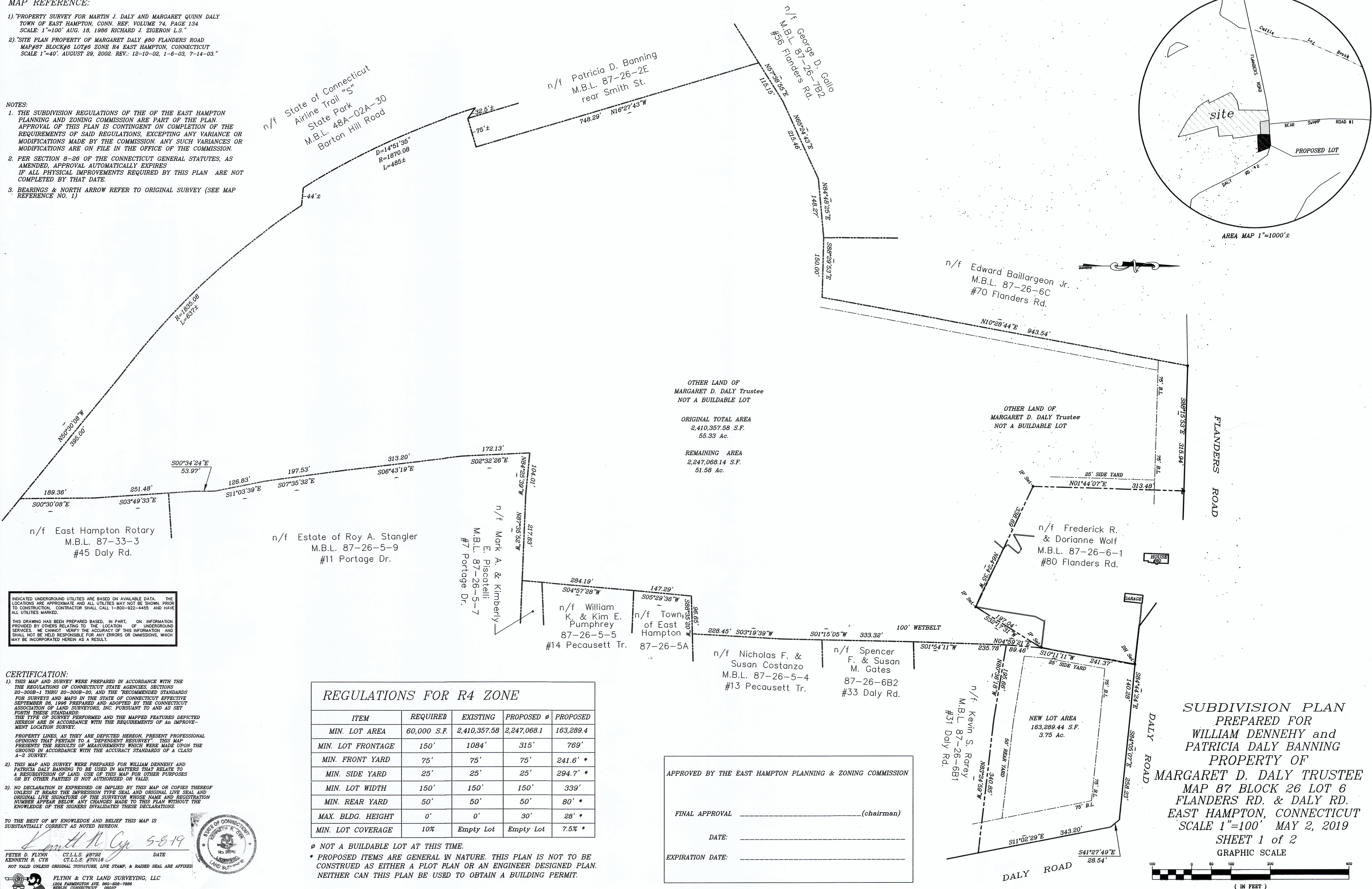
- 1) "PROPERTY SURVEY FOR MARTIN J. DALY AND MARGARET QUINN DALY TOWN OF EAST HAMPTON, CONN. REF. VOLUME 74, PAGE 134 SCALE: 1"=100' AUG. 18, 1986 RICHARD J. ZIGERON L.S."
- 2) "SITE PLAN PROPERTY OF MARGARET DALY #80 FLANDERS ROAD MAP#87 BLOCK#6 LOT#6 ZONE R4 EAST HAMPTON, CONNECTICUT SCALE 1"=40' AUGUST 29, 2002. REV.: 12-10-02, 1-6-03, 7-14-03."

NOTES:

1. THE SUBDIVISION REGULATIONS OF THE OF THE EAST HAMPTON PLANNING AND ZONING COMMISSION ARE PART OF THE PLAN. APPROVAL OF THIS PLAN IS CONTINGENT ON COMPLETION OF THE REQUIREMENTS OF SAID REGULATIONS, EXCEPTING ANY VARIANCE OR MODIFICATIONS MADE BY THE COMMISSION. ANY SUCH VARIANCES OR MODIFICATIONS ARE ON FILE IN THE OFFICE OF THE COMMISSION.
2. PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE.
3. BEARINGS & NORTH ARROW REFER TO ORIGINAL SURVEY (SEE MAP REFERENCE NO. 1)



AREA MAP 1"=1000'



OTHER LAND OF
MARGARET D. DALY Trustee
NOT A BUILDABLE LOT

ORIGINAL TOTAL AREA
2,410,357.58 S.F.
55.33 Ac.

REMAINING AREA
2,247,068.14 S.F.
51.58 Ac.

OTHER LAND OF
MARGARET D. DALY Trustee
NOT A BUILDABLE LOT

INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE ALL UTILITIES MARKED.

THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CANNOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS, WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

CERTIFICATION:

- 1) THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE SEPTEMBER 26, 1998 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH THESE STANDARDS. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF AN IMPROVEMENT LOCATION SURVEY.
- 2) THIS MAP AND SURVEY WERE PREPARED FOR WILLIAM DENNEHY AND PATRICIA DALY BANNING TO BE USED IN MATTERS THAT RELATE TO A RESUBDIVISION OF LAND. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
- 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

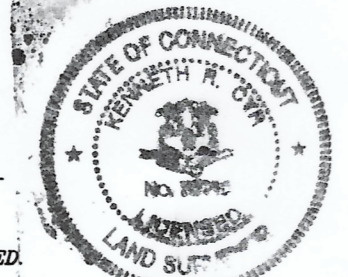
PROPERTY LINES, AS THEY ARE DEPICTED HEREON, PRESENT PROFESSIONAL OPINIONS THAT PERTAIN TO A "DEPENDENT RESURVEY". THIS MAP PRESENTS THE RESULTS OF MEASUREMENTS WHICH WERE MADE UPON THE GROUND IN ACCORDANCE WITH THE ACCURACY STANDARDS OF A CLASS A-2 SURVEY.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Cyr 5-8-19

PETER D. FLYNN CT.L.S. #8702 DATE
KENNETH R. CYR CT.L.S. #70116

NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED.



REGULATIONS FOR R4 ZONE				
ITEM	REQUIRED	EXISTING	PROPOSED ϕ	PROPOSED
MIN. LOT AREA	60,000 S.F.	2,410,357.58	2,247,068.1	163,289.4
MIN. LOT FRONTAGE	150'	1084'	315'	769'
MIN. FRONT YARD	75'	75'	75'	241.6' *
MIN. SIDE YARD	25'	25'	25'	294.7' *
MIN. LOT WIDTH	150'	150'	150'	339'
MIN. REAR YARD	50'	50'	50'	80' *
MAX. BLDG. HEIGHT	0'	0'	30'	28' *
MIN. LOT COVERAGE	10%	Empty Lot	Empty Lot	7.5% *

ϕ NOT A BUILDABLE LOT AT THIS TIME.

* PROPOSED ITEMS ARE GENERAL IN NATURE. THIS PLAN IS NOT TO BE CONSTRUED AS EITHER A PLOT PLAN OR AN ENGINEER DESIGNED PLAN. NEITHER CAN THIS PLAN BE USED TO OBTAIN A BUILDING PERMIT.

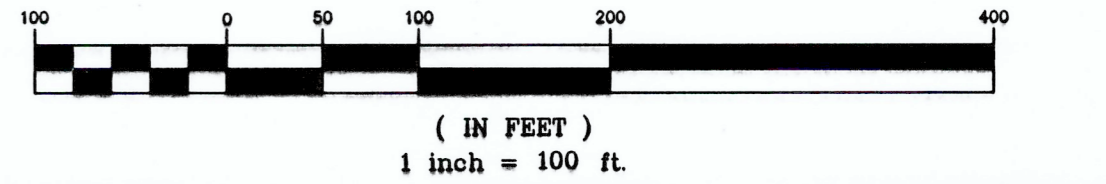
APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL _____ (chairman)

DATE: _____

EXPIRATION DATE: _____

SUBDIVISION PLAN
PREPARED FOR
WILLIAM DENNEHY and
PATRICIA DALY BANNING
PROPERTY OF
MARGARET D. DALY TRUSTEE
MAP 87 BLOCK 26 LOT 6
FLANDERS RD. & DALY RD.
EAST HAMPTON, CONNECTICUT
SCALE 1"=100' MAY 2, 2019
SHEET 1 of 2
GRAPHIC SCALE



MAP REFERENCES:

- 1) "PROPERTY SURVEY FOR MARTIN J. DALY AND MARGARET QUINN DALY TOWN OF EAST HAMPTON, CONN. REF. VOLUME 74, PAGE 134 SCALE: 1"=100' AUG. 18, 1986 RICHARD J. ZIGERON L.S."
- 2) "SITE PLAN PROPERTY OF MARGARET DALY #80 FLANDERS ROAD MAP#87 BLOCK#6 LOT#6 ZONE R4 EAST HAMPTON, CONNECTICUT SCALE 1"=40' AUGUST 29, 2002. REV.: 12-10-02, 1-6-03, 7-14-03."

NOTES:

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2. PER SECTION 8-26 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED, APPROVAL AUTOMATICALLY EXPIRES IF ALL PHYSICAL IMPROVEMENTS REQUIRED BY THIS PLAN ARE NOT COMPLETED BY THAT DATE.
3. EROSION & SEDIMENTATION PLAN NOT REQUIRED. THE PURPOSE OF THIS PLAN IS TO SHOW A GENERAL IDEA OF WHAT IS TO BE BUILT AND IS NOT TO BE CONSIDERED AN ENGINEERED PLAN.
4. WETLANDS FLAGGED BY JACKSON ENVIRONMENTAL LLC 3-29-2019.
5. CONTOURS AT PROPOSED LOT FIELD-LOCATED ACCORDING TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
6. BEARINGS & NORTH ARROW REFER TO ORIGINAL SURVEY (SEE MAP REFERENCE NO. 1)
7. PROPERTY IS NOT LOCATED WITHIN A FEDERAL FLOOD HAZARD ZONE AS PER FEMA FIRM COMMUNITY PANEL NO. 09007C 0155G HAVING AN EFFECTIVE DATE OF 8-28-2008 SHOWN AS ZONE X (AN AREA OF MINIMAL FLOODING)
8. ANY WORK ON EXISTING STREETS TO SUBSTANTIALLY MEET THE STANDARDS OF THESE REGULATIONS, INCLUDING PROPOSED DRAINAGE IMPROVEMENTS.

n/f Frederick R. & Dorianne Wolf
M.B.L. 87-26-6-1
#80 Flanders Rd.

REGULATIONS FOR R4 ZONE		
ITEM	REQUIRED	PROPOSED *
MIN. LOT AREA	60,000 S.F.	163,289.4 S.F.
MIN. LOT FRONTAGE	150'	769'
MIN. FRONT YARD	75'	269.0' *
MIN. SIDE YARD	25'	299.2' *
MIN. LOT WIDTH	150'	339'
MIN. REAR YARD	50'	52.8' *
MAX. BLDG. HEIGHT	30'	28' *
MAX. LOT COVERAGE	10%	7.5% *

* PROPOSED ITEMS ARE GENERAL IN NATURE. THIS PLAN IS NOT TO BE CONSTRUED AS EITHER A PLOT PLAN OR AN ENGINEER DESIGNED PLAN. NEITHER CAN THIS PLAN BE USED TO OBTAIN A BUILDING PERMIT.

CERTIFICATION:

1. THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE SEPTEMBER 28, 1996 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH THESE STANDARDS. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A SUBDIVISION MAP. PROPERTY LINES AS THEY ARE DEPICTED HEREON, PRESENT PROFESSIONAL OPINIONS THAT PERTAIN TO A "DEPENDENT RESURVEY". THIS MAP PRESENTS THE RESULTS OF MEASUREMENTS WHICH WERE MADE UPON THE GROUND IN ACCORDANCE WITH THE ACCURACY STANDARDS OF A CLASS A-2 T-2 SURVEY.
2. THIS MAP AND SURVEY WERE PREPARED FOR PATRICIA DALY TO BE USED IN MATTERS THAT RELATE TO EXISTING CONDITIONS. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
3. NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Cyr 5-8-19
PETER D. FLYNN CT.L.L.S. #6792 DATE
KENNETH R. CYR CT.L.L.S. #70118



NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED.
FLYNN & CYR LAND SURVEYING, LLC
1204 FARMINGTON AVE. 860-828-7886
BERLIN, CONNECTICUT 06037

INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE ALL UTILITIES MARKED.

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WETLAND BOUNDARY WAS FLAGGED IN THE FIELD BY WILLIAM JACKSON AND APPEARS TO BE SHOWN CORRECTLY.
William Jackson May 8, 2019
WILLIAM JACKSON Registered Soil Scientist DATE

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

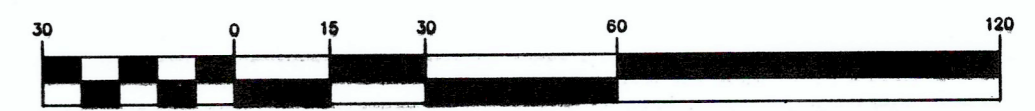
FINAL APPROVAL _____ (chairman)

DATE: _____

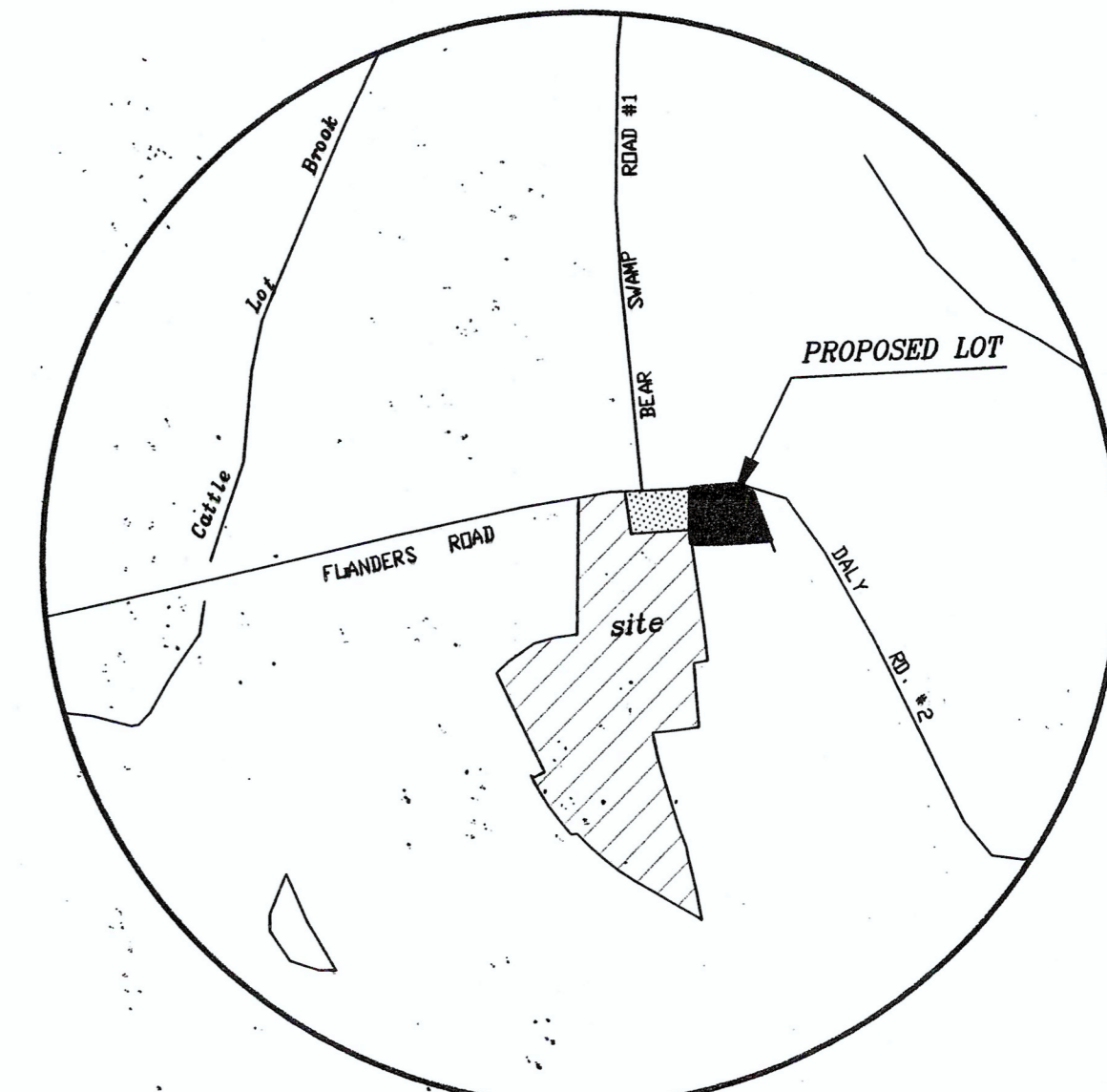
EXPIRATION DATE: _____

SUBDIVISION PLAN
PREPARED FOR
WILLIAM DENNEHY and
PATRICIA DALY BANNING
PROPERTY OF
MARGARET D. DALY TRUSTEE
MAP 87 BLOCK 26 LOT 6
FLANDERS RD. & DALY RD.
EAST HAMPTON, CONNECTICUT
SCALE 1"=30' MAY 2, 2019
SHEET 2 of 2

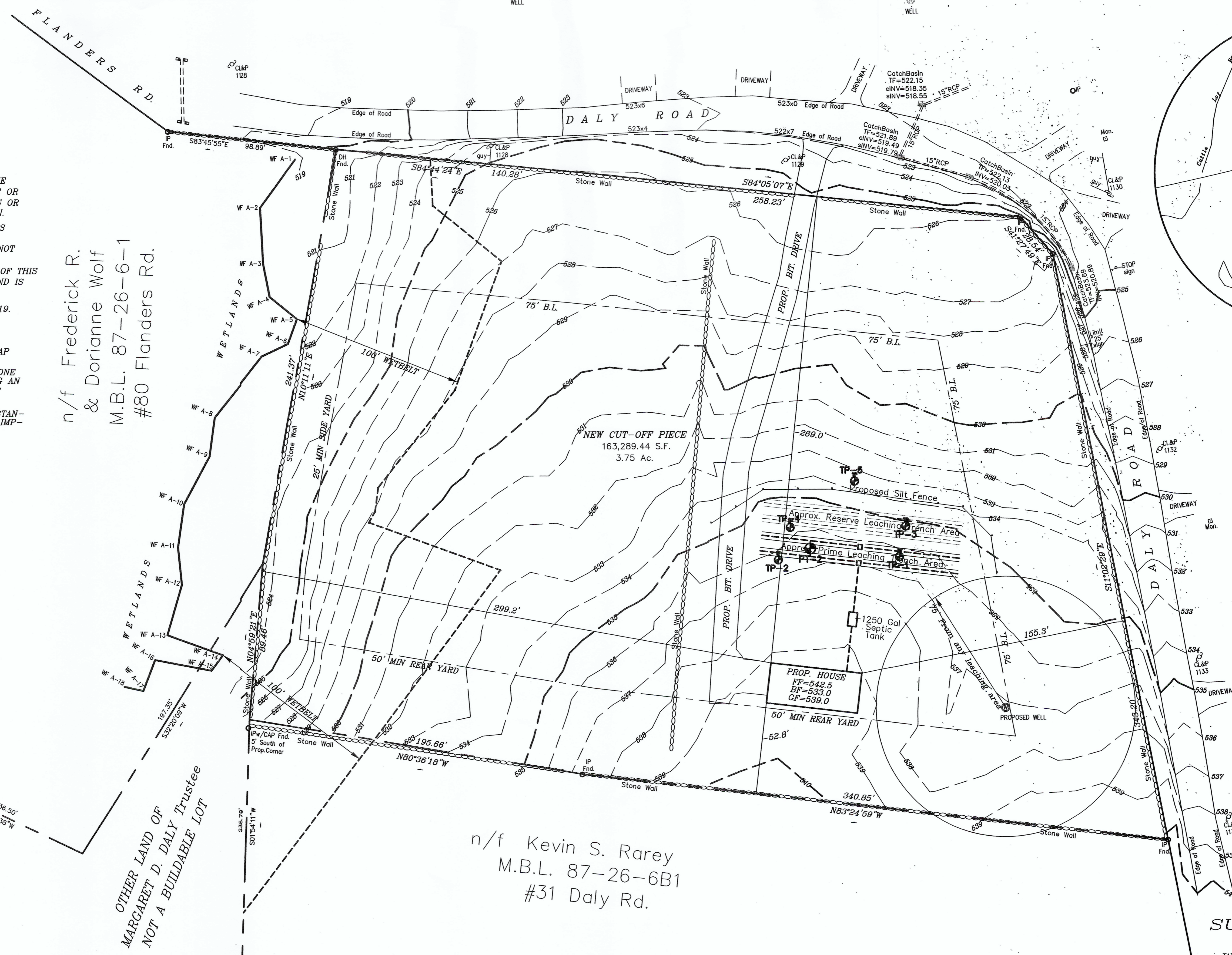
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



AREA MAP 1"=1000±



OTHER LAND OF
MARGARET D. DALY TRUSTEE
NOT A BUILDABLE LOT

n/f Kevin S. Rarey
M.B.L. 87-26-6B1
#31 Daly Rd.