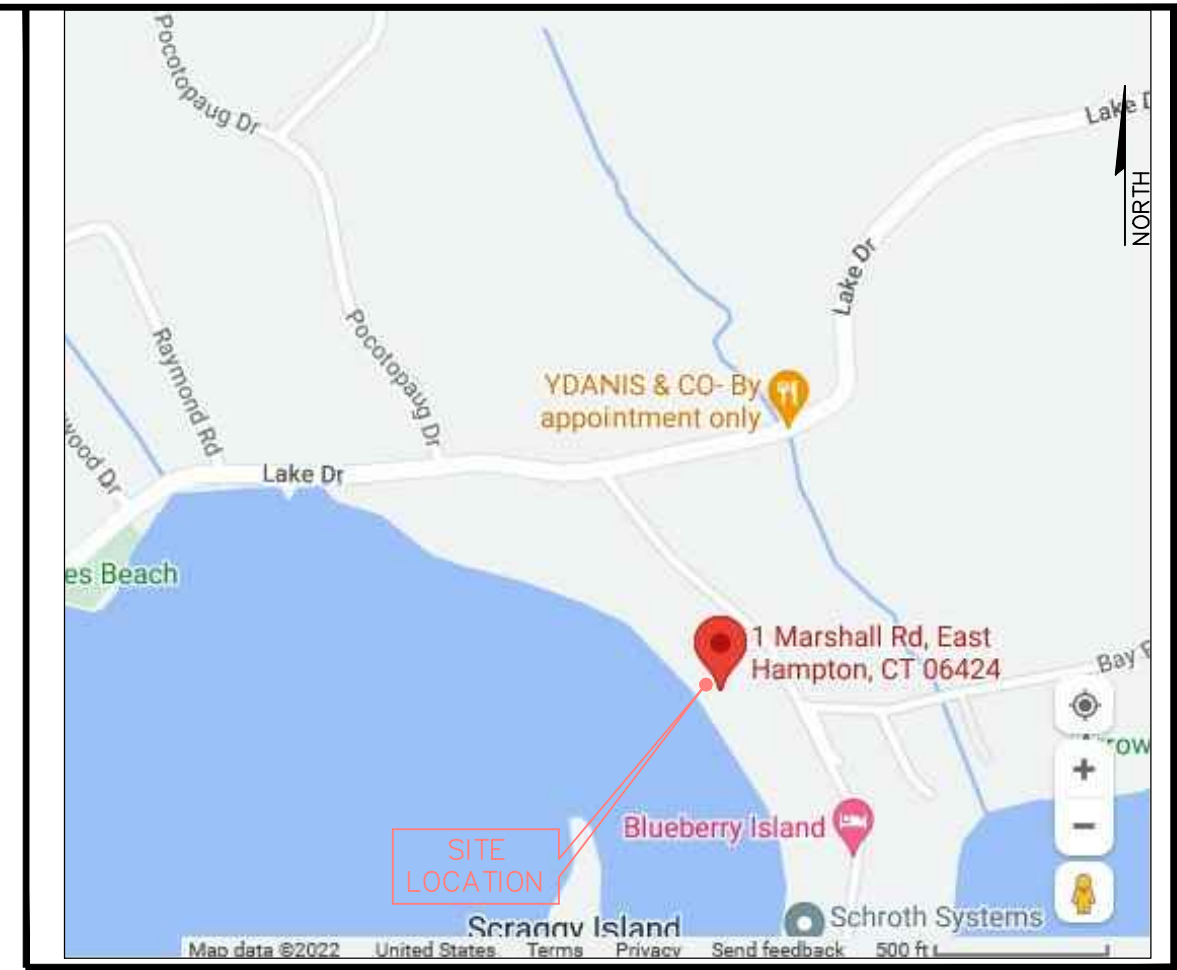


STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS BUILT CONDITIONS
Minimum Lot Area (Sq. Ft.)	20,000 / 60,000	10581±	10581±	
Minimum Lot Width (Ft.)	125'/150'	23.45'	23.45'	
Minimum Lot Depth (Ft.)	125' / 200'	170±	170±	
Minimum Front Setback	25'	124.3'	62.1'	
Minimum Side Setback	15'	5.8'/17.5'	15.0'/A.7'	
Minimum Rear Setback	25'	38±	54± TO HC 35± TO DECK	
Minimum Street Frontage (Ft.)	100'	55.0'	55.0'	
Maximum Lot Coverage	20%	16.4%	20.0%	
Maximum Floor Area Coverage	N/A	N/A	N/A	
Maximum Number of Stories Per Building	N/A	N/A	N/A	
Maximum Height for a Building or Structure	30'	23±	28±	

- LIST OF PLANTS TO BE PLANTED 2.5 FEET APART:
IN RAIN GARDEN LANDSCAPE BUFFER ZONE
1. SWITCH GRASS N/A 10 PLANTS
 2. FLOWERING DOGWOOD N/A 10 PLANTS
 3. SWEET PEPPERBUSH N/A 10 PLANTS
 4. SWEET FERN N/A 10 PLANTS

RECEIVED
11.10.2022
East Hampton
Land Use Dept.



LOCATION MAP
NOT TO SCALE

SURVEY NOTES

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
2. This Survey conforms to Class A-2 & Class T-2.
3. The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
4. Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
5. North Arrow is based on Map Reference # 1.
6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
7. This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
8. Property Lines Established According to Record Deeds as exist.
9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
10. Underground Utility, Structure and facility Locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
11. Elevations Are Based on Assumed Datum.
12. PART OF THE PROPERTY IS LOCATED WITHIN A FLOOD ZONE A AS PER THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 090700135G, MAP REVISED 08-28-2008.

MAP REFERENCES

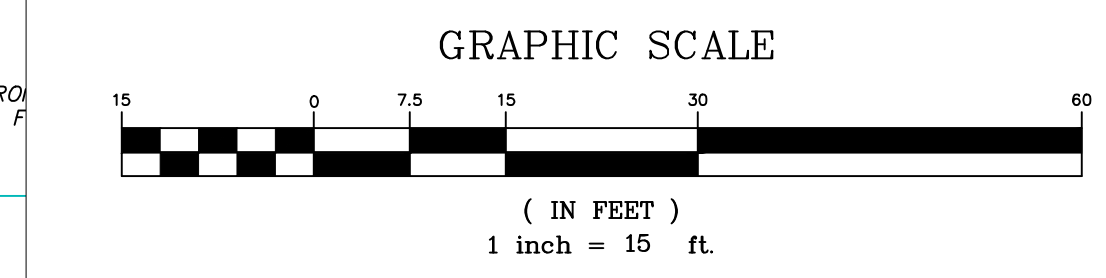
1. RECORD MAP NO # 55-43.
2. RECORD MAP NO # 4-179.

PROPERTY SUBJECT TO:

1. PROPERTY SUBJECT TO A RESTRICTIONS AS CONTAINED IN VOL. 51, PAGE 176 & VOL. 58A, PAGE 52.
2. PROPERTY SUBJECT TO A GRINDER PUMP PERMIT AGREEMENT AS PER VOL. 159, PAGE 344-345.
3. PROPERTY SUBJECT TO AN EASEMENTS, RESTRICTIONS, RIGHTS AND ENCUMBRANCES AS OF RECORD APPEAR IN THE EAST HAMPTON LAND RECORDS.

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

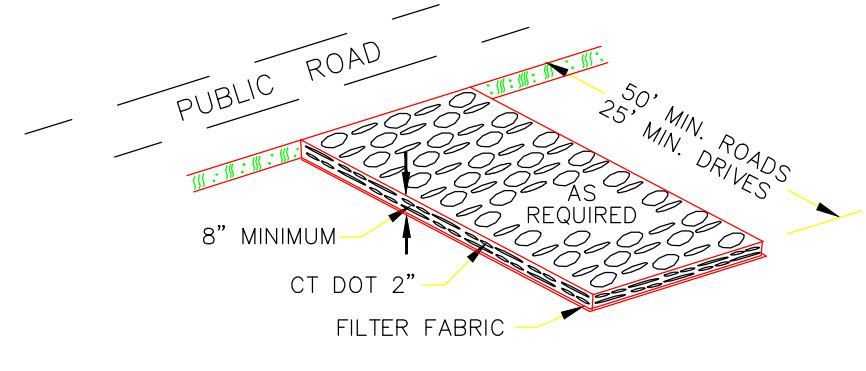
The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, description, or elevations of any underground structure. The Underground structures depicted herein are for informational purpose only. The Preparer of this document DISCLAIMS ANY LIABILITY whatsoever to the user. There are no warranties or representations, expressed or implied and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document. Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.



NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

Jignesh M. Soni
JIGNESH M. SONI, P.L.S. 70386



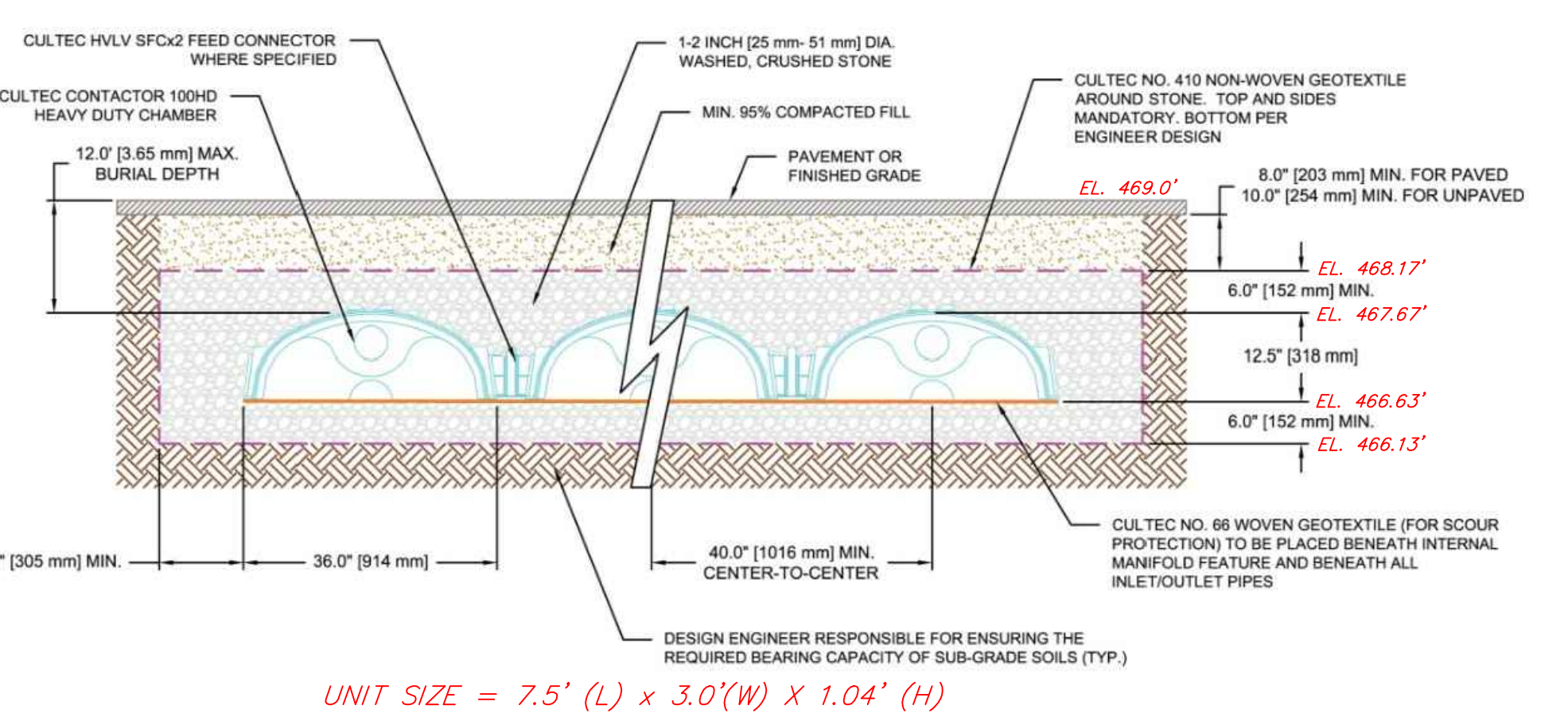
GRADATION TABLE

SQUARE MESH SIEVES	CONN. DOT 2" CRUSHED GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
2 1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1 1/2 INCHES	35-70	0-15	35-70
1 1/4 INCHES	0-25	---	---
1 INCHES	0-10	---	---
3/4 INCHES	---	0-5	---
1/2 INCHES	---	---	0-5
3/8 INCHES	---	---	---

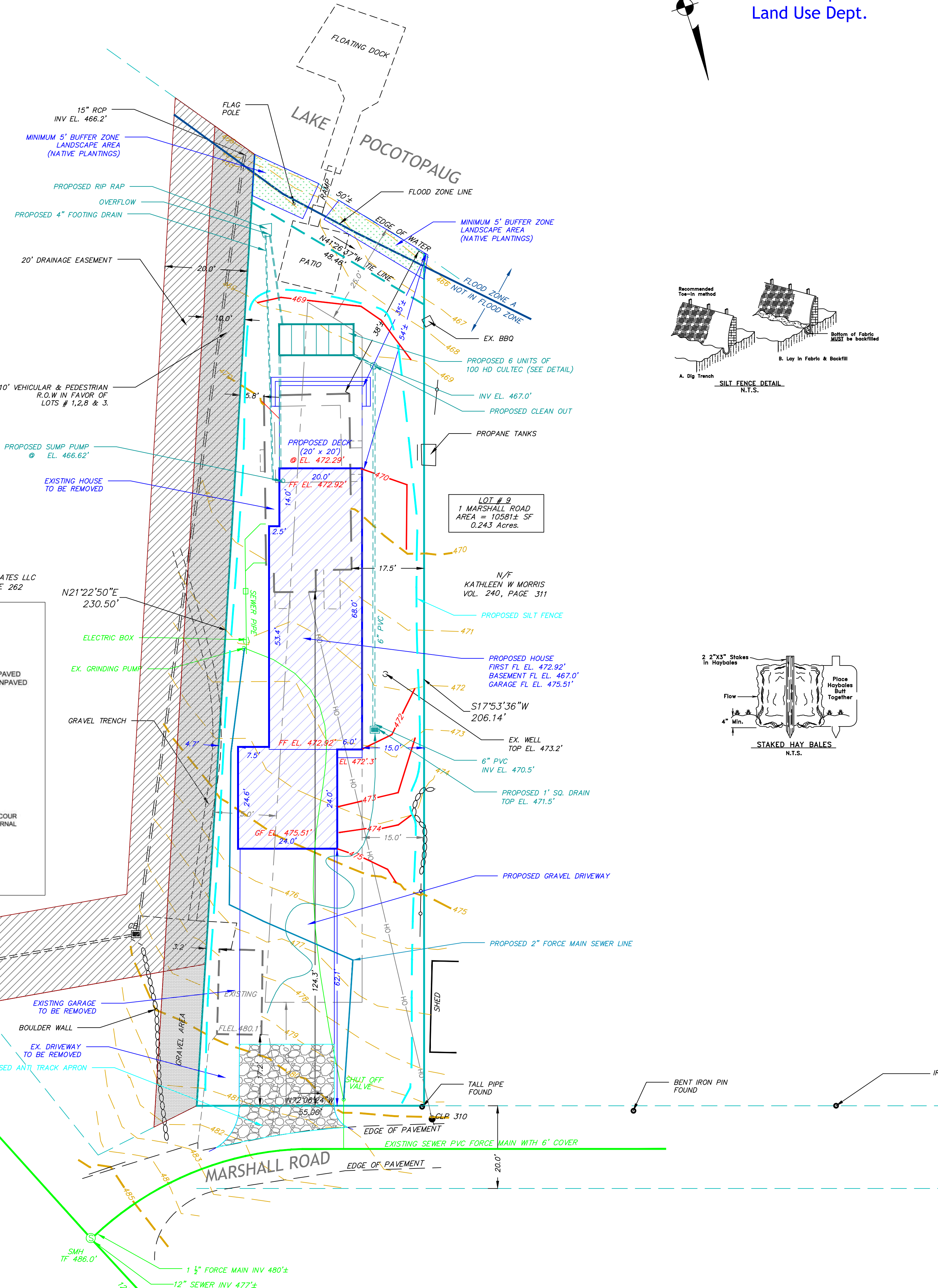
SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT.

ANTI-TRACKING PAD
N.T.S. ZEC-009

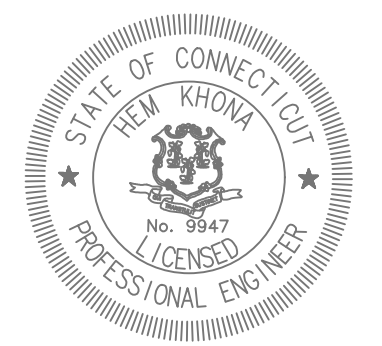
N/F SPELLMAN ASSOCIATES LLC
VOL. 323, PAGE 262



UNIT SIZE = 7.5' (L) x 3.0' (W) x 1.04' (H)



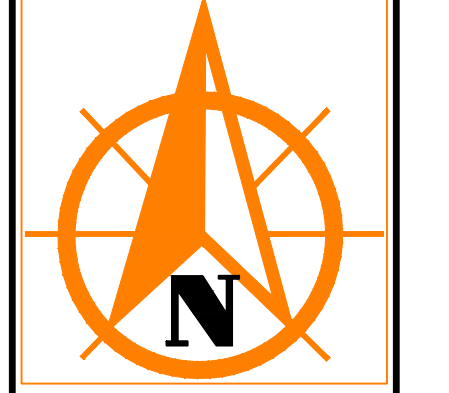
Hem Khona Firm Name and Address
HK Associates
20 Topaz Lane, Trumbull, CT 06611
Phone: (203) 459-2471



PREPARED FOR
ANTHONY FLANNERY JUNIOR
1 MARSHALL ROAD,
EAST HAMPTON, CT

OWNER
ANTHONY FLANNERY JUNIOR
1 MARSHALL ROAD,
EAST HAMPTON, CT

NO.	DATE	DESCRIPTION
1	11/09/2022	PROPOSED SITE PLAN



CT LAND SURVEYING, LLC
58 OLD TAVERN ROAD
ORANGE, CT 06477
P: (203) 903-1193
Email: ctland2005@gmail.com

SEB I MBE CERTIFIED
LAND SURVEYING / LAND PLANNING

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
ANTHONY FLANNERY JUNIOR
1 MARSHALL ROAD,
EAST HAMPTON, CONNECTICUT

DRAFTED: CAD
APPROVED: J.S.
SCALE: 1" = 15'
PROJECT NO.: 220904
DATE: 10/11/2022
CAD FILE: 220904

TITLE:
IMPROVEMENT
LOCATION SURVEY

SHEET NUMBER:
EX-1 OF 1