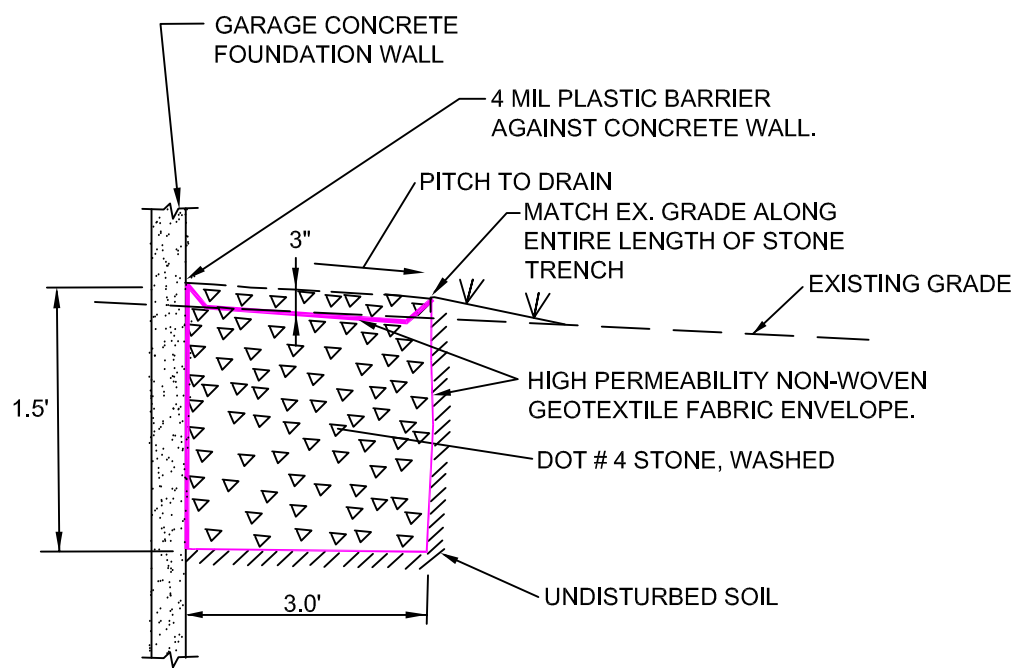


LIST OF ABBREVIATIONS

AC	ACRE	LVC	LENGTH OF VERTICAL CURVE
"ADS"	ADVANCED DRAINAGE SYSTEMS	MH	MANHOLE
BIT.	BITUMINOUS	P.A.G.	POINT OF APPLICATION OF GRADE
BVC	BEGIN VERTICAL CURVE	P.C.P.T.	POINT OF CURVATURE/TANGENT
CATV	CABLE TV	PVC	POLYVINYL CHLORIDE
C.B.	CATCH BASIN	PVMT	PAVEMENT
CL	CENTER LINE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	RET.	RETAINING WALL
C.O.	CLEANOUT TO GRADE	S.F.	SQUARE FEET
CONC.	CONCRETE	ST.	STORM SEWER
CORR.	CORRUGATED	STA.	STATION
DIA.	DIAMETER	S	SANITARY SEWER
DIP	DUCTILE IRON PIPE	T/E/C	TELEPHONE / ELECTRIC / CABLE
D.S.	DOWNSPOUT	T.O.W.	TOP OF WALL
EL	ELEVATION	VCP	VITRIFIED CLAY PIPE
EVC	END VERTICAL CURVE	W	WATER
EX.	EXISTING	W.V.	WATER VALVE
F.B.F.	FINISHED BASEMENT FLOOR	(N)	NORTH
F.F.	FINISHED FLOOR	(S)	SOUTH
F.M.	FORCE MAIN	(E)	EAST
FT.	FEET (')	(W)	WEST
FL.	FLOW LINE	SWL	4" SOLID WHITE LINE
G	GAS	SYL	4" SOLID YELLOW LINE
HDPE	HIGH DENSITY POLYETHYLENE		
HYD.	HYDRANT		
IN.	INCHES (")		
INV.	INVERT		



ROOFWATER INFILTRATION TRENCH X-SECTION

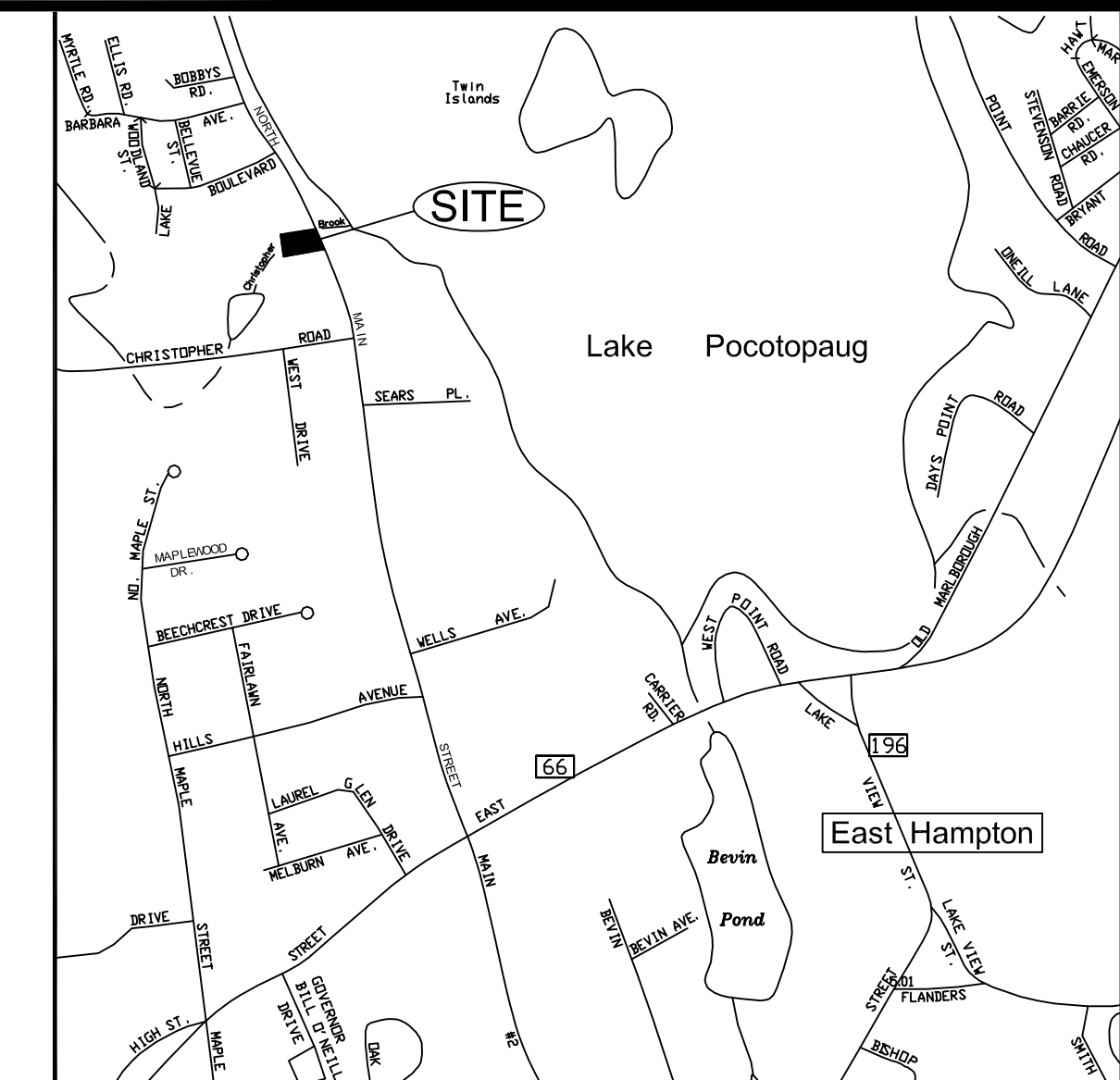
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WATER QUALITY VOLUME (W.Q.V.) COMPUTATION FOR GARAGE ROOF

-W.Q.V. REQUIRED = $1" \text{ RAINFALL} \times (1.553 - 2.203) \text{ S.F.} = 54 \text{ CF}$
 $12' / \text{FT}$

-PROPOSED STONE INFILTRATION TRENCH VOL. = $3' \text{ W} \times 38 \text{ LF} \times 1.5' \text{ DEEP} \times 0.40 = 68 \text{ CF}$
 $12' / \text{FT}$

ZONING INFORMATION TABLE			
R1 DISTRICT (WITH SANITARY SEWERS)			
	REQUIRED/ALLOWED	EXISTING	W/PROPOSED GARAGE
MINIMUM LOT AREA	20,000 S.F.	41,294 S.F.	—
MAXIMUM LOT COVERAGE (S.F.)	8,258 S.F.	2,136 S.F.	3,390 S.F.
MAXIMUM LOT COVERAGE (%)	20%	5.2%	8.2%
MINIMUM LOT FRONTAGE	100 FEET	143.25 FEET	—
MINIMUM LOT WIDTH	125 FEET	152 FEET	—
MINIMUM LOT DEPTH	125 FEET	274 FEET	—
STREET SETBACK - NORTH MAIN	25 FEET	51.49 FEET	75.8 FEET
SIDE YARD SETBACK - NORTH	15 FEET	88.30 FEET	77.4 FEET
SIDE YARD SETBACK - SOUTH	15 FEET	17.19 FEET	76.1
REAR YARD SETBACK - WEST	25 FEET	199.08 FEET	145.16 FEET
MAXIMUM BUILDING HEIGHT	30 FEET	18+ FEET	18+ FEET
IMPERVIOUS AREAS - PAVEMENT & ROOFS	—	1,553 SF	2,203 SF



LOCATION MAP 1"=1000'

PROJECT DESCRIPTION

THE PROJECT PROPOSES TO CONSTRUCT A PROPOSED 3 CAR GARAGE, BREEZEWAY AND PAVED DRIVEWAY ALONG THE REAR OF THE OWNER'S HOUSE, LOCATED WITHIN THE 100 FT UPLAND REVIEW AREA.

MAP REFERENCE

- PROPERTY SURVEY PREPARED FOR EDMUND P. GAINES, III AND CINDY J. WALKER GAINES, 71 NORTH MAIN STREET, ASSESSOR'S MAP 4A, BLK 45, LOT 26, EAST HAMPTON, CT, SCALE 1"=20', DATED JUNE 6, 2017, SH1 OF 1, PREPARED BY PICARD LAND SURVEYING, LLC.
- DESIGN PLANS FOR NORTH MAIN STREET CULVERT REPLACEMENT OVER CHRISTOPHER BROOK, EAST HAMPTON, CT, PREPARED FOR THE TOWN OF EAST HAMPTON, DATED JANUARY 7, 2016, PROJECT #120-06, PREPARED BY ANCHOR ENGINEERING SERVICES INC.

SITE DEVELOPMENT NOTES

- ALL BURIED UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY EACH UTILITY PRIOR TO ANY CONSTRUCTION ACTIVITIES. UNDERGROUND FEATURES DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING, PAROL TESTIMONY, FIELD INVESTIGATIONS AND OTHER SOURCES. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND FRANK C. MAGNOTTA, P.E., PC DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS AND OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT. FOR LOCATIONS OF ALL UNDERGROUND UTILITIES INQUIRE AT THE APPROPRIATE UTILITY AND CALL BEFORE YOU DIG. AT 1-800-422-4465. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL UNDERGROUND FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING THE TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO DISTURBANCE OF THE NATURAL GROUND CONDITIONS.
- DRIVEWAYS SHALL HAVE A MINIMUM CURB RADIUS OF 5 FEET AND A MAXIMUM GRADE OF 10 PERCENT.
- ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 8 INCHES OF COMPACTED PROCESSED STONE. ALL DRIVEWAY APRONS SHALL EXTEND FROM THE ROAD GUTTER LINE TO THE STREET LINE.
- THIS PROPERTY IS NOT WITHIN A REGULATED 100 YEAR FLOODPLAIN, THE NORTH SIDE OF THE PROPERTY IS WITHIN THE "X" ZONE AS SHOWN ON THE 2008 FEMA FLOOD INSURANCE MAPS. THE HOUSE AND PROPOSED GARAGE ARE NOT WITHIN THIS ZONE.
- THE SCS SOIL CLASSIFICATIONS ON THIS SITE ARE:
 21A NINGRETT AND TISBURY SOILS, 0-5 PERCENT SLOPES, HYDR. GROUP "C"
 57B GLOUCESTER GRAVELLY SANDY LOAM, 3-8 PERCENT SLOPES, HYDR. GROUP "A"
- CONTOUR ELEVATIONS REFER TO AN ASSUMED DATUM.
- THE WETLAND ON THIS PROPERTY WAS FLAGGED BY RICHARD SNARSKI, CERTIFIED SOIL SCIENTIST, DECEMBER 2017.

EROSION & SEDIMENTATION CONTROL NOTES

- PRIOR TO THE START OF CONSTRUCTION, HAY BALES AND/OR SILT FENCES SHOWN ON THIS DRAWING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS OUTLINED IN "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002" AND THIS SITE PLAN.
- AT THE REQUEST OF THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER, ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS FIELD CONDITIONS.
- ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH THE MINIMUM STANDARDS OUTLINED IN "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002", AS FOLLOWS:
 PERMANENT SEEDING AND PLANTING DATES ARE APRIL 1ST TO JUNE 1ST AND AUG. 15TH TO SEPT. 30TH.
 TOPSOIL - 4" DEPTH
 LINE - 45-80 LBS PER 1000 SF
 FERTILIZER - (10-10-10) 7.5 LBS PER 1000 SF
 SEEDING - KENTUCKY BLUE GRASS - 2.25
 CREEPING RED FESCUE - 2.25
 PERENNIAL RYEGRASS - .50
 5.00 LB PER 1000 SF
 MULCH - STRAW/HAY 80 LBS PER 1000 SF
- THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THIS PLAN IS:
 NAME: EDMUND P. GAINES, III
 ADDRESS: 71 NORTH MAIN STREET
 EAST HAMPTON, CT, 06424
 TEL. # 860-467-3131
- LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND LAND RESTABILIZATION SCHEDULED AS SOON AS PRACTICABLE.
- ALL FINISHED GRADING SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS. NO WORK AREA SHALL BE LEFT UNSTABLE FOR MORE THAN 30 DAYS WITHOUT THE APPLICATION OF STABILIZATION MEASURES (I.E. SEEDING, MULCHING, ETC.).
- ALL STABILIZED AND DISTURBED AREAS, CONTROL MEASURES AND CONSTRUCTION ENTRANCES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF THE END OF A RAINSTORM THAT IS 0.1 INCHES OR GREATER. REPAIR OR CORRECT DAMAGE AND/OR ADD ADDITIONAL MEASURES WITHIN 3 DAYS OF INSPECTION REQUIRED ABOVE.
- ALL CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED FOR A PERIOD OF AT LEAST 3 MONTHS.

OWNER / APPLICANT

EDMUND P. GAINES, III
 CINDY J. WALKER GAINES
 71 NORTH MAIN STREET
 EAST HAMPTON, CT 06424

ASSESSORS MAP 4A, BLK 45, LOT 26

PREPARED FOR
EDMUND P. GAINES, III & CINDY J. WALKER GAINES
 71 NORTH MAIN STREET
 EAST HAMPTON, CT.

REVISIONS

NO.	DESCRIPTION	BY	DATE

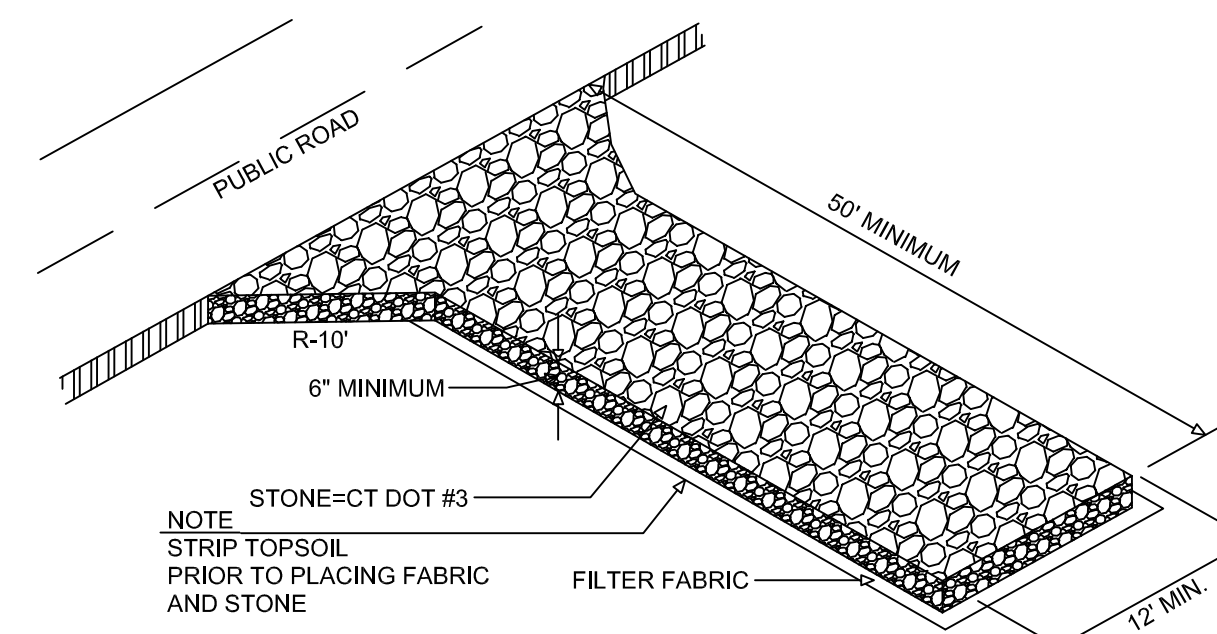
Date:	APRIL 26, 2022	Project No.	
Scale:	1" = 20'	Sheet No.	1 of 1

FRANK C. MAGNOTTA, P.E. PC
 CONSULTING ENGINEER
 FrankCmagnottaPE@aol.com
 395 MAIN STREET, PORTLAND, CT 06480
 TEL. 860-342-2191

SEQUENCE OF CONSTRUCTION

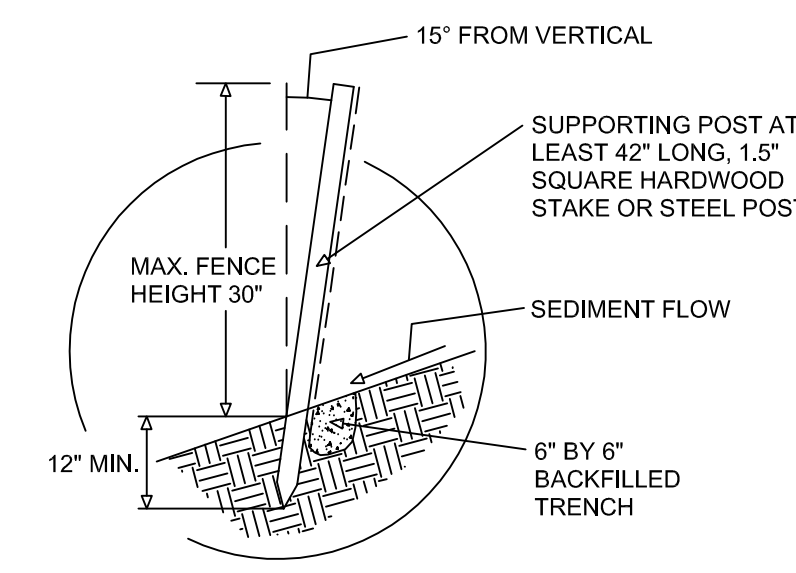
TYPICAL CONSTRUCTION SCHEDULE

	START	COMPLETE
INSTALL TEMPORARY CONSTRUCTION ENTRANCE. INSTALL TEMPORARY EROSION CONTROLS, HAY BALES & SILT FENCING PRIOR TO ANY SOIL DISTURBANCE. ESTABLISH STAGING AREA FOR CONSTRUCTION EQUIPMENT AWAY FROM BROOK, CUT TREES & VEGETATION FOR DRIVEWAY SIGHT LINE.	MAY 1st	MAY 15th
REMOVE EXISTING DRIVEWAY PAVEMENT TO THE PROPERTY LINE. STRIP TOPSOIL FOR THE NEW DRIVEWAY AND GARAGE AND STOCKPILE ON SITE. PLANT LAWN BETWEEN THE NEW DRIVEWAY AND PROPERTY AND LANDSCAPE.	MAY 15th	MAY 22nd
EXCAVATE AND INSTALL THE GARAGE FOUNDATION, STONE DRIVEWAY AND BACKFILL GRADE, TOPSOIL, SEED AND STABILIZE DISTURBED AREAS. INSTALL ROOFWATER INFILTRATION TRENCH AND STABILIZE AREA.	MAY 22nd	JUNE 15th
CONSTRUCT THE GARAGE.	JUNE 15th	JULY 30th
REMOVE THE TEMPORARY CONSTRUCTION ENTRANCE AND INSTALL THE CONCRETE DRIVEWAY APRON. BACKFILL, SEED AND STABILIZE ALL DISTURBED AREAS.	AUGUST 1st	AUGUST 14th
ENSURE PERMANENT STABILIZATION OF ALL DISTURBED AREAS, REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE PERMANENT STABILIZATION HAS OCCURRED.	SEPTEMBER 30th	



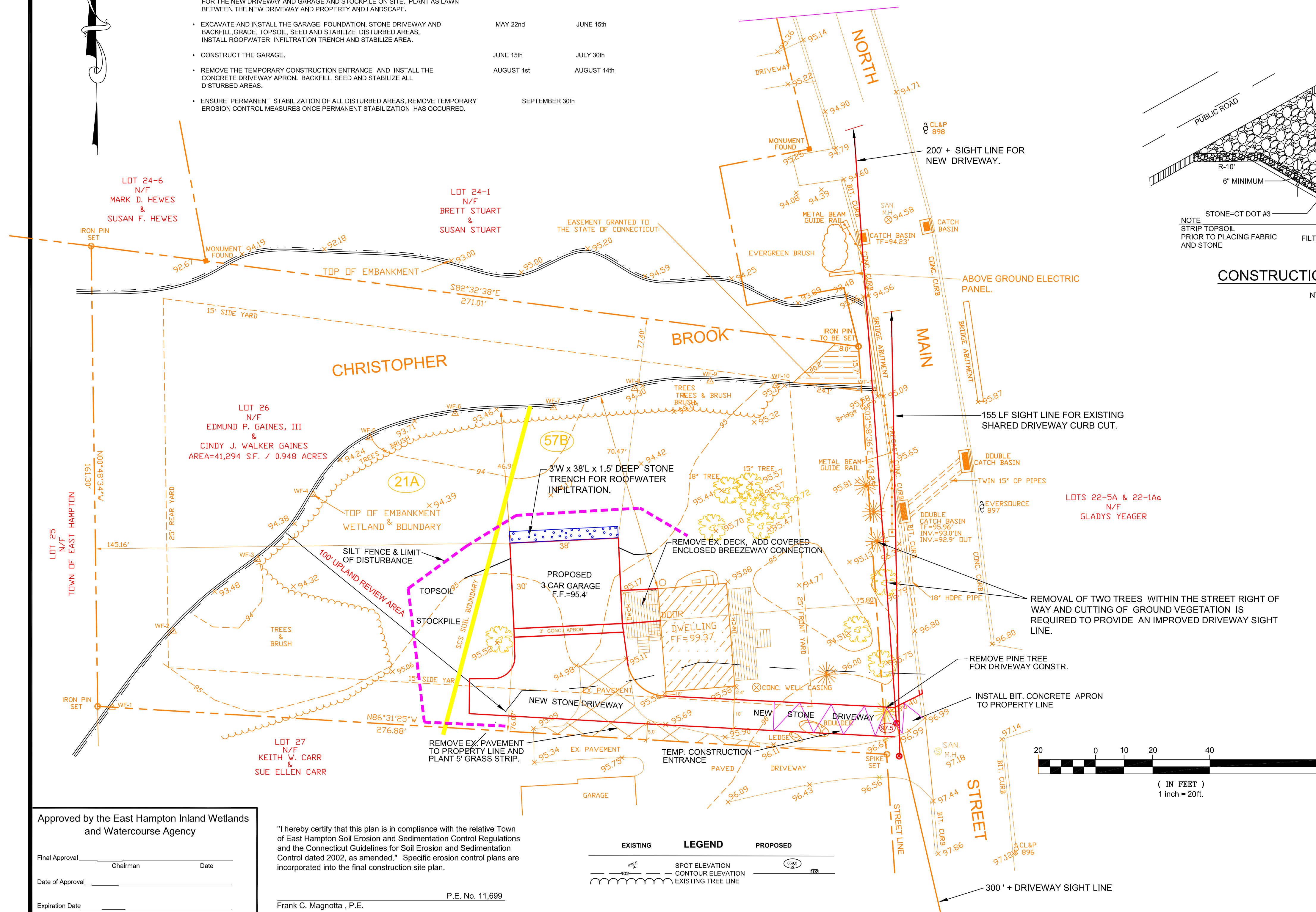
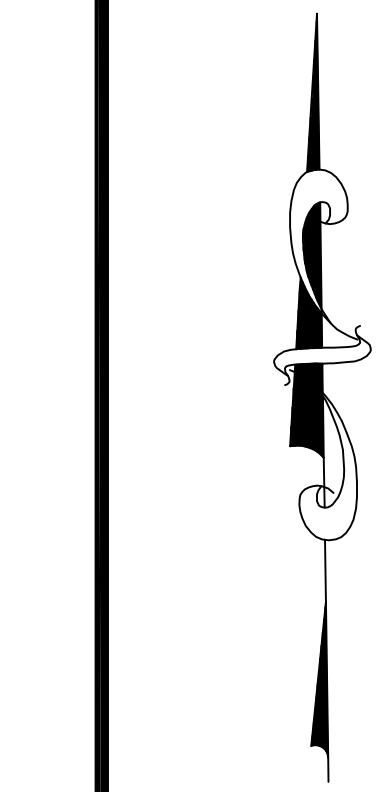
CONSTRUCTION ENTRANCE

NTS



SILT FENCE

NTS



Approved by the East Hampton Inland Wetlands and Watercourse Agency

Final Approval	Chairman	Date
Date of Approval		
Expiration Date		

"I hereby certify that this plan is in compliance with the relative Town of East Hampton Soil Erosion and Sedimentation Control Regulations and the Connecticut Guidelines for Soil Erosion and Sedimentation Control dated 2002, as amended." Specific erosion control plans are incorporated into the final construction site plan.

Frank C. Magnotta, P.E. P.E. No. 11,699

EXISTING	LEGEND	PROPOSED
	SPOT ELEVATION	
	CONTOUR ELEVATION	
	EXISTING TREE LINE	