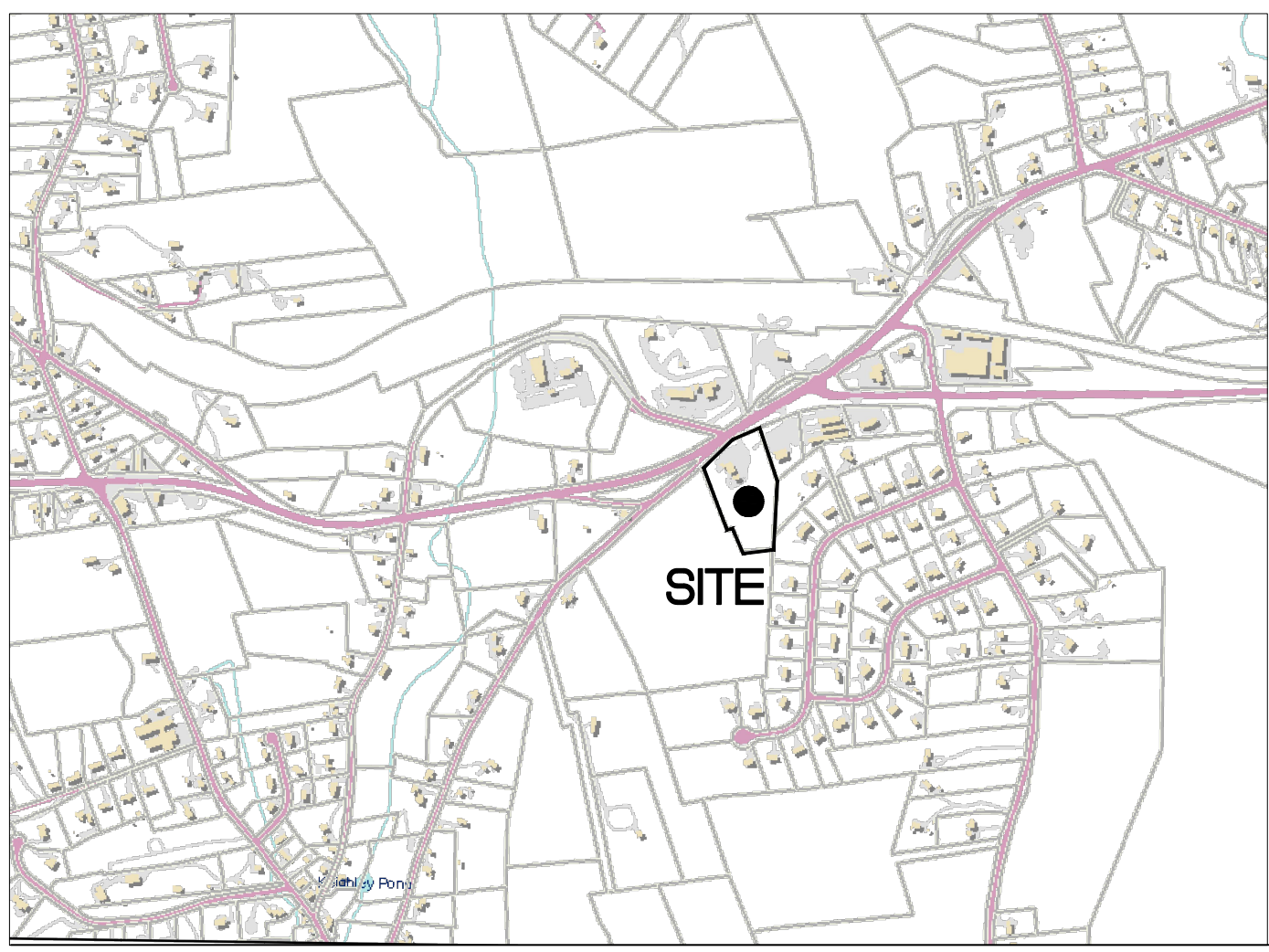


GLOBAL SELF STORAGE

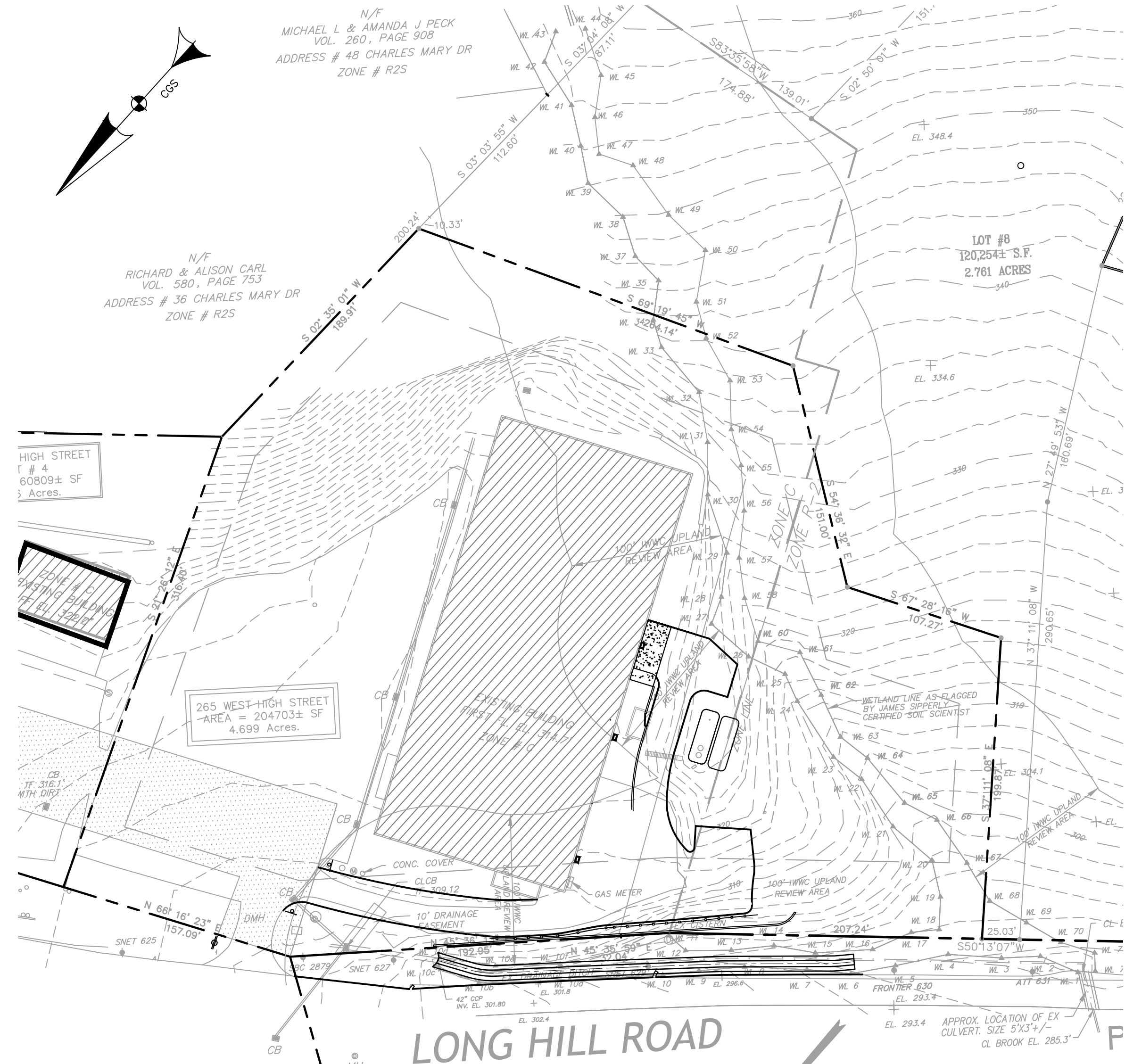
265 WEST HIGH STREET EAST HAMPTON, CONNECTICUT

INLAND WETLANDS AND PLANNING & ZONING APPLICATION



VICINITY MAP

SCALE: 1"=1000'



OVERALL SITE PLAN

SCALE: 1"=60'

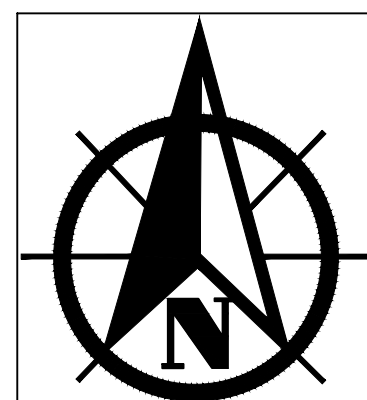
PROPERTY OWNER/APPLICANT:

Global Self Storage LLC
244 Middletown Ave
East Hampton, CT 06424

Soil Scientist:

James Sipperly, Certified Soil Scientist
401 Salem Turnpike, Bozrah CT 06334
Phone: 860-334-7073

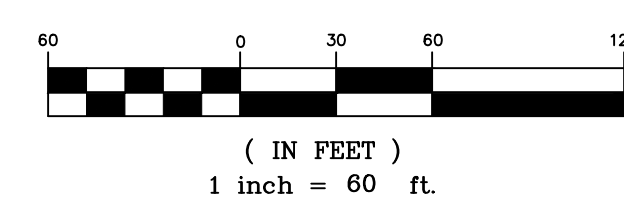
Surveyor:



CT LAND SURVEYING, LLC

SBE | MBE CERTIFIED
LAND SURVEYING / LAND PLANNING
CT LAND SURVEYING, LLC
58 OLD TAVERN ROAD
ORANGE, CT 06477
P: (203) 503-1193
FAX: (203) 404-0411
EMAIL: JS0N12@YAHOO.COM

GRAPHIC SCALE



Project Narrative

This project proposes to redevelop the former Sport Complex use into a self storage facility. There will be minor changes to the exterior of the site. These include the installation of a loading door along the eastern building wall, the installation of loading doors along the western building wall, the construction of a new drive and parking lot for the new western wall loading docks, the construction of a proposed retaining wall among the property's frontage and lastly off site improvements which include the installation of 6" bit curb for a portion of Long Hill and the construction of a stone lined drainage swale replacing the existing roadside swale. The swale will be within the Town of East Hampton's ROW and is the only wetlands disturbance with this application. This proposed swale will be an improvement over the existing roadside swale which is narrow and has steep unprotected side slopes

INDEX OF DRAWINGS

CV-1	COVER SHEET
EX-1	BOUNDARY AND TOPOGRAPHIC SURVEY
GU-1	SITE, GRADING, UTILITY AND EROSION CONTROL PLAN
DN-1	DETAIL SHEET
DN-2	DETAIL SHEET

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____
Chairman

Final Approval _____
Chairman

Date: _____

Date: _____

Expiration Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

COVER SHEET		
PROPOSED GLOBAL SELF STORAGE PROPERTY OF GLOBAL SELF STORAGE, LLC 265 WEST HIGH STREET EAST HAMPTON, CONNECTICUT		
<i>Robert V. Baltramaitis, P.E.</i> 27 Tammy Hill Road Wallingford, Connecticut 06492 (203) 915-8301		
DATE:	SCALE:	SHT #:
9/17/2021	as shown	CV-1

#	DATE	DESCRIPTION
2	10/17/21	REVISE SHEET INDEX TO INCLUDE DN-2
1	10/03/21	REMOVE WETLANDS FILLING & REDUCE BUFFER WORK
#	DATE	DESCRIPTION

SURVEY NOTES

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
2. This Survey conforms to Class A-2.
3. The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
4. Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
5. North Arrow is based on Map Reference # 1.
6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
7. This map is NOT VALID if altered or used by any party other than the CT LAND SURVEYING, LLC.
8. Property Lines Established According to Record Deeds as exist
9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
10. Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
11. Elevations area based on NAVD 1988 DATUM.

PROPERTY SUBJECT TO:

1. DRAINAGE RIGHT OF WAY FROM JOHN H. PAONESSA AND BARBARA B. PAONESSA IN FAVOR OF THE STATE OF CONNECTICUT DATED 09-01-51 AND RECORDED 10-04-51 IN VOLUME 69 AT PAGE 563.
2. A MUTUAL DRIVEWAY EASEMENT TO USE IN COMMON WITH OTHERS & FOR THE SOLE PURPOSE OF INGRESS, EGRESS INSTALLING AND MAINTAINING UTILITIES, SANITARY AND SEWER LINES.
3. EASEMENTS, RESTRICTIONS, RIGHTS AND ENCUMBRANCES AS OF RECORD APPEAR IN THE EAST HAMPTON LAND RECORDS.

MAP REFERENCES

1. RECORD MAP NO # VOL. 8, PAGE 377.
2. RECORD MAP NO # VOL. 11, PAGE 514.
3. RECORD MAP NO # VOL. 09, PAGE 414.
4. RECORD MAP NO # VOL. 83, PAGE 04.
5. RECORD MAP NO # VOL. 57, PAGE 06.
6. RECORD MAP NO # VOL. 50, PAGE 27.
7. RECORD MAP NO # VOL. 64, PAGE 24.
8. RECORD MAP NO # 8.
9. RECORD MAP NO # VOL. 34, PAGE 51.
10. RECORD MAP NO # VOL. 47, PAGE 42.
11. CT STATE HIGHWAY RIGHT OF WAY MAP FOR TOWN OF HAMPTON, CT MAP NO # 41-10 SHEETS 2 & 3 OF 3.

**IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES**

The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, description, or elevations of any underground structure.

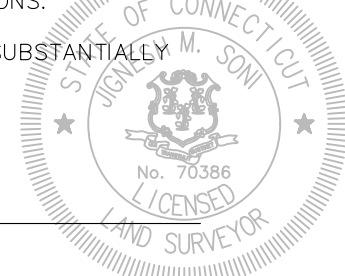
The Underground structures depicted hereon are for informational purpose only. The Preparer of this document DISCLAIMS ANY LIABILITY whatsoever to the user. There are no warranties or representations, expressed or implied and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document.

Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.

NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

Jignesh M. Soni
JIGNESH M. SONI, P.L.S. 70386



CT LAND SURVEYING, LLC

SBE | MBE CERTIFIED
LAND SURVEYING | LAND PLANNING

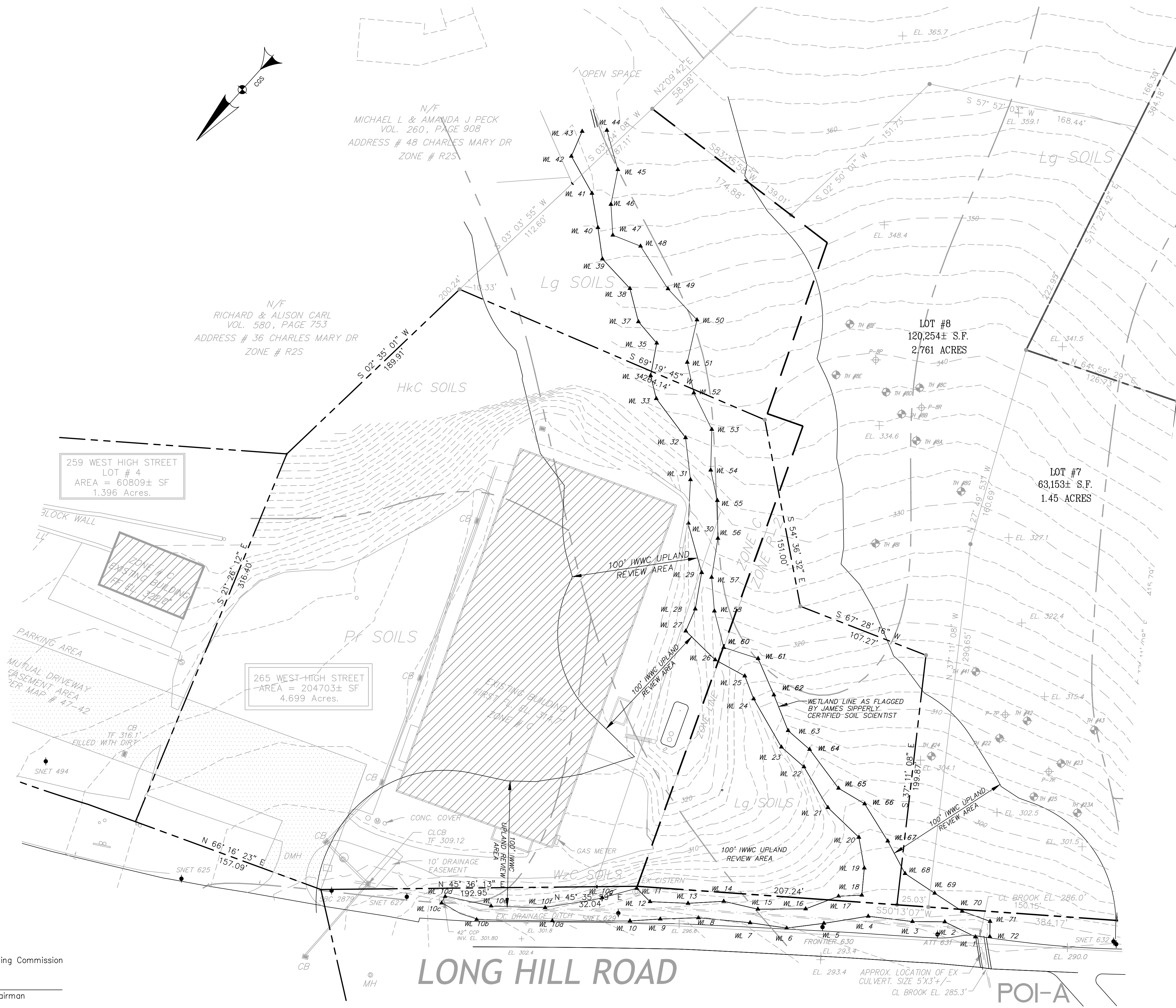
CT LAND SURVEYING, LLC
58 OLD TAVERN ROAD
ORANGE, CT 06477
P: (203) 503-1193
FAX: (203) 404-0411
EMAIL: JSONI2@YAHOO.COM

**BOUNDARY AND TOPOGRAPHIC SURVEY
PROPOSED GLOBAL SELF STORAGE
PROPERTY OF GLOBAL SELF STORAGE, LLC
265 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT**

Robert V. Baltramaitis, P.E.
27 Tammy Hill Road
Wallingford, Connecticut 06492
(203) 915-8301

DATE:	SCALE:	SHT #:	
9/17/2021	1" = 40'	EX-1	

#	DATE	DESCRIPTION

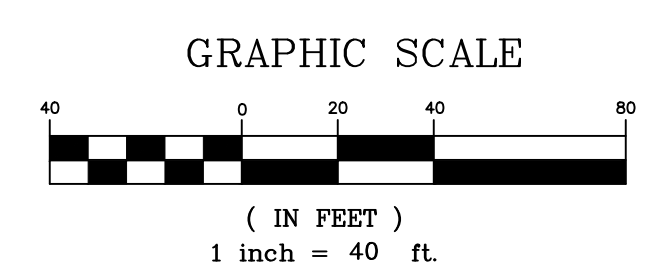


LONG HILL ROAD

WETLAND CERTIFICATION:

The inland wetlands and/or watercourses are accurately shown on this map as delineated on this site.

J. Sippel
James Sippel
4-26-21
Dated



Approved by the East Hampton Planning & Zoning Commission

Final Approval _____
Chairman

Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

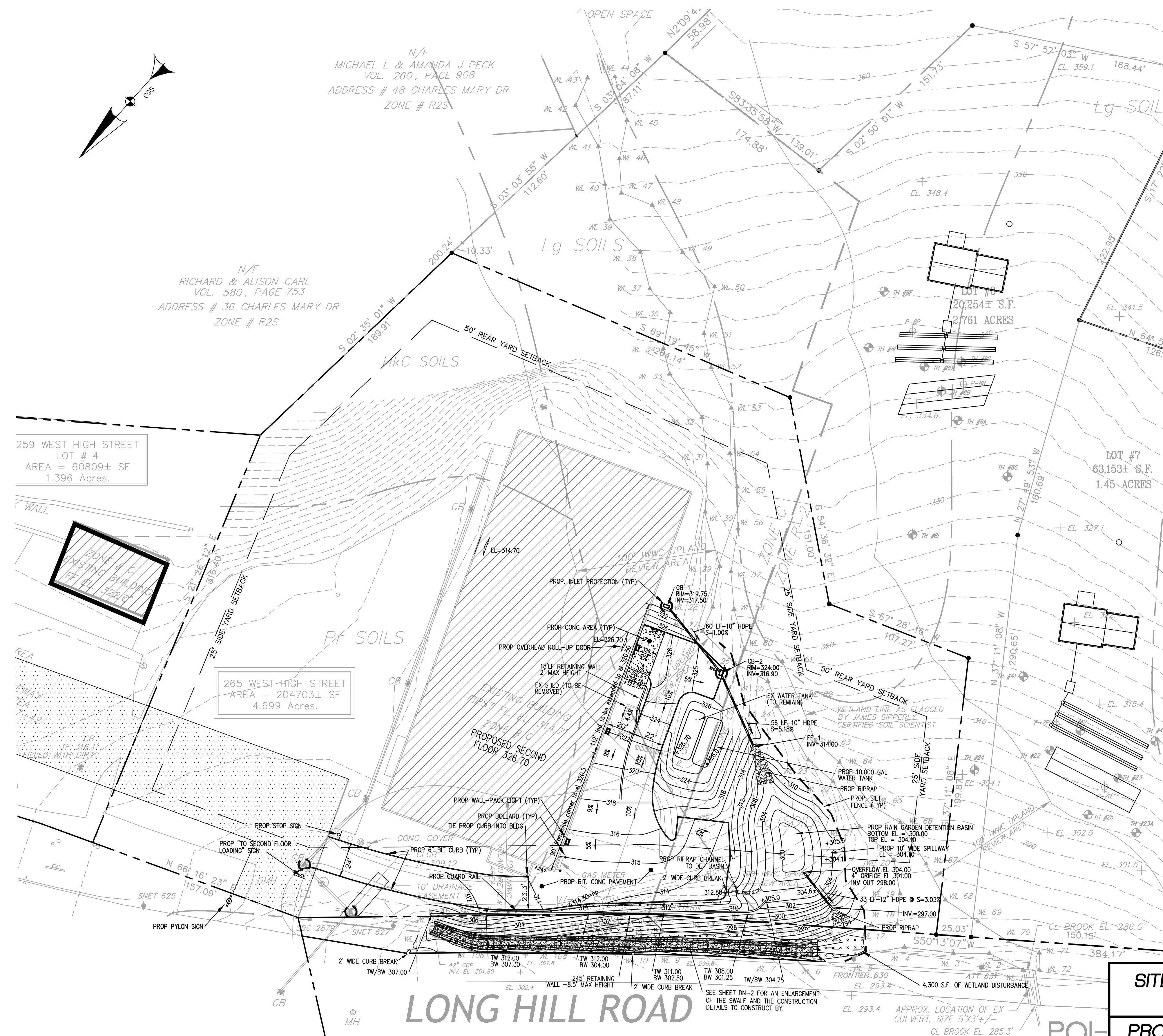
Final Approval _____
Chairman

Date: _____

Expiration Date: _____

GRADING AND UTILITY NOTES:

1. THE PROPERTY IS LOCATED IN THE ZONE X FLOOD PLAN AS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOOD PLAN AS REFERENCED FROM THE FLOOD INSURANCE RATE MAP PANEL 141 OF 450, MAP NUMBER 09007001410, EFFECTIVE DATE AUGUST 28, 2008.
2. THE MAINTENANCE OF THE RAIN GARDEN WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
3. EROSION AND CONTROL BLANKETS WILL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1.



LEGEND

- PROPOSED
- PROPOSED CONTOURS 100
- PROPOSED RIP RAP
- PROPOSED STORM PIPE

SITE, GRADING, UTILITY AND EROSION CONTROL PLAN

PROPOSED GLOBAL SELF STORAGE PROPERTY OF GLOBAL SELF STORAGE, LLC
265 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
27 Tammy Hill Road
Wallingford, Connecticut 06492
(203) 915-8301

NO.	DATE	DESCRIPTION
2	10/17/21	INSTALL STONE LINED SWALE & BASIN OUTLET PIPE
1	10/03/21	REMOVE WETLANDS FILLING & REDUCE BUFFER WORK
#	DATE	DESCRIPTION

DATE: 9/17/2021 SCALE: 1" = 40' SHT #: SP-1

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

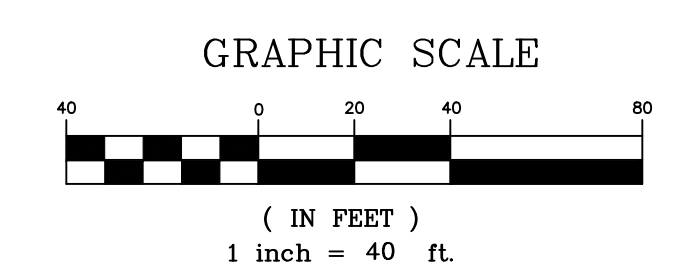
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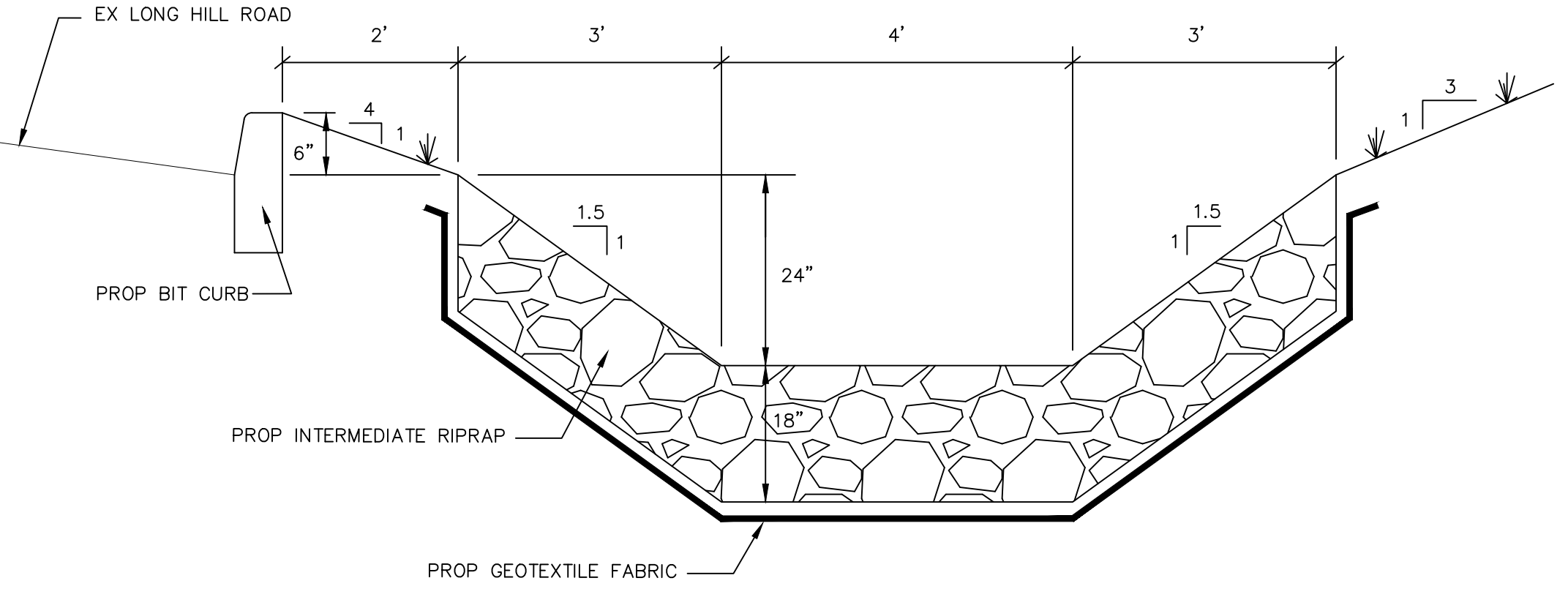
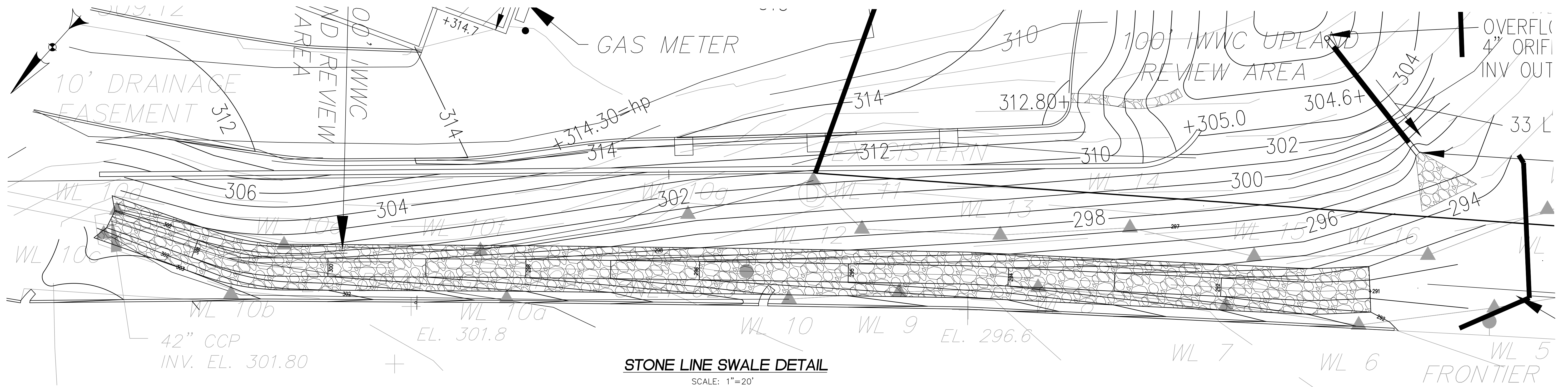
Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

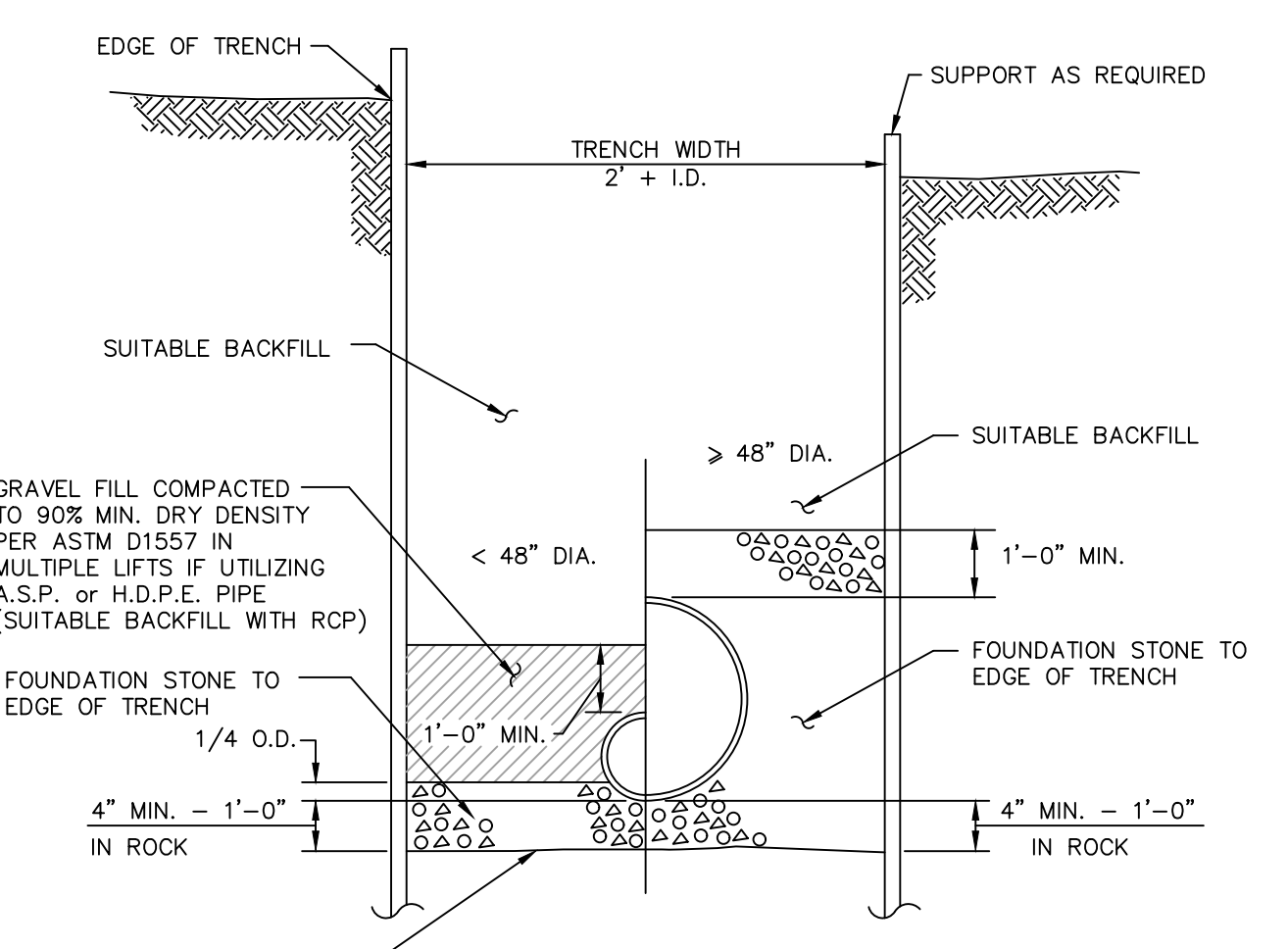
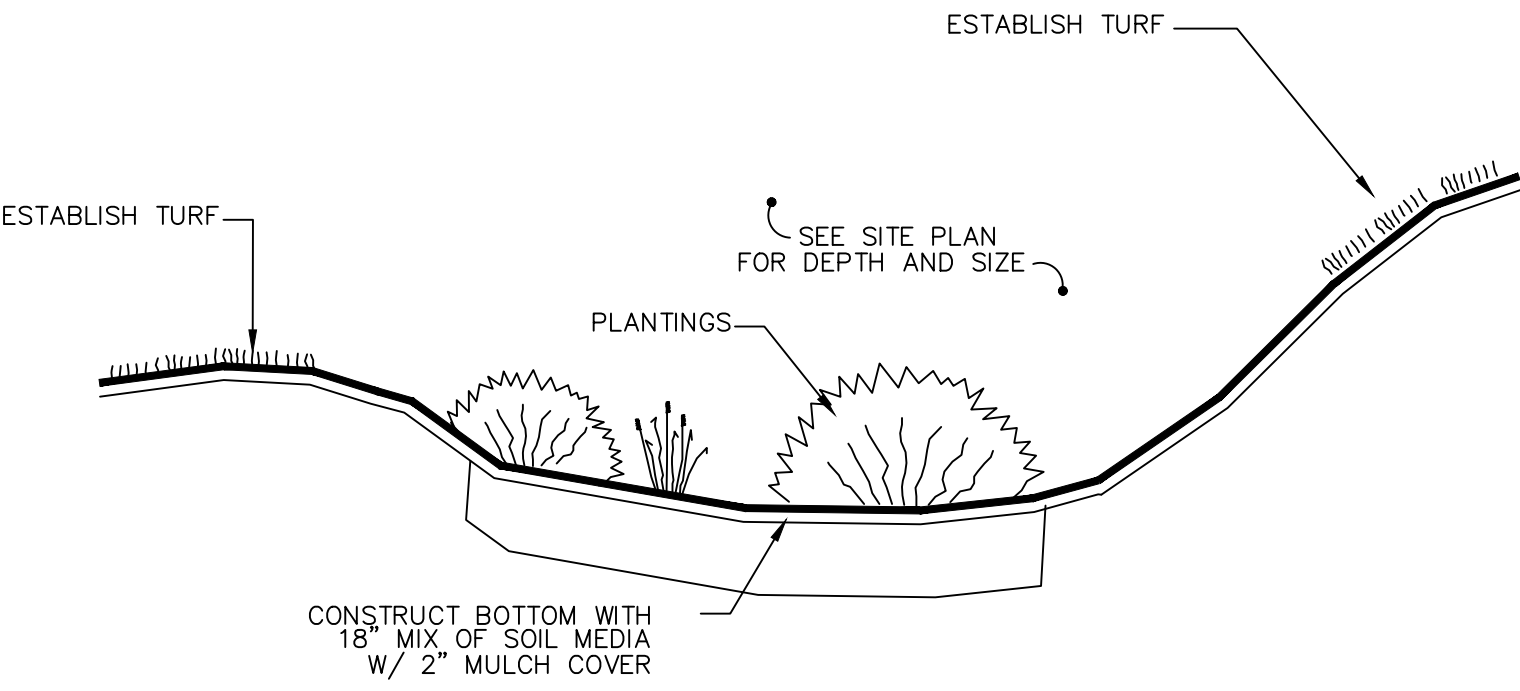
Date: _____

Expiration Date: _____





- Rain Garden Notes:**
1. THE RAIN GARDEN MEDIA SHALL BE LOCATED ABOVE THE ZONE OF SEASONAL SOIL SATURATION.
 2. PLANTING MEDIUM SHALL HAVE A LOAMY SAND TO SANDY LOAM TEXTURE WITH 20-30% WELL-DECAYED, CLEAN LEAF COMPOST. IF IN-SITU TEXTURE IS NOT CORRECT, USE A HOMOGENEOUS MIX OF 50% CONSTRUCTION SAND, 20-30% TOPSOIL, AND 20-30% COMPOST. THE PH SHALL BE 5.5 TO 6.5.
 3. DEPTH OF PLANTING MEDIUM SHALL BE 18 TO 24 INCHES.
 4. AVOID OVER-COMPACTION DURING CONSTRUCTION, TO ENSURE ADEQUATE FILTRATION.
 5. PLANTING MEDIUM MUST BE COVERED WITH EITHER MULCH AND/OR GROUND COVER, INITIALLY SPREAD AN EVEN, 2-3 INCH LAYER OF FRESH STANDARD LANDSCAPING MULCH.
 6. PLANT HERBACEOUS MATERIALS AT DENSITIES OF AT LEAST 6 PLANTS PER 25 SQUARE FEET. PLANT IN SINGLE SPECIES GROUPINGS OF TWO TO FIVE.
 7. IF SHRUBS ARE DESIRED, PLANT MEDIUM TO TALL SHRUBS, AT LEAST 24" IN HEIGHT, & 5 TO 8 FEET APART; LOW SHRUBS 3 TO 4 FEET APART. THE FOLLOWING FOUR WOODY SPECIES COULD BE PLANTED: SHRUBS (MEDIUM TALL): Arrowwood (*Viburnum dentatum*); Winterberry (*Ilex verticillata*); Highbush blueberry (*Vaccinium corymbosum*); (LOW): Meadowsweet (*Spiraea latifolia*).
 8. OVER TIME HERBACEOUS GROUND COVER MAY BE ALLOWED TO SPREAD, REFRESH MULCH, AS NEEDED, EVERY YEAR, WHERE HERBACEOUS VEGETATIVE COVER IS LACKING. BARE SOIL SHALL NOT BE EXPOSED. HAND PULL WEEDS FOR A MORE ATTRACTIVE APPEARANCE.



Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman
Date: _____

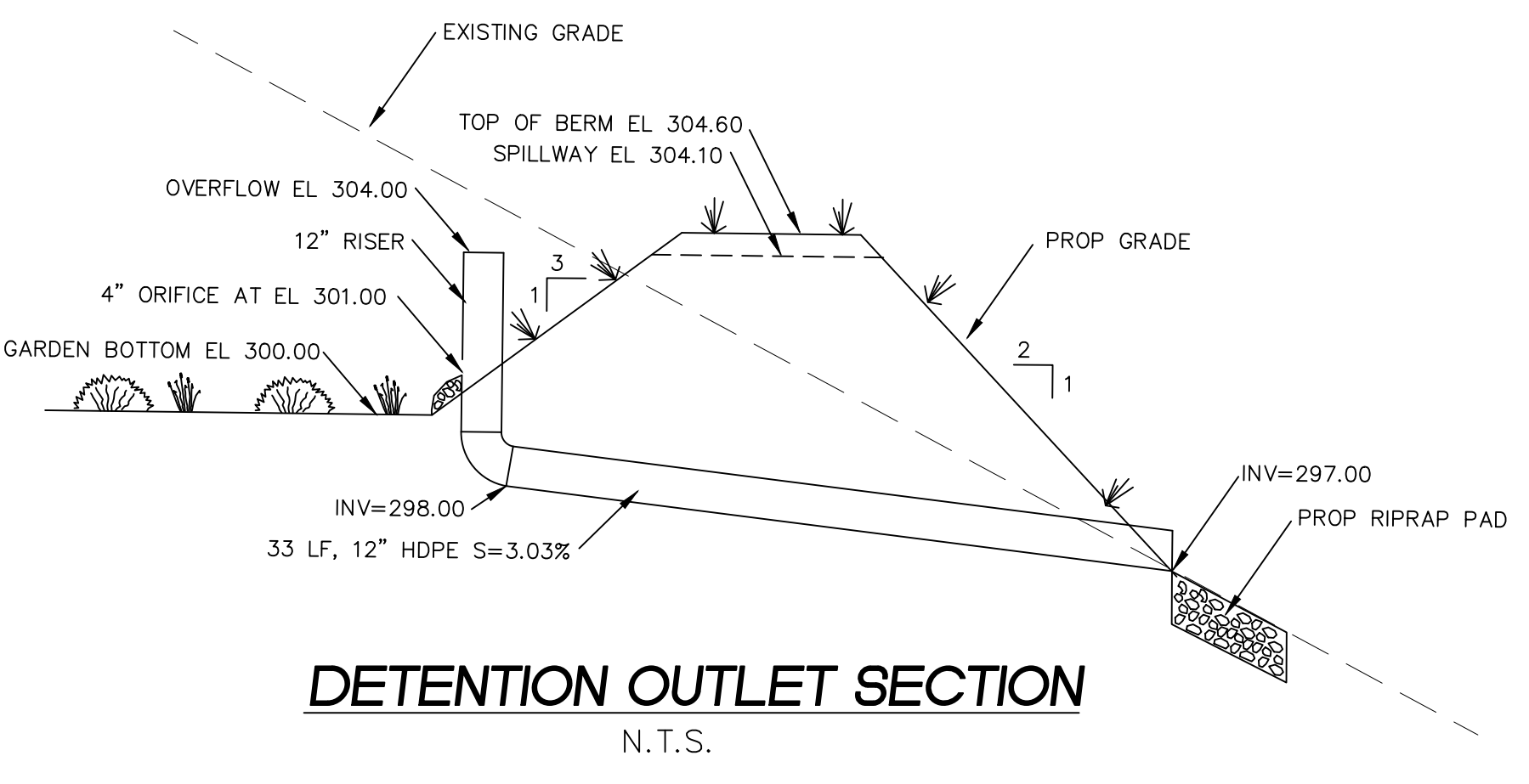
Expiration Date: _____

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman
Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.
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Rain Garden Plant Schedule

SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
*HERBACEOUS PERENNIALS:			
CAREX SCOPARIA	BROOMSEDGE	2" PLUG	AT LEAST 6 PLANTS PER 25 S.F. IF SEED MIX IS NOT USED
EUPATORIUM PURPUREUM	JOE PYE	QUART POT	
MONARDA DIDYMA	BEEBALM	QUART POT	
PANICUM VIRGATUM	SWITCHGRASS	2" PLUG	
VERNONIA NOVEBORACENSIS	NY IRONWEED	QUART POT	
OSMUNDA CINNAMOMEA	CINNAMON FERN	QUART POT	
ASTILBE SPP.	ASTILBE	QUART POT	
ASTER NOVAEBELGII	NEW YORK ASTER	QUART POT	
LIATRIS SPICATA	SPIKED GAYFEATHER	QUART POT	
SHRUBS:			
VIBURNUM DENTATUM	ARROWWOOD	POT, 2' MIN HT	AS DETERMINED BY OWNER
MYRICA PENNSYLVANICA	BAYBERRY	POT, 2' MIN HT	
ILEX VERTICILLATA	WINTERBERRY	POT, 2' MIN HT	
SPIREA LATIFOLIA	MEADOWSWEET	POT, 18" MIN HT	

*CHOOSE AT LEAST 6 SPECIES INCLUDING 3 PERENNIAL FLOWERS, 1 GRASS, 1 SEDGE AND 1 FERN.

DETAIL SHEET

PROPOSED GLOBAL SELF STORAGE
PROPERTY OF GLOBAL SELF STORAGE, LLC
265 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
27 Tammy Hill Road
Wallington, Connecticut 06492
(203) 915-8301

DATE: 10/17/2021 SCALE: AS SHOWN SHT #: DN-2

#	DATE	DESCRIPTION

Figure PS-3 Seed Mixtures for Permanent Seeding

No.	Seed Mixture (Variety) ⁴	Lbs/Acre	Lbs/1,000 Sq. Ft.
1 ⁵	Kentucky Bluegrass	20	.45
	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Perennial Ryegrass (Norica, Manhattan)	5	.10
	Total	45	1.00
2 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Redtop (streaking, Common)	2	.05
	Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln)	20	.45
	Total	42	.95
3 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Bird's-foot Trefoil (Empire, Viking) with inoculant ¹	8	.20
	Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln)	20	.45
	Total	48	1.10
4 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31)	20	.45
	Redtop (Streaker, Common)	2	.05
	Bird's-foot Trefoil (Empire, Viking) with inoculant ¹	8	.20
	Total	30	.70
5 ⁶	White Clover	10	.25
	Perennial Rye Grass	2	.05
		Total	12
6 ⁶	Creeping Red Fescue	10	.50
	Redtop (streaker, Common)	2	.05
	Perennial Rye Grass	20	.50
	Total	42	1.05
7 ⁶	Smooth Bromegrass (Saratoga, Lincoln)	15	.35
	Perennial Ryegrass (Norica, Manhattan)	5	.10
	Bird's-foot Trefoil (Empire, Viking) with inoculant ¹	10	.25
	Total	30	.70
8 ⁶	Switchgrass (Blackwell, Shelter, Cave-in-rock)	10 ¹	.25
	Weeping Lovegrass	3	.07
	Little Bluestem (Blaze, Aldous, Camper)	10 ¹	.25
	Total	23	.57
9 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	10	.25
	Crown Vetch (Chemung, Penngift) with inoculant ¹	15	.35
	(or Flatpea (Lathco) with inoculant ¹)	(30)	(.75)
	Total	42 (or 57)	1.00 (or 1.40)
10 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Redtop (streaker, Common)	2	.05
	Crown Vetch (Chemung, Penngift) with inoculant (or Flatpea (Lathco) with inoculant)	15	.35
	Total	37 (or 52)	.85 (or 1.25)
11 ⁶	Bird's-foot Trefoil (Empire, Viking) with inoculant ¹	8	.20
	Crown Vetch (Chemung, Penngift) with inoculant ¹	15	.35
	Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31)	15	.35
	Total	45	1.05
12 ⁶	Switchgrass (Blackwell, Shelter, Cave-in-rock)	101	.25
	Perennial Ryegrass (Norica, Manhattan)	5	.10
	Crown Vetch (Chemung, Penngift) with inoculant ¹	15	.35
	Total	121	3.00
13-15	Not used		
16 ⁶	Tall Fescue (Kentucky 31)	20	.45
	Flatpea (Lathco) with inoculant ¹	30	.75
		Total	50
17 & 18	Not used		
19 ⁶	Chewing Fescue	35	.80
	Hard Fescue	30	.70
	Colonial Bentgrass	5	.10
	Total	70	1.60
20 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	40	.90
	Tall Fescue (Kentucky 31)	20	.45
		Total	60
21 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	40	.90
	Tall Fescue (Kentucky 31)	20	.45
		Total	60
22 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	40	.90
	Tall Fescue (Kentucky 31)	20	.45
		Total	60
23 ⁶	Creeping Red Fescue (Pennlawn, Wintergreen)	40	.90
	Tall Fescue (Kentucky 31)	20	.45
		Total	60
24-28	Not Used		
	Turf Type Tall Fescue (Bonanza, Mustang, Rebel II, Spartan, Jogurt) or Perennial Rye ("Future 2000" mix, Fiesta II, Blazer II, and Dasher II)	175 to 250	6 to 8

Figure PS-2 Selecting Seed Mix to Match Need

Area To Be Seeded	Mixture Number ¹	
	Mowing Desired	Mowing Not Req.
BORROW AREAS, ROADSIDE, DIKES, LEVEES, POND BANKS AND OTHER SLOPES AND BANKS		
A) Well or excessively drained soils ²	1,2,3,4,5, or 8	5,6,7,8,9,10,11
B) Somewhat poorly drained soils ²	2	12,16, 22
C) Variable drainage soils ²	2	5,6
DRAINAGE DITCH AND CHANNEL BANKS		
A) Well or excessively drained soils ²	1,2,3 or 4	9,10,11,12
B) Somewhat poorly drained soils ²	2	
C) Variable drainage soils ²	2	
DIVERSIONS		
A) Well or excessively drained soils ²	2,3 or 4	9,10,11
B) Somewhat poorly drained soils ²	2	
C) Variable drainage soils ²	2	
GULLIED AND ERODED AREAS		3,4,5,8,10,11,12
SOD WATERWAYS AND SPILLWAYS	1,2,3,4,6,7, or 8	1,2,3,4,6,7, or 8
SUNNY RECREATION AREAS (Picnic areas and playgrounds or driving and archery ranges, nature trails)	1,2, or 22	
LAWNS AND HIGH MAINTENANCE AREAS	1,19, 21 or 22	

1 The numbers following in these columns refer to seed mixtures in Figure PS-3. Mixes for shady areas are in bold-face print (including mixes 20 through 24)
 2 See county soil survey for drainage class. Soil surveys are available from the County Soil and Water Conservation District Office.
 3 Use mix 26 when soil passing a 200 mesh sieve is less than 15% of total weight. Use mix 26 & 27 when passing a 200 mesh sieve is between 15 and 20% of total weight. Use mix 26, 27 & 28 when soil passing a 200 mesh is above 20% of total weight.

Species ⁴	Seeding Rates (pounds/acre)	Optimum Seed Depth (inches)	Optimum Seeding Dates ¹										Plant Characteristics		
			3/15	4/15	5/15	6/15	7/15	8/15	9/15	10/15					
Annual ryegrass Lolium multiflorum	40	1.0	0.5												May be added in mixes. Will mow out of most stands.
Perennial ryegrass Lolium perenne	40	1.0	0.5												Use for winter cover. Tolerates cold and low moisture.
Winter eye Secale cereale	120	3.0	1.0												Quick germinating and heavy spring growth. Dies back in June with little regrowth.
Oats Avena sativa	86	2.0	1.0												In northern CT will winter kill with the first killing frost and may throughout the state in severe winters.
Winter Wheat Triticum aestivum	120	3.0	1.0												Quick germination with moderate growth. Dies back in June with no regrowth.
Millet Echinochloa crusgalli	20	0.5	1.0												Warm season small grain. Dies with frost in September.
Sudangrass Sorghum sudanense	30	0.7	1.0												Tolerates warm temperatures and droughty conditions.
Sudangrass Sorghum sudanense	15	0.4	1.0												Hardy plant that will reseed itself and is good as a green manure crop.
Weeping Lovegrass Eragrostis curvula	5	0.2	0.25												Warm-season perennial. May bunch. Tolerates hot, dry slopes, acid infertile soils. Excellent nurse crop. Usually winter kills.
DOT All Purpose Mix ²	150	3.4	0.5												Suitable for all conditions.

1 May be planted throughout summer if soil moisture is adequate or can be irrigated. Fall seeding may be extended 15 days in the coastal towns.
 2 Seed at twice the indicated depth for sandy soils.
 3 See Permanent Seeding Figure PS-3 for seeding mixture requirements.
 4 Listed species may be used in combinations to be obtain a broader time spectrum. If used in combinations, reduce each species planting rate by 20% of that listed.

WETLANDS APPLICATION DATA

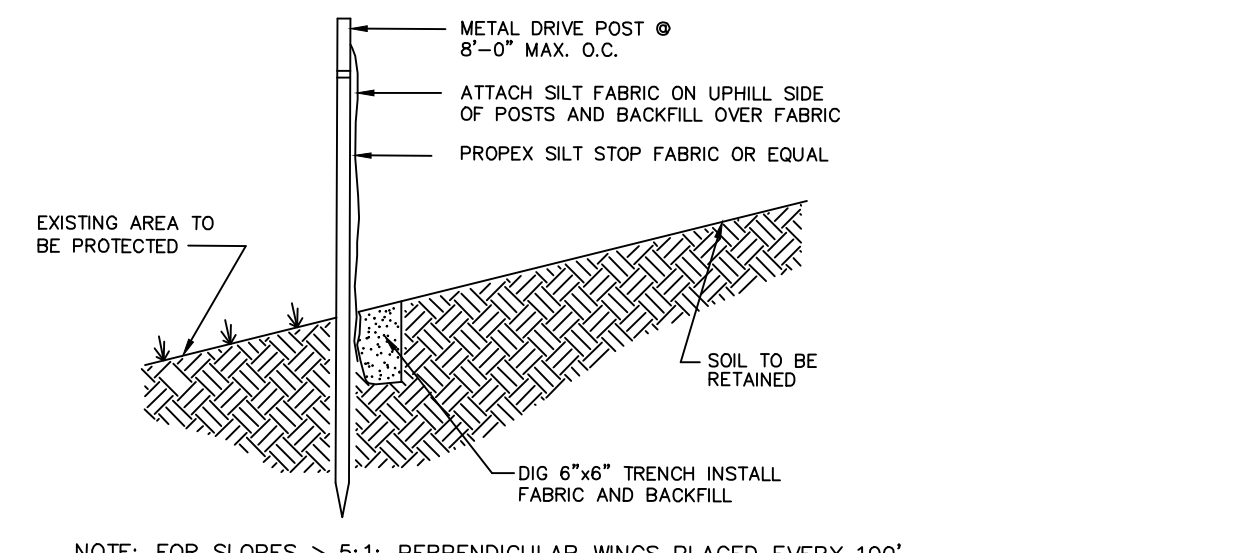
- This project involves the re-development of a 4.699 acre parcel with an existing indoor sports facility. The proposed redevelopment includes changing the use to an indoor self storage facility as well as some exterior improvements. The applicant proposed to provide a second story drive-in roll-up door and a recessed loading dock. Additionally, the applicant has been in contact with the East Hampton Public Works department and proposes to replace the existing roadside swale along Long Hill Road with a new stone lined drainage swale. The installation of this new drainage swale requires approx 4,300 s.f. of wetlands disturbance. The total redevelopment requires disturbance of approx 39,000 s.f. of the 100' upland review area.
- The wetlands were delineated by James Sipperly Certified Soil Scientist on November 14, 2020.
- The on-site regulated areas to be protected by the use of erosion control measures during construction and the finished surfaces such as grass and pavement.

EROSION CONTROL INTENT

- THE EROSION CONTROL PLAN IS INTENDED TO MINIMIZE THE MOVEMENT OF MATERIAL INTO ADJACENT WETLANDS AND WATERCOURSES BY ONE OR MORE OF THE FOLLOWING:
- LIMIT THE TIME OF BARE SOIL EXPOSURE. ONCE EXCAVATION OR FILL HAS BEEN COMPLETED AND WITHOUT WAITING UNTIL THE ENTIRE SITE IS READY, PROVIDE SOME TYPE OF GROUND COVER AS SPECIFIED. INSTALL MULCH, PAVEMENT, TEMPORARY SEEDING, OR PERMANENT SEEDING. SLOPES SHOULD BE PERMANENTLY SEEDDED AS SOON AS FORMING IS COMPLETED.
 - THE USE OF MULCH, TEMPORARY SEEDING OR JUTE MESH WILL BIND THE SOIL BY ABSORBING AND SPREADING HEAVY RAIN CONCENTRATIONS AND MINIMIZING EROSION.
 - A TEMPORARY LINING SHOULD BE USED IN THE BOTTOM OF SWALES TO SLOW VELOCITY OF THE STORMWATER AND PREVENT EROSION. THIS ALSO SETTLES OUT MANY OF THE FINE SILTS. SEE SWALE CHART FOR CHANNEL LINING DETAILS. CONTROL OF SHEET FLOW.
 - THE USE OF SILT FENCE ANCHORED AS REQUIRED, WILL CONTROL SHEET FLOW AS LONG AS THE WATER VOLUME IS NOT GREAT. IN SOME CASES, WHERE THE FLOW IS GREAT ENOUGH, THE FENCE SHOULD BE BACKED UP BY HAY BALES TO PROVIDE STRENGTH AGAINST THE FENCE TIPPING OVER DUE TO THE WATER VOLUME. ACCUMULATED SILT SHOULD BE PERIODICALLY CLEANED FROM IN FRONT OF THE SILT FENCE AND BURIED.
 - THE CONTROL AND REMOVAL OF ALL SILT IS NOT POSSIBLE, BUT BY CAREFUL APPLICATION OF THE REQUIREMENTS OF THIS PLAN COMBINED WITH CONTRACTOR CONCERN WILL GREATLY IMPROVE THE QUALITY OF BOTH THE SITE AREAS AND THE OFF-SITE AREAS.

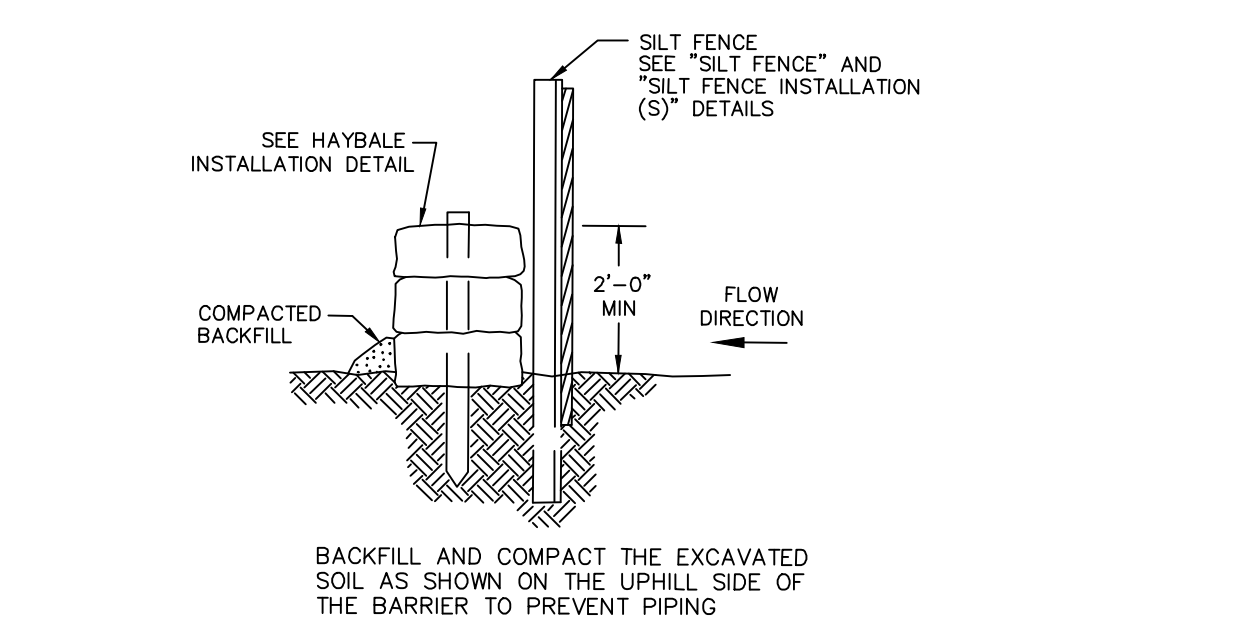
CONSTRUCTION TIME SCHEDULE

- The total Construction time for all improvements shall be 6-12 months.
- All erosion control measures shall be in place and inspected prior to start of Construction.
- Contractor shall install the proposed detention basin which shall be used as a temp sedimentation basin as needed.
- Contractor to construct the proposed stone lined drainage roadside swale.
- Next, the contractor shall do the building foundation vertical extensions to allow for filling to happen.
- Contractor shall do all rough grading, install retaining walls and install drainage network.
- All concrete, curbing and pavement shall be installed.
- Lastly, the contractor shall perform all finished grading, install topsoil, seed, mulch and final landscaping.
- All erosion control measures will remain in place until final signout from the Town E&S inspector.

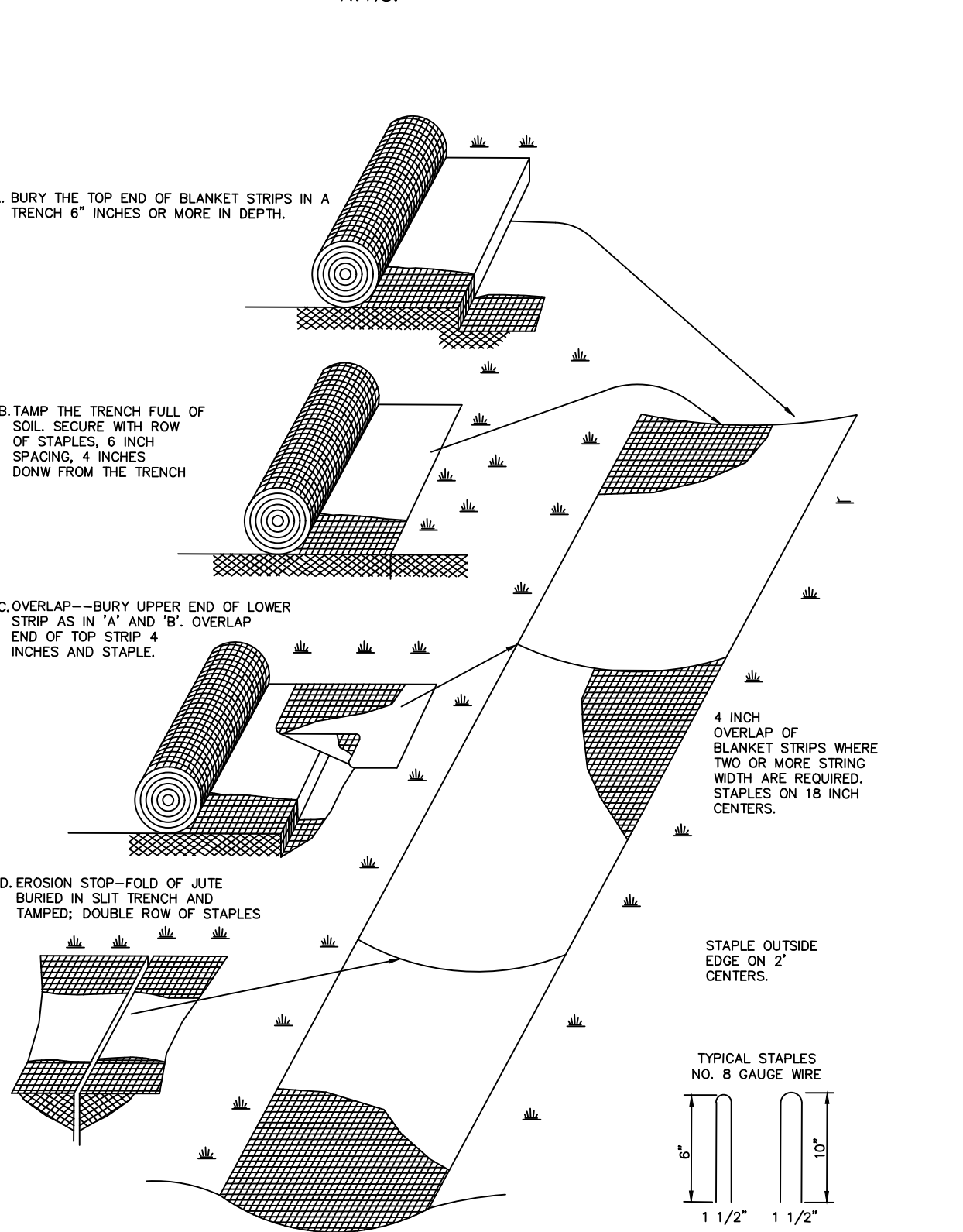


NOTE: FOR SLOPES > 5:1; PERPENDICULAR WINGS PLACED EVERY 100'
 FOR SLOPES > 3:1 TO 5:1; PERPENDICULAR WINGS PLACED EVERY 75'
 FOR SLOPES > 2:1 TO 3:1; PERPENDICULAR WINGS PLACED EVERY 50'

SILT FENCE
N.T.S.



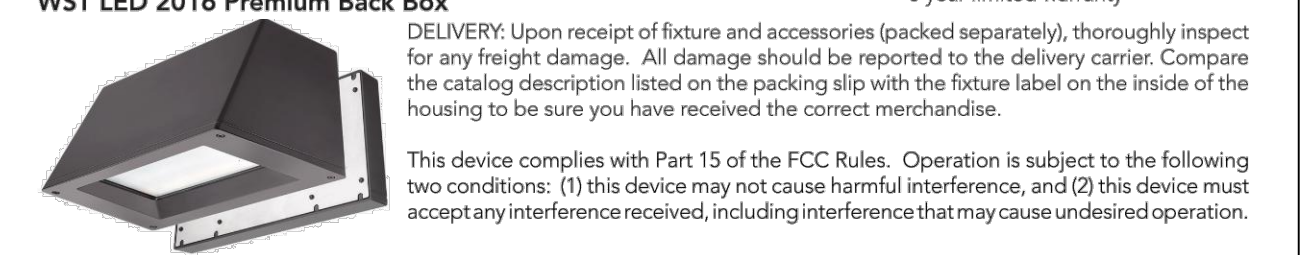
SEDIMENTATION CONTROL BARRIER WITH HAY BALE BARRIER
N.T.S.



NOTE: BLANKET IS TO BE INSTALLED ON ANY FINISHED SLOPES THAT ARE STEEPER THAN 3:1

EROSION CONTROL BLANKET INSTALLATION DETAIL
N.T.S.

Installation Instructions WST LED 2016 Premium Back Box

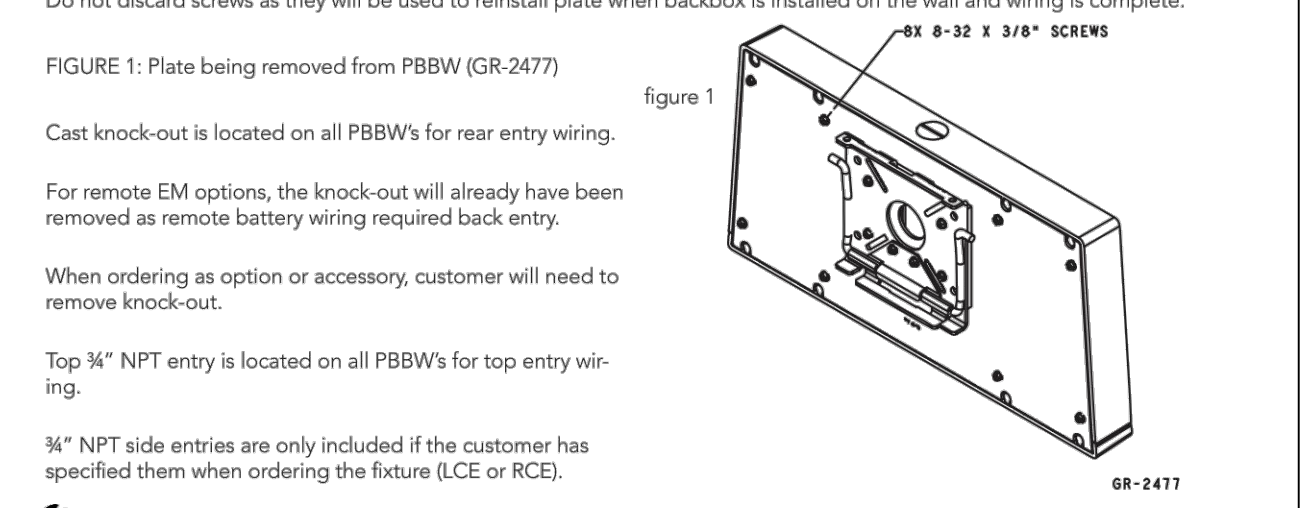


5 year limited warranty
 DELIVERY: Upon receipt of fixture and accessories (packed separately), thoroughly inspect for any freight damage. All damage should be reported to the delivery carrier. Compare the catalog description listed on the packing slip with the fixture label on the inside of the housing to be sure you have received the correct merchandise.

CAUTION: APPLY A CONTINUOUS BEAD OF WEATHER-PROOF CAULKING BETWEEN MOUNTING PLATE AND WALL TO ENSURE WEATHER-TIGHT INTEGRITY OF ELECTRICAL COMPONENTS.
 Tools required: 3/16" allen wrench, level, 1/4" roll punch tool

- Premium Backbox (PBBW) option/accessory only**
 Included in carton:
 Backbox plate - installed
 Orange rope gasket - installed
 (8) 8-32 x 3/8" screws - installed
 (1) NPT plug per NPT entry (minimum of 1, maximum of 3) -- installed finger-tight
 Wall mount plate with integral support rod - installed
Remote EM options
 Everything included with PBBW option.
 Remote battery enclosure with metal flex conduit harness - wired in, but conduit fitting should not be snapped in place.
 1/4" nut driver; Recommended, but not required; 1/4" roll punch tool for cast-in knockout.

WARNING: WST premium backbox is intended for wet location only. Not IP rated or designed for hose-down applications.
 Apply continuous bead of weather-proof caulking between PBBW and wall if using the back cast knock-out entry.
 All remote EM options use the back entry.
 Remove backbox plate by backing out (8) pre-installed 8-32 x 3/8" screws. * Important to keep orange rope-gasket within PBBW gasket channel when removing plate. If gasket becomes dislodged: firmly press back into channel while being careful to avoid stretching gasket out.
 Do not discard screws as they will be used to reinstall plate when backbox is installed on the wall and wiring is complete.



LITHONIA LIGHTING
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 Lithonia Lighting Outdoor
 One Lithonia Way, Conyers, GA 30012
 Phone: 800-279-8041 Fax: 770-918-1209
 www.lithonia.com
 Part Number: IM-405 REV B
 Revision Date: 6-24-16

REVISIONS		
#	DATE	DESCRIPTION
2	10/17/21	MOVED DETAILS FROM DN-1 TO DN-2
1	10/03/21	ADD WALL-PACK DETAIL

DETAIL SHEET

**PROPOSED GLOBAL SELF STORAGE
 PROPERTY OF GLOBAL SELF STORAGE, LLC
 265 WEST HIGH STREET
 EAST HAMPTON, CONNECTICUT**

Robert V. Baltramaitis, P.E.
**27 Tammy Hill Road
 Wallingford, Connecticut 06492
 (203) 915-8301**

DATE: 9/17/2021 SCALE: NTS SHT #: DN-1

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commissioner.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

Date: _____

Expiration Date: _____