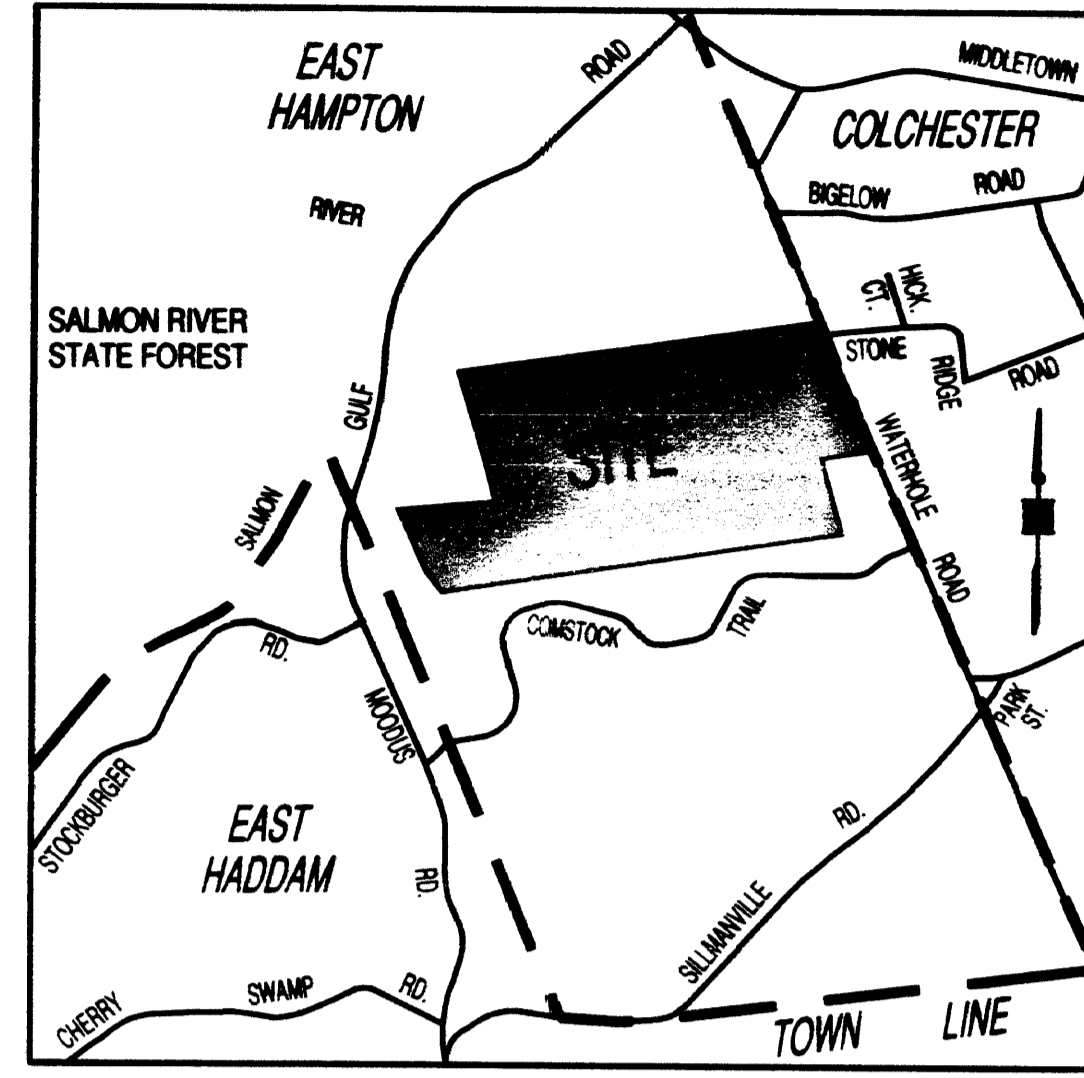


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Page 44

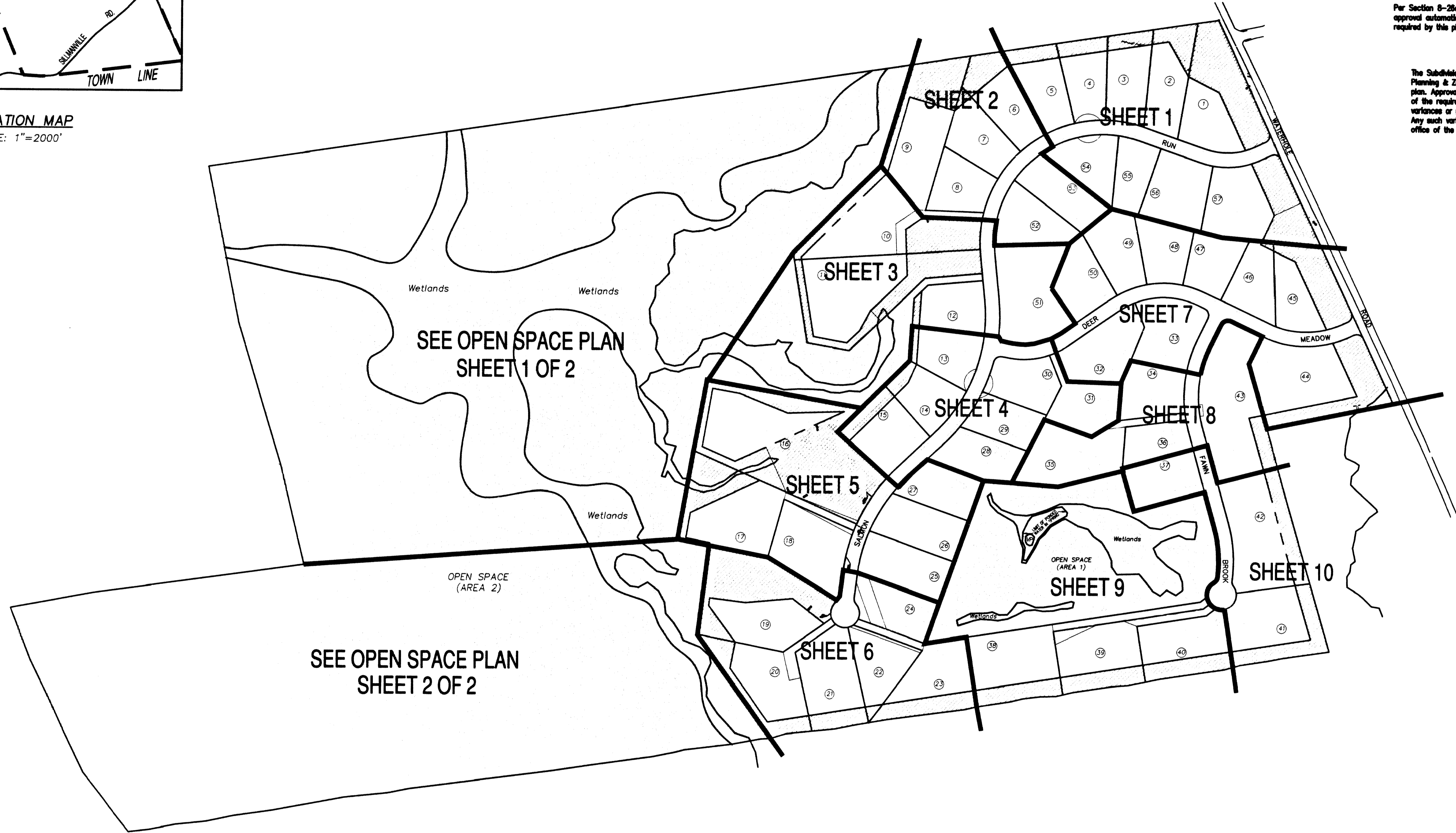
DRAWING NUMBER  
Page 44


DRAWING NUMBER  
Vol. 71

DRAWING NUMBER

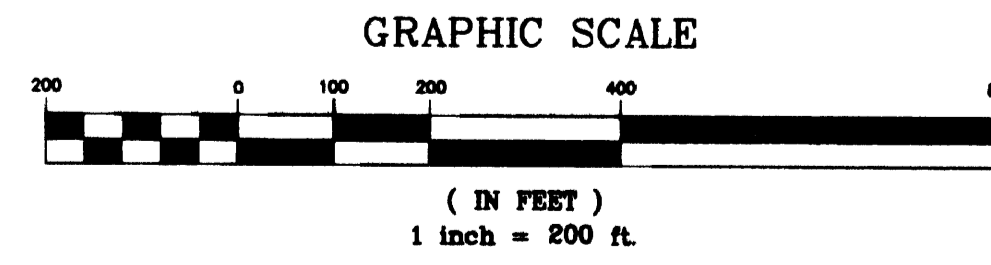


LOCATION MAP  
SCALE: 1"=2000'



PROPOSED OPEN SPACE 

PROPOSED CONSERVATION EASEMENT 



*Received for Record  
7-17-07 10:32 AM*

NOTE: SHEET NUMBERS REFER TO  
SUBDIVISION PLANS AND TOPOGRAPHIC MAPS

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

DESIGNED BY: JOHN L. HEAGLE  
DRAWN BY: JOHN L. HEAGLE  
CHECKED BY: JOHN L. HEAGLE  
DATE: 08/17/06

REV: 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV: 3-25-07 TEMP. CUL-DE-SAC  
REV: 12-27-06 TOWN STAFF COMMENTS

INDEX TO SHEETS  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.  
OK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=200'  
SHEET 1 OF 1  
MAP NO. 117-04-11

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.



Approved by the East Hampton Inland Wetlands Agency  
*[Signature]* DATE: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
Final Approval: *[Signature]*  
Date: 7-10-07 Chairman

Expiration Date: \_\_\_\_\_

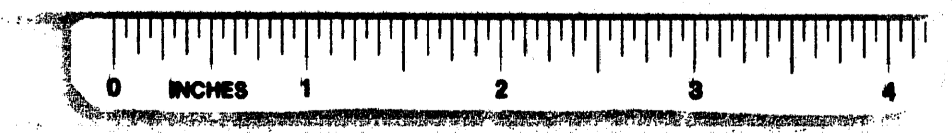
Per Section 8-25c of the Connecticut General Statutes, as amended, approved automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
*[Signature]*  
JOHN L. HEAGLE  
P.E. # 9396

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0687

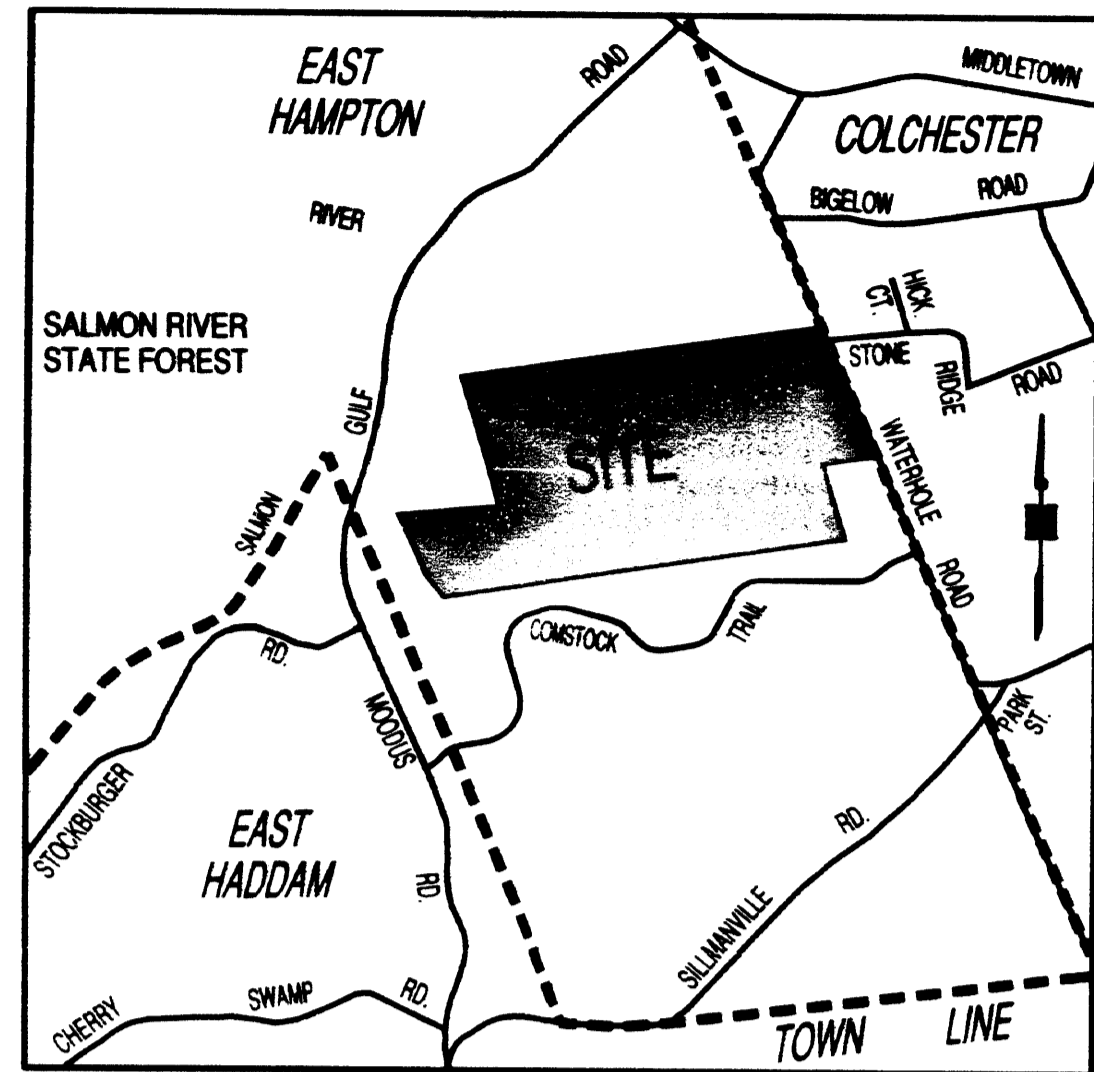


DRAWING NUMBER  
105643

DRAWING NUMBER  
Vol. 71

DRAWING NUMBER  
105643

DRAWING NUMBER  
105643



LOCATION MAP  
SCALE: 1"=2000'

TOTAL PARCEL AREA = 201.038 AC  
 TOTAL LOTS AS SHOWN = 57 LOTS  
 OVERALL DENSITY = 0.28 UNITS/AC

OPEN SPACE AREA = 9.40 AC (AREA 1)  
 107.29 AC (AREA 2)  
 116.69 AC (TOTAL) 58.04% OPEN SPACE

CONSERVATION EASEMENT AREA = 17.58 AC 8.74% CONSERVATION EASEMENT

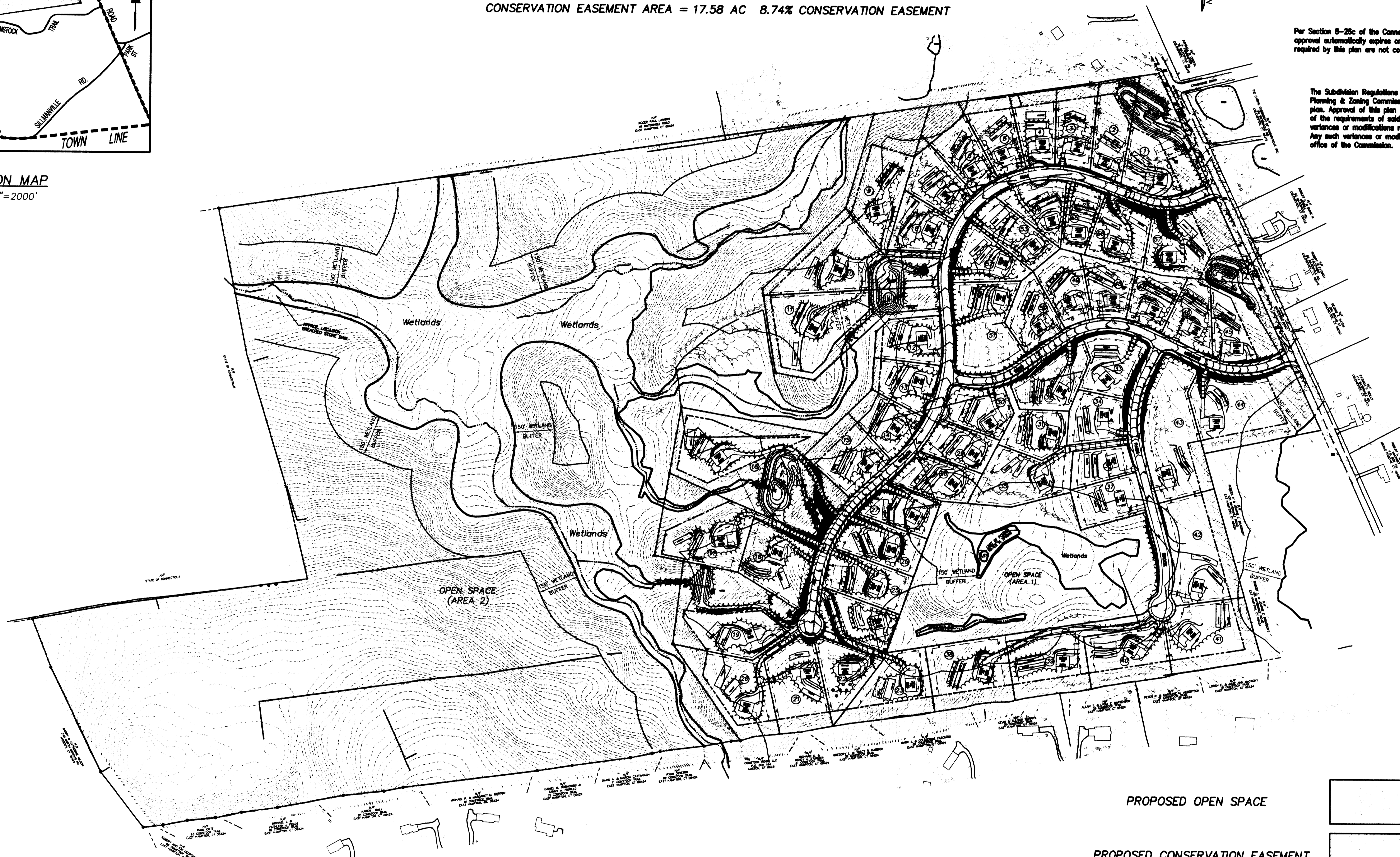
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Approved by the East Hampton Inland Wetlands Agency  
 [Signature] DATE 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature] Chairman  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

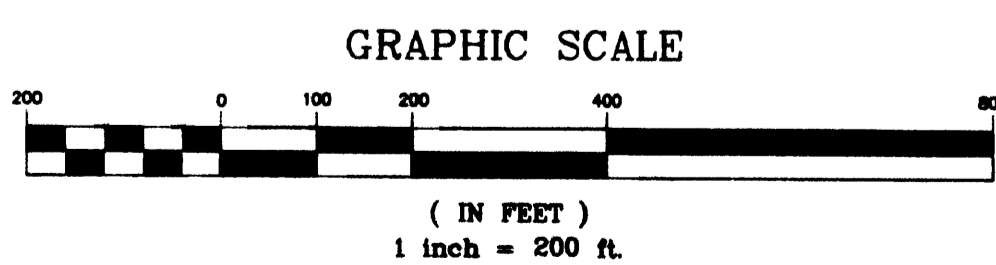
Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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PROPOSED OPEN SPACE

PROPOSED CONSERVATION EASEMENT



*Received for Record  
7-17-07 10:31am*

NOTE:  
 THIS PROPOSAL WILL PRESERVE AT LEAST 15,000 L.F. (2.8 MILES) OF STONE WALL IN AREAS IDENTIFIED AS OPEN SPACE AND CONSERVATION EASEMENT. THIS PROPOSAL WILL ALSO PROTECT A LARGE STONE DAM IN THE NORTH WEST CORNER OF OPEN SPACE AREA 2.

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS PLAN WAS PREPARED BY  
 JOHN L. HEAGLE  
 CIVIL ENGINEER & LAND SURVEYOR  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

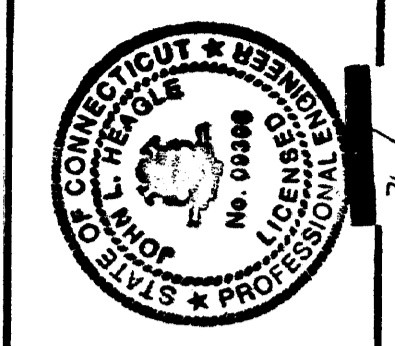
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=200'  
 SHEET 1 OF 1  
 MAP NO. 117-04-10A

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0567

OVERALL PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.



DRAWING NUMBER  
 71  
 SHEET NO. 42  
 PREPARED BY PART NUMBER 0000

DRAWING NUMBER  
 Page 42  
 SHEET NO. 42  
 PREPARED BY PART NUMBER 0000

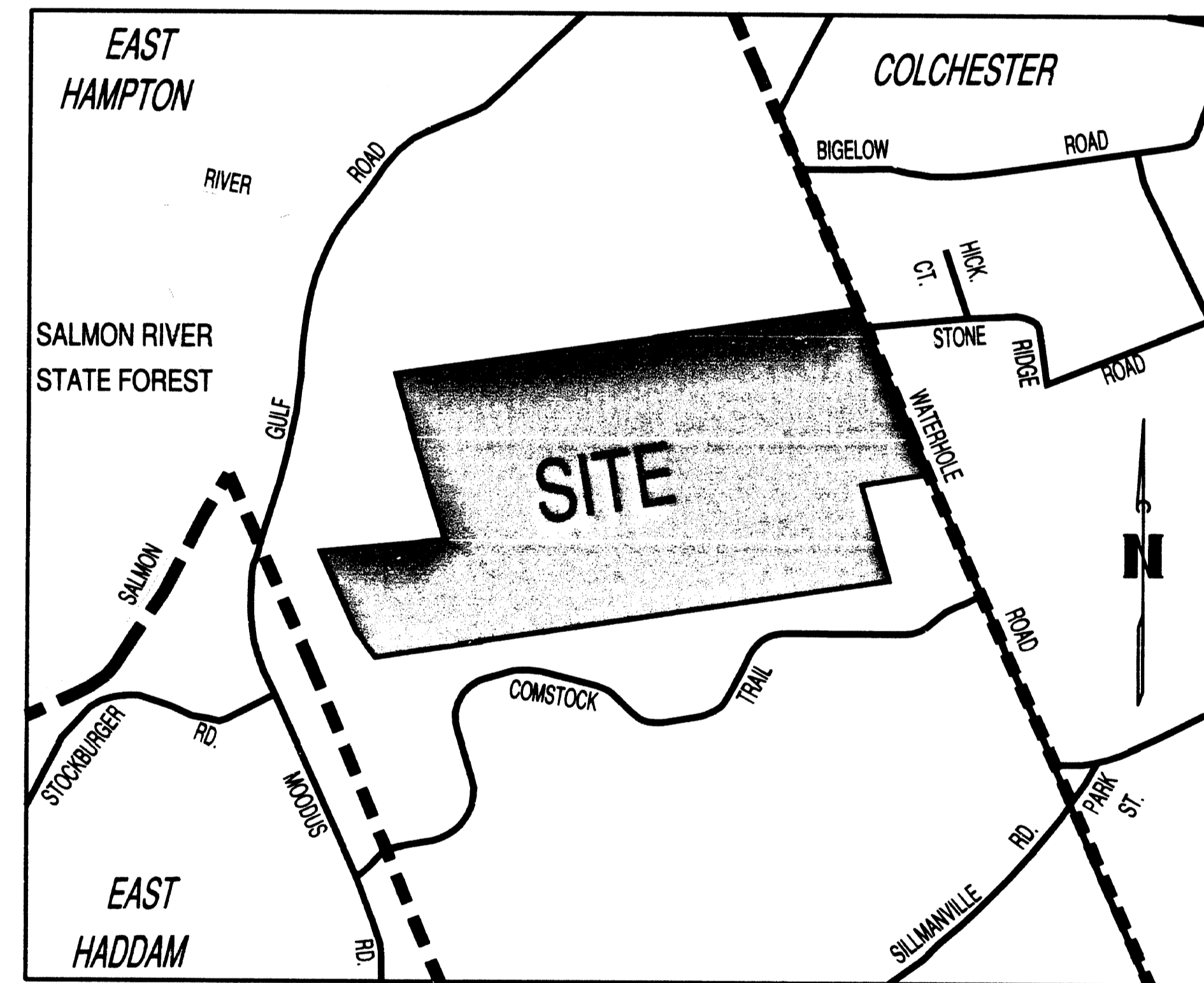
DRAWING NUMBER  
 Vol 71  
 SHEET NO. 42  
 PREPARED BY PART NUMBER 0000

DRAWING NUMBER  
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 PREPARED BY PART NUMBER 0000

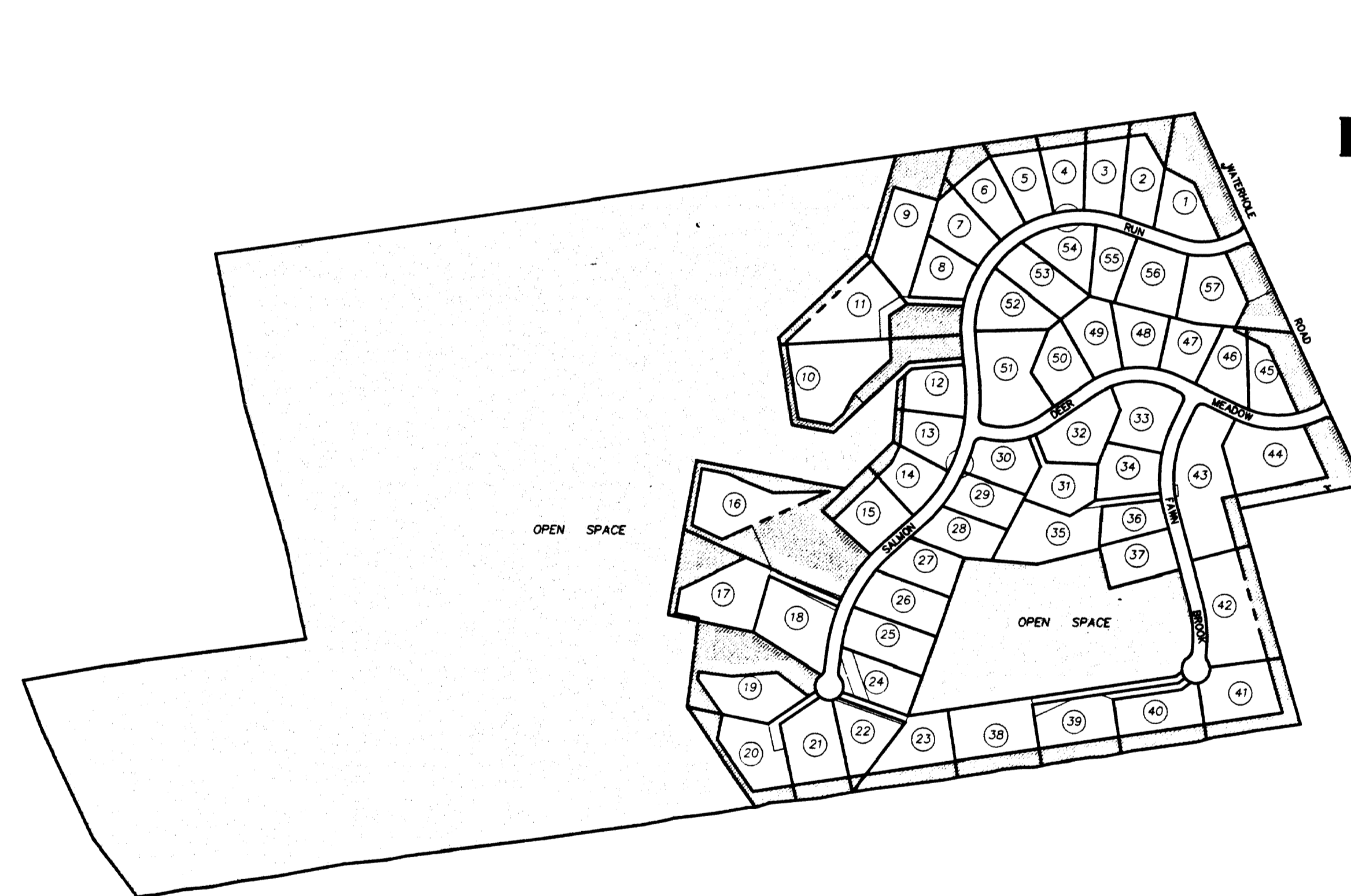
# SALMON RUN ESTATES (CONSERVATION SUBDIVISION) PREPARED FOR RECHOVOS CORPORATION WATERHOLE ROAD EAST HAMPTON, CONN.

SUBMITTED TO:  
 THE TOWN OF EAST HAMPTON  
 PLANNING & ZONING COMMISSION,  
 INLAND WETLANDS AND WATERCOURSES AGENCY,  
 AND CONSERVATION COMMISSION

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.



LOCATION MAP  
 SCALE: 1"=1000'



OVERALL SITE MAP  
 SCALE: 1"=400'

INDEX TO SHEETS	
COVER SHEET	1 SHEET
OVERALL PLAN	1 SHEET
INDEX TO SHEETS	1 SHEET
SUBDIVISION PLAN	10 SHEETS
OPEN SPACE PLAN	2 SHEETS
TOPOGRAPHIC MAP	10 SHEETS
PLAN & PROFILE	11 SHEETS
SIGHT LINE DEMONSTRATION MAP	2 SHEETS
STORM WATER POLLUTION CONTROL PLAN	12 SHEETS
STORM WATER POLLUTION CONTROL NOTES & DETAILS	5 SHEETS
GENERAL NOTES & DETAILS	1 SHEET
INTERSECTION GRADING PLAN	1 SHEET
SOILS DATA	7 SHEETS
CONDITIONS OF APPROVAL	1 SHEET

TOTAL NUMBER OF LOTS: 57  
 TOTAL PARCEL AREA: 8,759,198 S.F. / 201.083 AC.  
 PROPOSED OPEN SPACE: 5,083,017 S.F. / 116.69 AC.  
 PROPOSED CONSERVATION EASEMENT: 765,745 S.F. / 17.58 AC.  
 MAP 35 BLOCK 95 LOT 7  
 ZONE: R4 - RURAL RESIDENTIAL  
 SALMON RIVER PROTECTION AREA

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Inland Wetlands Agency  
 [Signature] 7-3-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature]  
 Chairman

Date: 7-10-07

Expiration Date: \_\_\_\_\_

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

*Received for Record  
 7-17-07 10:30 AM*

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 11 HANLIN ROAD  
 GLASTONBURY, CT 06033

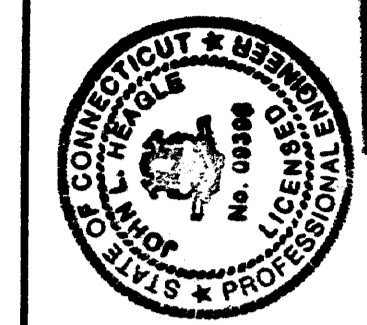
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-12-06 TOWN STAFF COMMENTS  
 MAP NO. 117-04-1CS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-08  
 SCALE: SHOWN  
 SHEET 1 OF 1

COVER SHEET  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0867

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 [Signature]  
 JOHN L. HEAGLE  
 P.E. # 8398



DRAWING NUMBER  
71  
71  
71

DRAWING NUMBER  
46  
46  
46

DRAWING NUMBER  
Vol 71  
71  
71

DRAWING NUMBER  
71  
71  
71

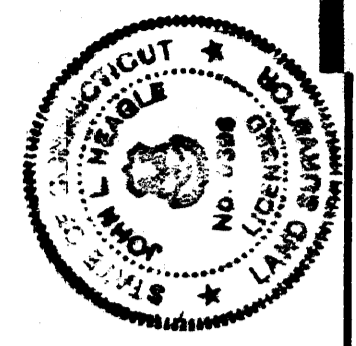
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"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: *Charles P. [Signature]*  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_. If all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE PROVISIONS OF SECTION 8-25 OF THE CONNECTICUT GENERAL STATUTES THROUGH 20-30-2007 AND THE "LAND SURVEYS ACT" OF 1988 AS AMENDED BY THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT LEGISLATURE AND THE "LAND SURVEYS ACT" OF 1988 AS AMENDED BY THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT LEGISLATURE. THIS SURVEY IS CLASSIFIED AS A "SUBDIVISION MAP" UNDER THE TYPE OF SURVEY SUBDIVISION MAPS INC. ON SEPTEMBER 28, 1988. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2  
 JOHN L. HEAGLE  
 L.S. # 0396

GRADING RIGHTS RESERVED ON ALL LOTS TO ALLOW GRADING AS SHOWN ON THE APPROVED TOPOGRAPHIC MAPS FOR CONSTRUCTION OF PROPOSED ROADS, DRAINAGE FACILITIES, AND INDIVIDUAL LOTS.  
 DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN 06033  
 PHONE (860)-689-0887

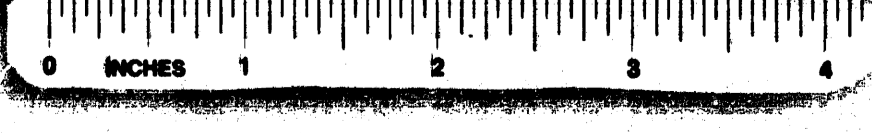
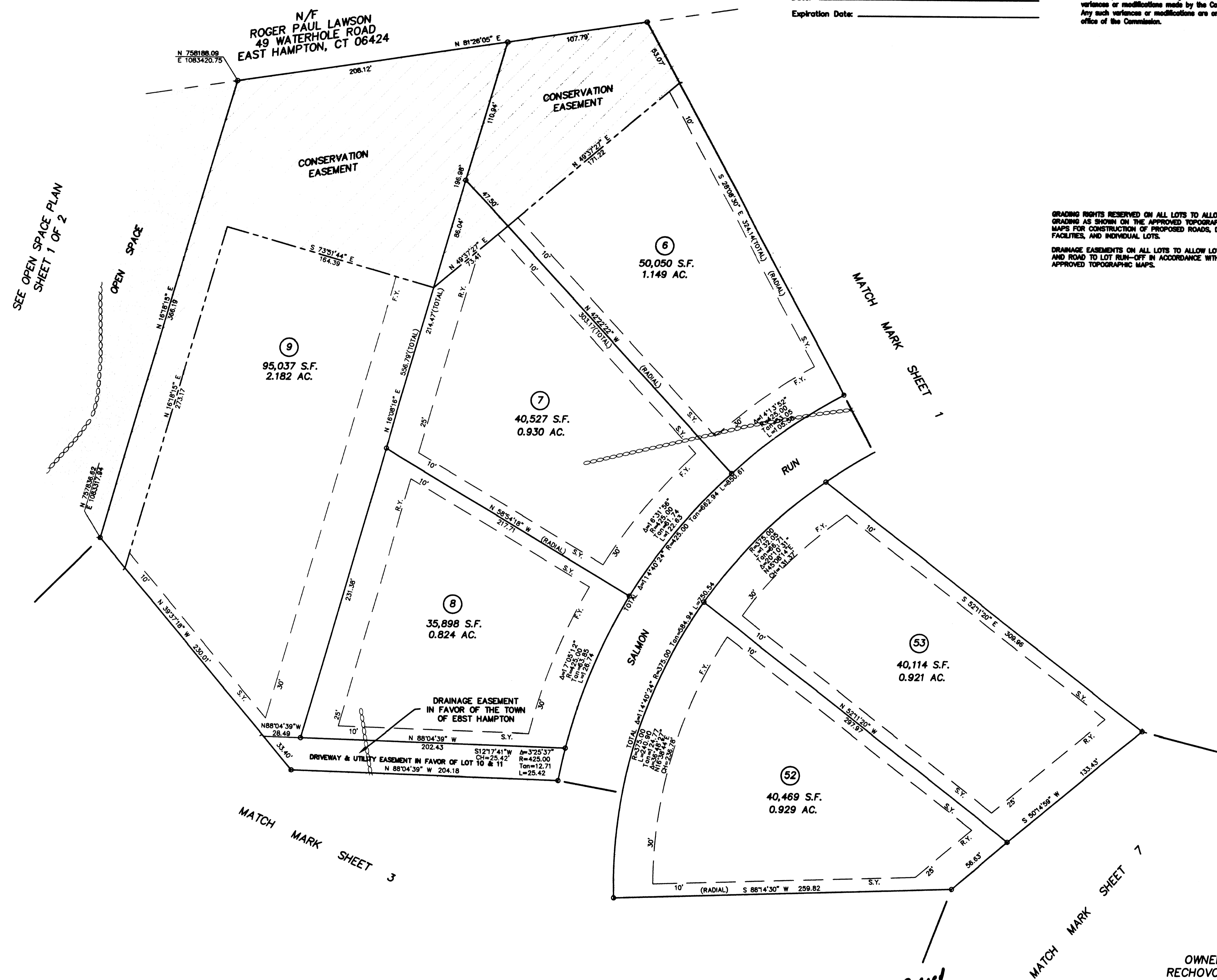
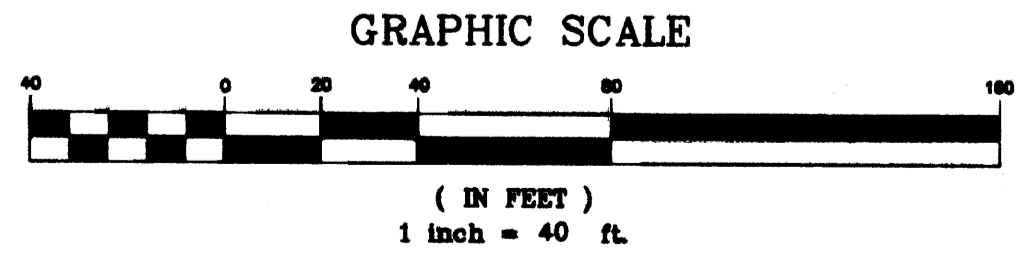
SUBDIVISION PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

REV. 8-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUI-DE-SAC  
 REV. 3-12-07 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 2 OF 10  
 MAP NO. 117-04-1S

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

*Received for Record  
 7-17-07 10:34am*

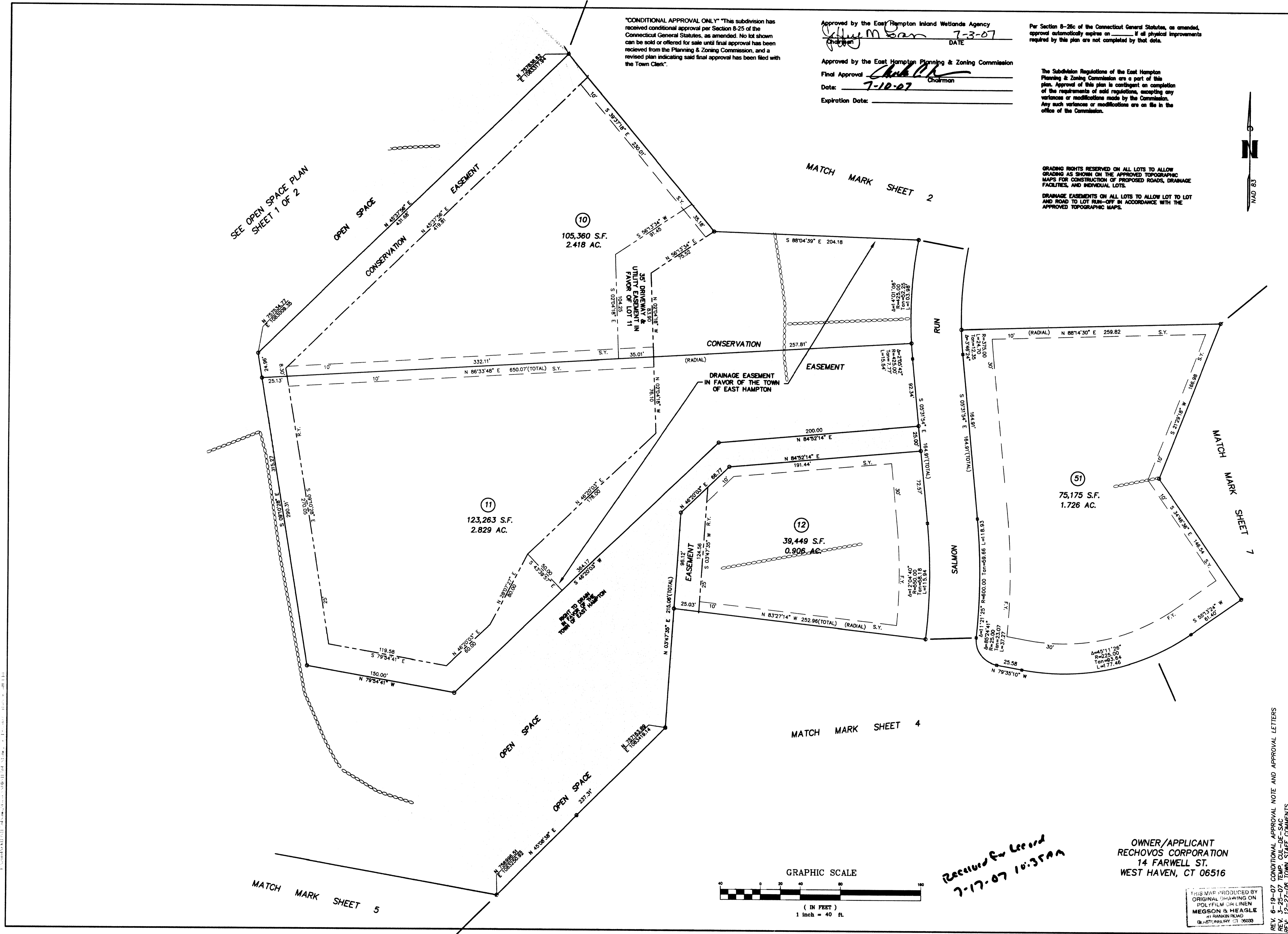


DRAWING NUMBER  
Page 47  
SACD PRODUCTS • NEW HAVEN, CONNECTICUT  
RENDERED BY PART NUMBER 10507

DRAWING NUMBER  
Page 47  
SACD PRODUCTS • NEW HAVEN, CONNECTICUT  
RENDERED BY PART NUMBER 10507

DRAWING NUMBER  
Vol 71  
SACD PRODUCTS • NEW HAVEN, CONNECTICUT  
RENDERED BY PART NUMBER 10507

DRAWING NUMBER  
Vol 71  
SACD PRODUCTS • NEW HAVEN, CONNECTICUT  
RENDERED BY PART NUMBER 10507



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
Chairman: [Signature] DATE: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
Final Approval: [Signature] Chairman  
Date: 7-10-07

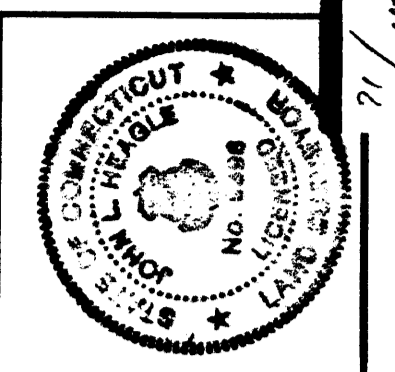
Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

GRADING RIGHTS RESERVED ON ALL LOTS TO ALLOW GRADING AS SHOWN ON THE APPROVED TOPOGRAPHIC MAPS FOR CONSTRUCTION OF PROPOSED ROADS, DRAINAGE FACILITIES, AND INDIVIDUAL LOTS.

DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH THE REGULATIONS OF THE CONNECTICUT STATE AGENCIES SECTION 20-20 THROUGH 20-30b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998. TYPE OF SURVEY: SUBDIVISION MAP CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2  
JOHN L. HEAGLE L.S. # 9396

**MEGSON & HEAGLE**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONNECTICUT 06033  
PHONE (860) 659-0667

**SUBDIVISION PLAN**  
**SALMON RUN ESTATES**  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
**RECHOVOS CORPORATION**  
EAST HAMPTON, CONN.

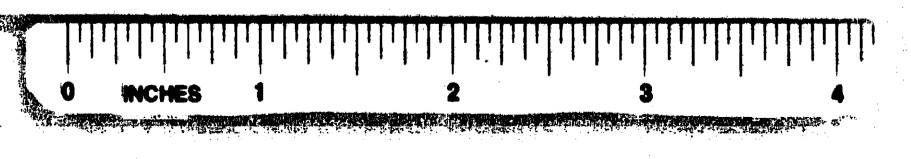
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 5-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS  
MAP NO. 117-04-15

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 3 OF 10

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

Received for Record  
7-17-07 10:35AM

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
**MEGSON & HEAGLE**  
81 RANKIN ROAD  
GLASTONBURY, CT 06033



DRAWING NUMBER  
Page 48  
SACCO PRODUCTS • NEW HOPE, MINNESOTA  
RENDER BY PART NUMBER 6552

DRAWING NUMBER  
Page 48  
SACCO PRODUCTS • NEW HOPE, MINNESOTA  
RENDER BY PART NUMBER 6552

DRAWING NUMBER  
Vol 71  
SACCO PRODUCTS • NEW HOPE, MINNESOTA  
RENDER BY PART NUMBER 6552

DRAWING NUMBER  
Vol 71  
SACCO PRODUCTS • NEW HOPE, MINNESOTA  
RENDER BY PART NUMBER 6552

Approved by the East Hampton Wetlands Agency  
*John L. Heagle* 7-2-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
*John L. Heagle*  
 Date: 7-10-07 Chairman

Expiration Date: \_\_\_\_\_

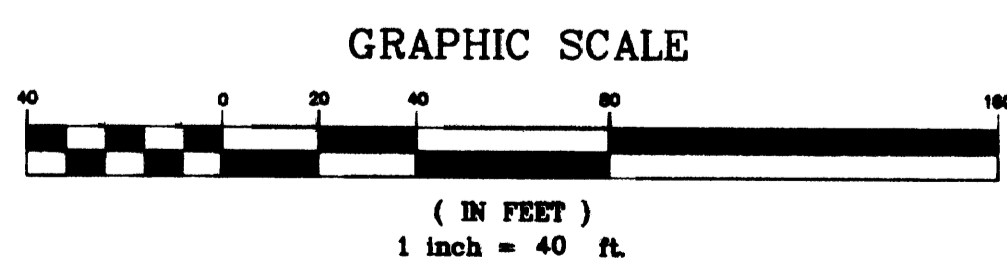
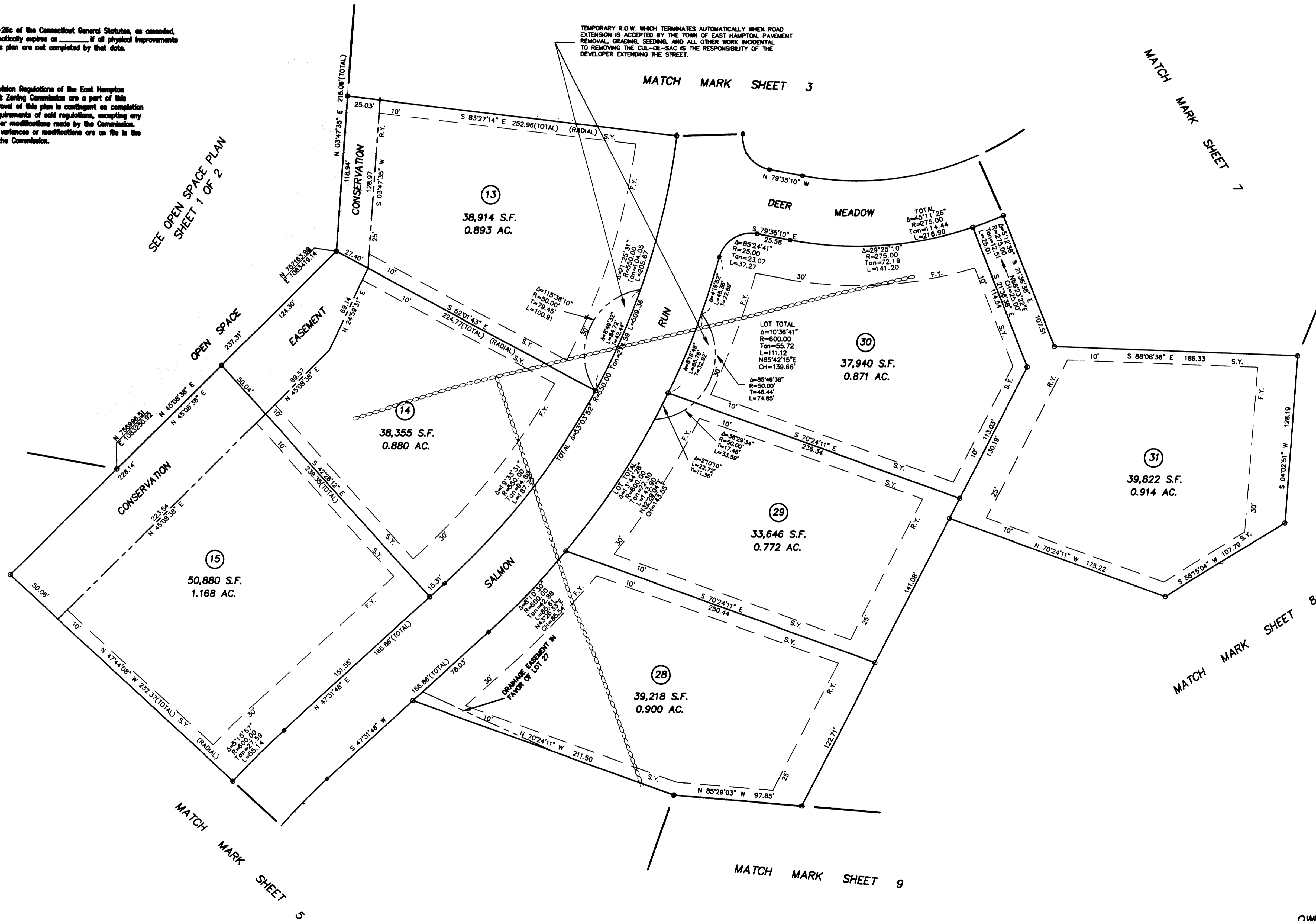
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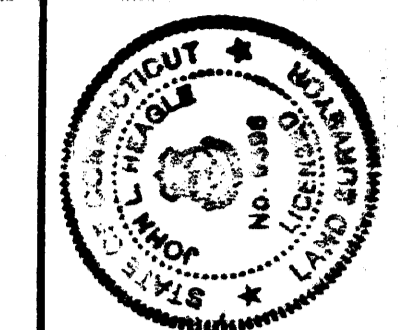
DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.



OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

Received for Record  
 7-17-07 10:36 AM

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 61 RANKIN ROAD  
 GLASTONBURY, CT 06033



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REQUIREMENTS OF THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, AS SET FORTH IN PUBLIC ACT NO. 104A, ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 28, 1984. TYPE OF SURVEY: SUBDIVISION MAP. DATE OF SURVEY: 7/10/07. CLASS OF ACCURACY: RESURVEY - ORIGINAL SURVEY.

JOHN L. HEAGLE  
 L.S. # 1089

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 61 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

SUBDIVISION PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MHW  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 4 OF 10  
 MAP NO. 117-04-15



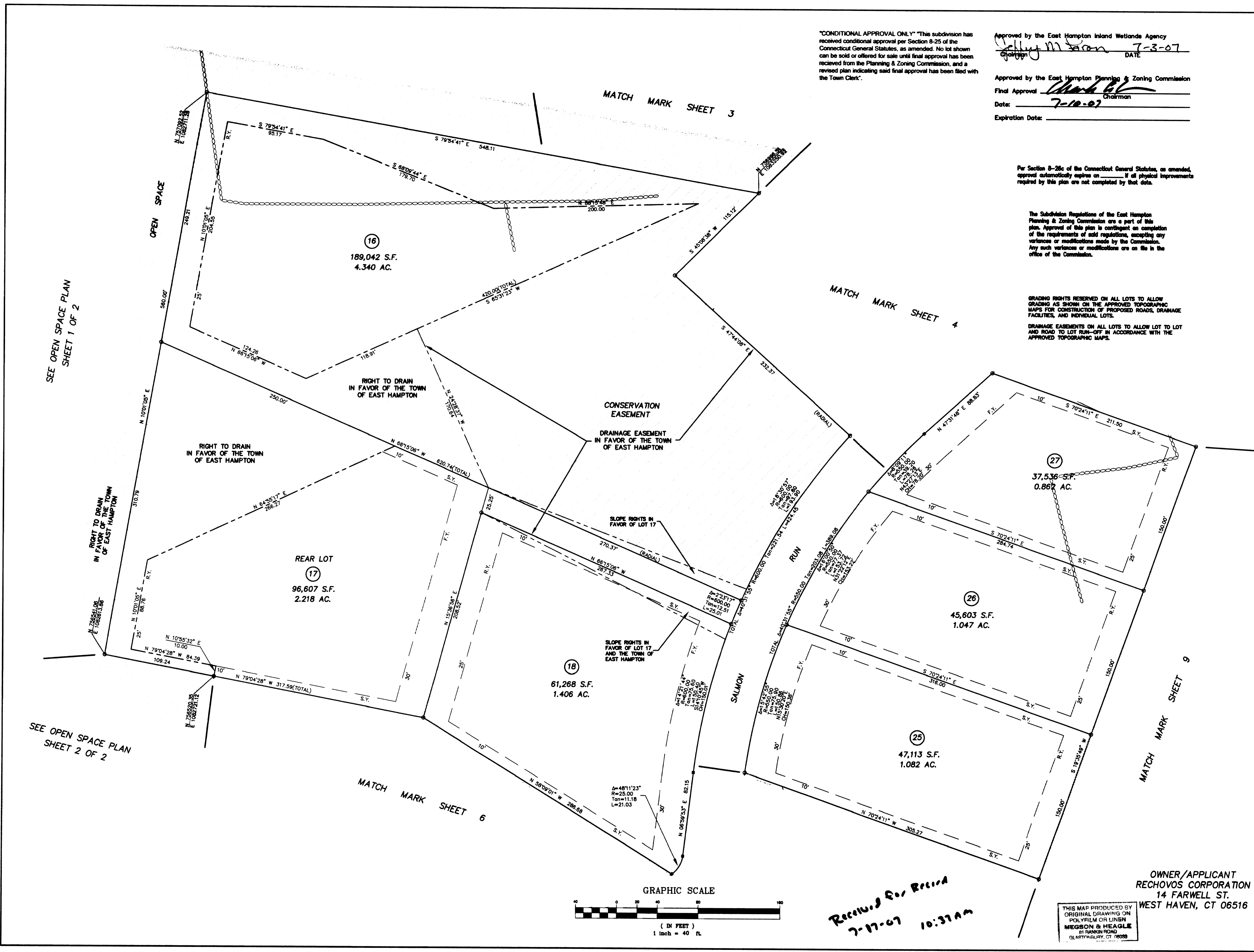
DRAWING NUMBER  
Page 49

DRAWING NUMBER  
Page 49

DRAWING NUMBER  
Vol 71

DRAWING NUMBER

P:\DRAWING\141\141-04-11\141-04-11.DWG 12/17/07 10:31 AM



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning and Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
*John M. ...* DATE 7-3-07  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Mark ...* DATE 7-10-07  
 Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

GRADING RIGHTS RESERVED ON ALL LOTS TO ALLOW GRADING AS SHOWN ON THE APPROVED TOPOGRAPHIC MAPS FOR CONSTRUCTION OF PROPOSED ROADS, DRAINAGE FACILITIES, AND INDIVIDUAL LOTS.

DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF EAST HAMPTON, CONNECTICUT. I AM A MEMBER OF THE ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 28, 1948. MY EXPIRES DATE IS SEPTEMBER 28, 2008. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2  
 JOHN L. HEAGLE  
 L.S. # 8366

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 HANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-669-0687

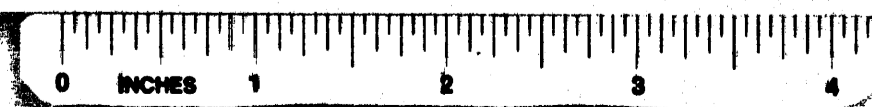
**SUBDIVISION PLAN**  
**SALMON RUN ESTATES**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 12-22-06 TOWN OF EAST HAMPTON COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 5 OF 10  
 MAP NO. 117-04-15

*Received for Record  
 7-17-07 10:31 AM*

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
**MEGSON & HEAGLE**  
 81 HANKIN ROAD  
 GLASTONBURY, CT 06033



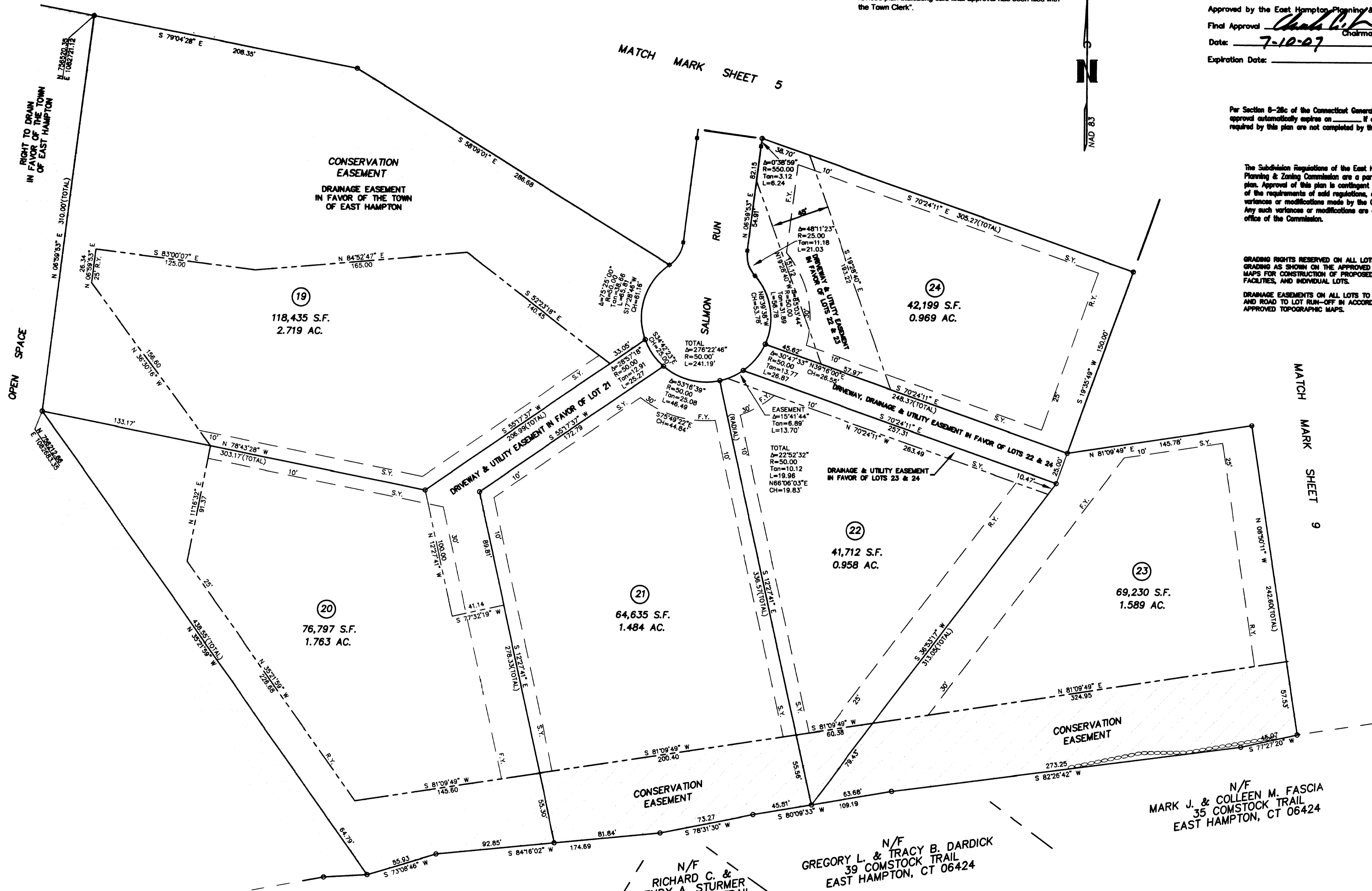
DRAWING NUMBER  
Page 50

DRAWING NUMBER  
Vol. 71

DRAWING NUMBER  
Page 50

DRAWING NUMBER  
Vol. 71

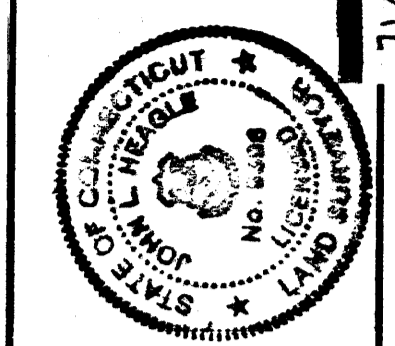
SEE OPEN SPACE PLAN  
SHEET 2 OF 2



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
 Captain John Moran DATE 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval Chad Pitt Chairman  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_



Per Section 8-28c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE THROUGH 20-30B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT SURVEYORS' ASSOCIATION, INC. ON SEPTEMBER 26, 1986. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS # ACCURACY: A-2  
 JOHN L. HEAGLE L.S. # 0398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0657

SUBDIVISION PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

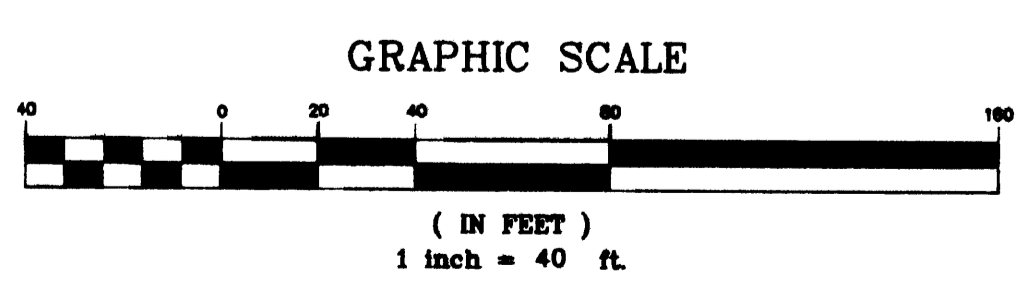
N/F  
 COMSTOCK RIDGE LLC  
 P.O. BOX 194  
 AMSTON, CT 06231

N/F  
 RICHARD C. &  
 WENDY A. STURMER  
 41 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 GREGORY L. & TRACY B. DARDICK  
 39 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 MARK J. & COLLEEN M. FASCIA  
 35 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

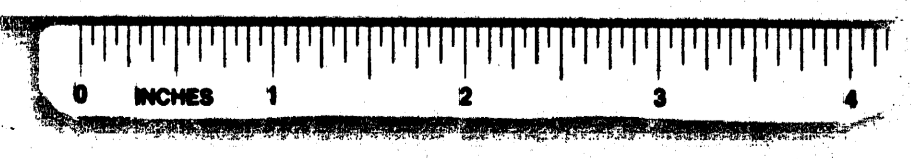


Received For Record  
 7-17-07 10:38 AM

THIS MAP PRODUCED BY ORIGINAL DRAWING ON PLY FILM OR LITHO MEGSON & HEAGLE 23 RANKIN ROAD GLASTONBURY, CT 06033

REV. 8-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 8-25-07 TEMP. CUL-DE-SAC  
 REV. 3-12-07 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 6 OF 10  
 MAP NO. 117-04-1S



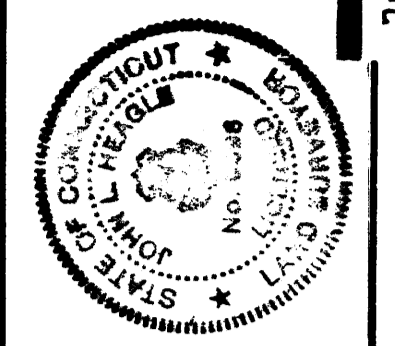
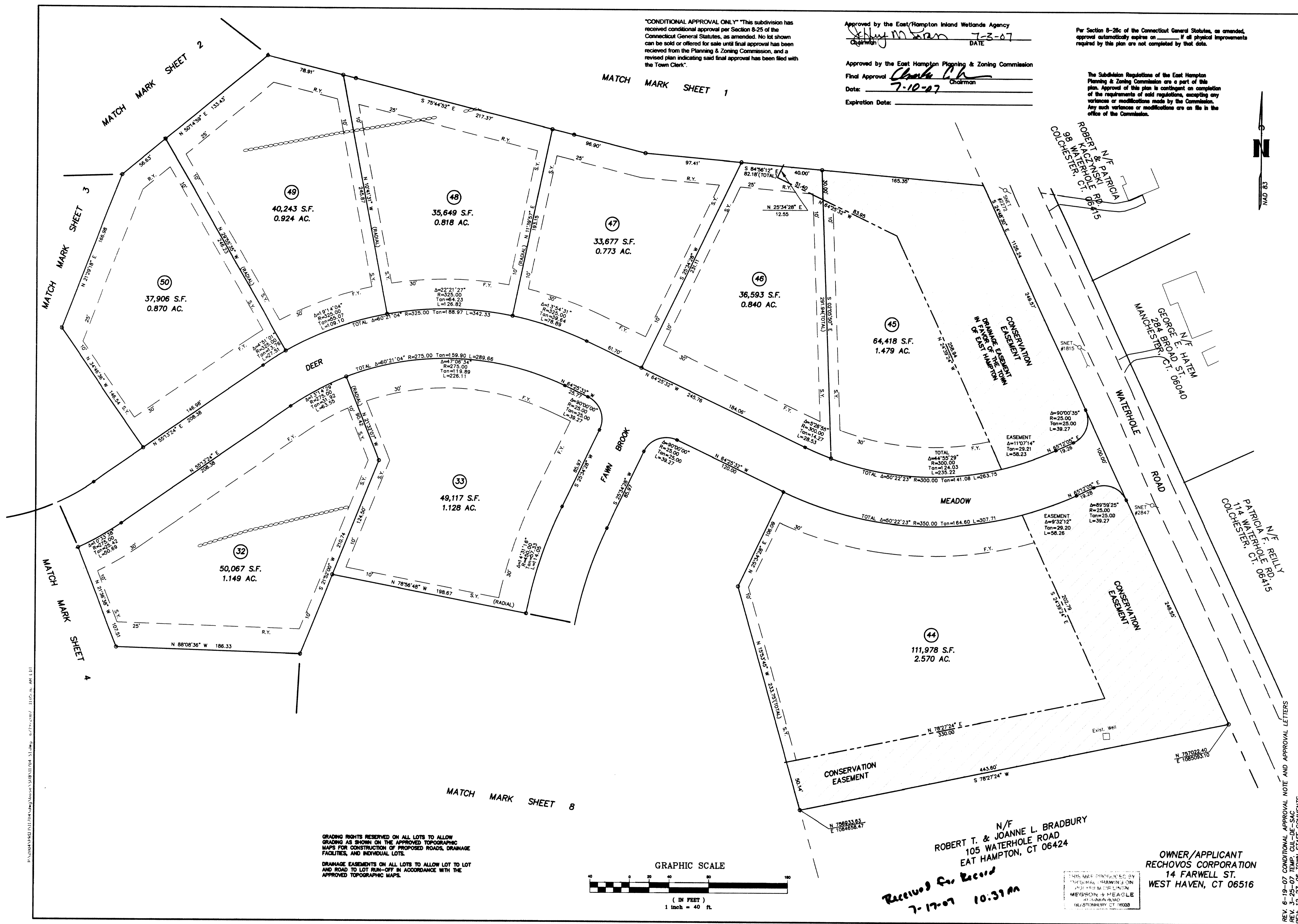


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Page 51

DRAWING NUMBER  
Vol 71

DRAWING NUMBER  
Vol 71

DRAWING NUMBER  
Vol 71

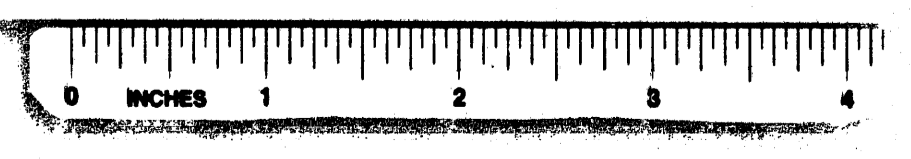


TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT BOARD OF SURVEYING AND MAPPING, INC. ON SEPTEMBER 26, 1996. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2  
JOHN L. HEGALE

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
61 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-658-0687

SUBDIVISION PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

CK. BY:	MWF
DRW. BY:	SAM
DATE:	8-17-06
SCALE:	1"=40'
SHEET	7 OF 10
MAP NO.	117-04-1S



DRAWING NUMBER  
 117-04-1S  
 71  
 52  
 REORDER BY PART NUMBER 0650

DRAWING NUMBER  
 Page 52  
 REORDER BY PART NUMBER 0650

DRAWING NUMBER  
 Vol. 71  
 REORDER BY PART NUMBER 0650

DRAWING NUMBER  
 REORDER BY PART NUMBER 0650

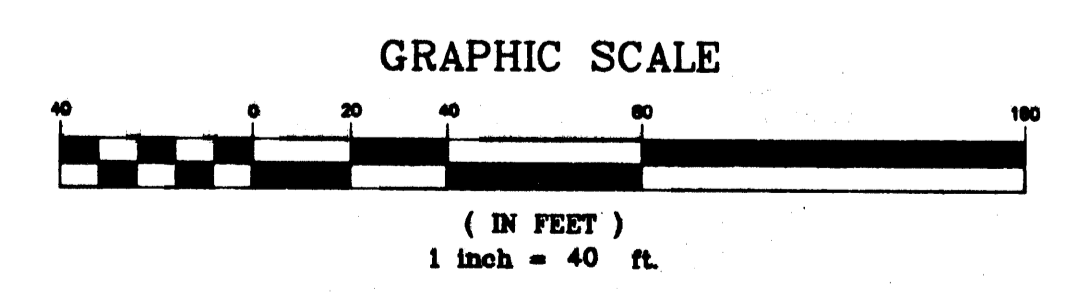
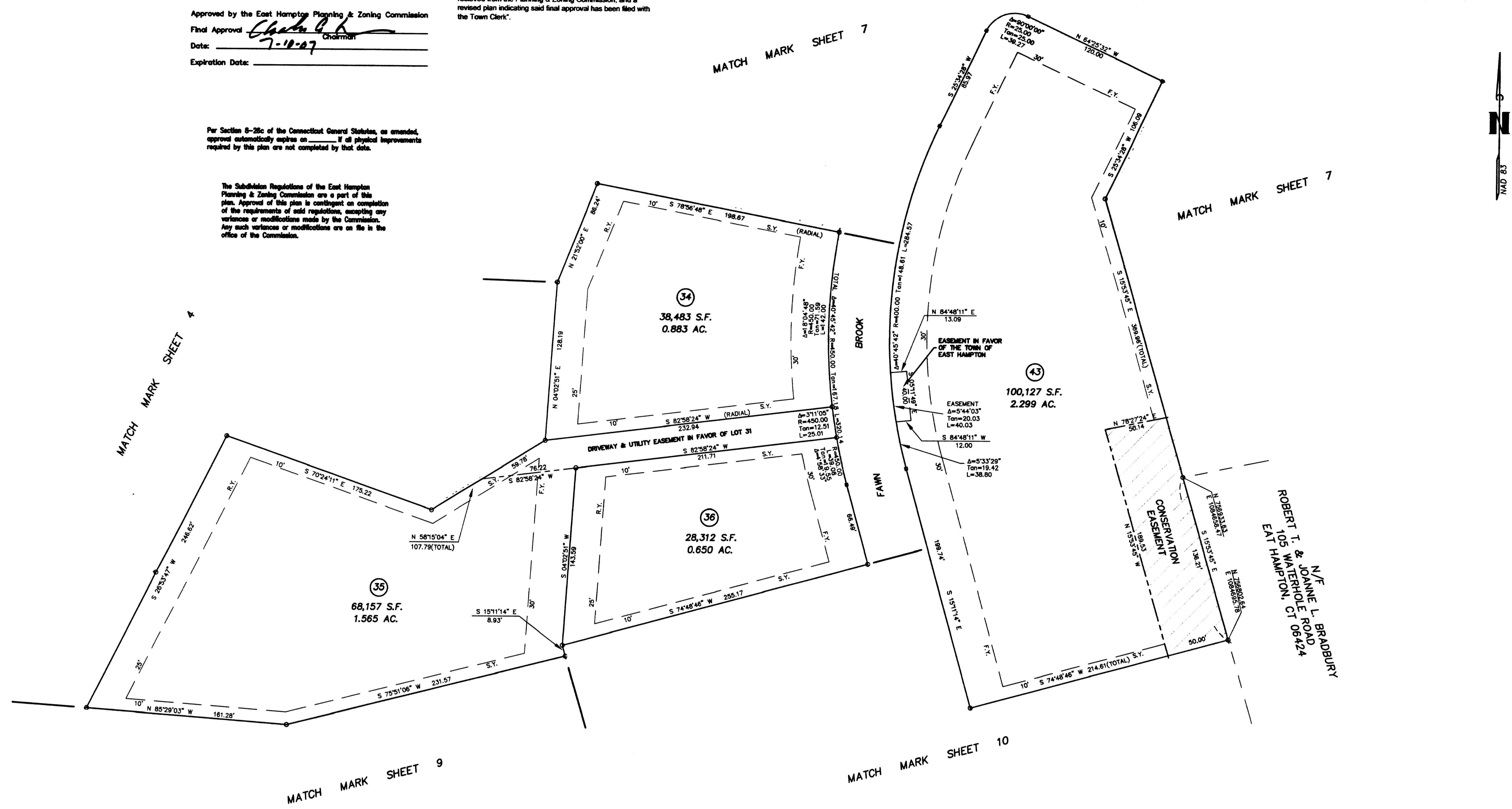
Approved by the East Hampton Inland Wetlands Agency  
*[Signature]*  
 DATE \_\_\_\_\_

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *[Signature]*  
 Date: 7-10-07 Chairman  
 Expiration Date: \_\_\_\_\_

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



GRADING RIGHTS RESERVED ON ALL LOTS TO ALLOW GRADING AS SHOWN ON THE APPROVED TOPOGRAPHIC MAPS FOR CONSTRUCTION OF PROPOSED ROADS, DRAINAGE FACILITIES, AND INDIVIDUAL LOTS.  
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OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

*Received for Record  
 7-17-07 10:40 AM*

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
**MEGSON & HEAGLE**  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

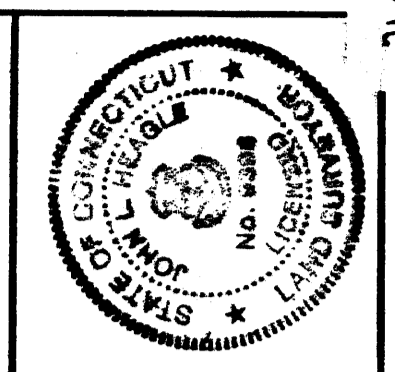
REV. 8-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 8-25-07 TEMP. CUL-DE-SAC  
 REV. 3-12-07 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 8 OF 10  
 MAP NO. 117-04-1S

SUBDIVISION PLAN  
**SALMON RUN ESTATES**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN 06033  
 PHONE (860)-659-0657

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE THROUGH THE COURSE OF THE AGENCES SECTION 20-300b-1 THROUGH 20-300b-5 OF THE CONN. GEN. STAT. AS AMENDED BY THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT LEGISLATURE ON SEPTEMBER 28, 1994. THE TYPE OF SURVEY: SUBDIVISION MAP. INC. ON SEPTEMBER 28, 1994. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2  
 JOHN L. HEAGLE  
 L.S. # 8338

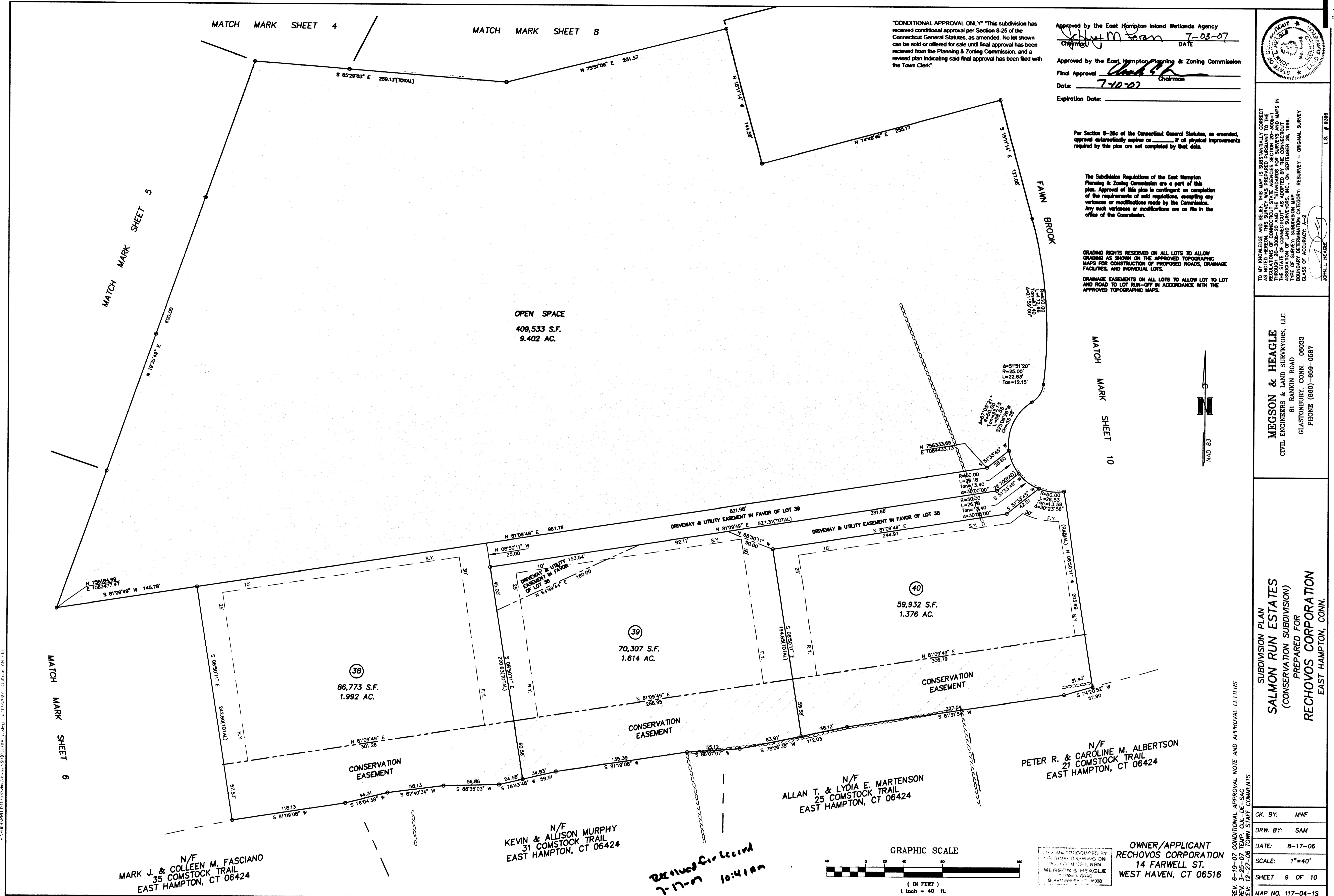


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Page 53

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Page 53

DRAWING NUMBER  
Vol. 71

DRAWING NUMBER



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Wetlands Agency  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: *[Signature]*  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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 DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH THE REGULATIONS OF THE CONNECTICUT STATE ASSOCIATION OF SURVEYORS AND MAPS IN THE SOUTH OF CONN. AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONN. PREPARED BY JOHN L. HEAGLE, LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CONNECTICUT. REGISTRY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2  
 JOHN L. HEAGLE  
 U.S. # 9386

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

SUBDIVISION PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 12-22-06 TOWN COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 9 OF 10  
 MAP NO. 117-04-15

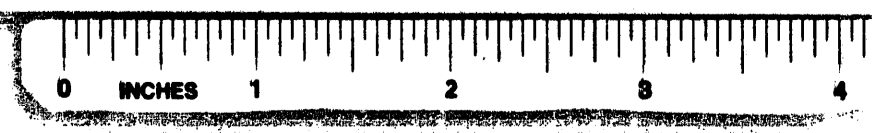
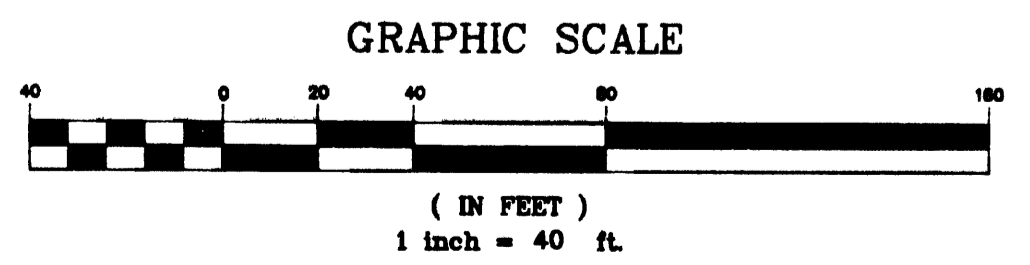
N/F  
 MARK J. & COLLEEN M. FASCIANO  
 35 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 KEVIN & ALLISON MURPHY  
 31 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 ALLAN T. & LYDIA E. MARTENSON  
 25 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 PETER R. & CAROLINE M. ALBERTSON  
 21 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

*Received & recorded  
 7-17-07 10:41 AM*



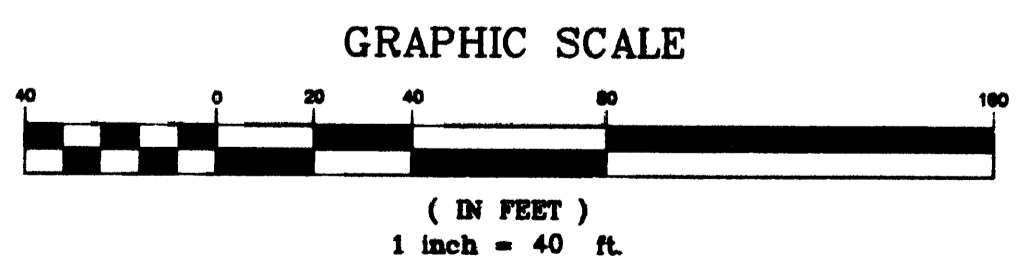
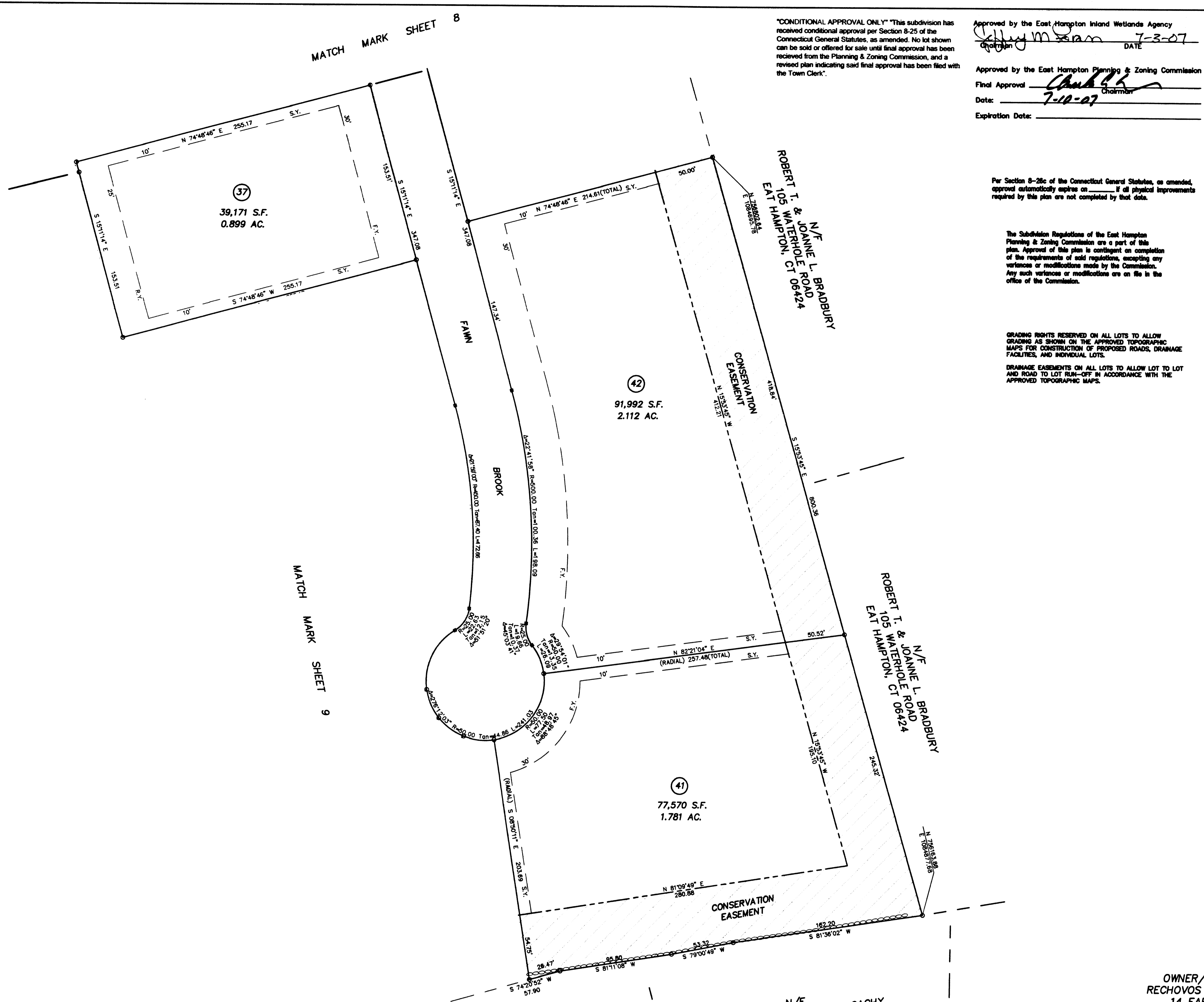
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 Page 54

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 Page 54

DRAWING NUMBER  
 Vol 71

DRAWING NUMBER  
 Vol 71

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N/F  
 PETER R. & CAROLINE M. ALBERTSON  
 21 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 LOREN E. & JULIE ANN MCCAGHY  
 15 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

Received for Record  
 7-17-07 10:42 AM

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
 Chairman *John M. Moran* DATE 7-3-07

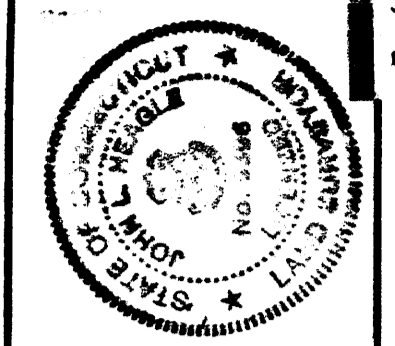
Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *John M. Moran* Chairman  
 Date: 7-10-07  
 Expiration Date:

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REQUIREMENTS OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED THROUGH 20-300-20 AND THE STANDARDS FOR SURVEYING AND MAPPING IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT LEGISLATURE IN PUBLIC ACT 05-200-001, AS AMENDED BY PUBLIC ACT 06-200-001. TYPE OF SURVEY: SUBDIVISION MAP. INC. ON SEPTEMBER 28, 1998. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ADJUSTMENT: 1-2

JOHN L. HEAGLE

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

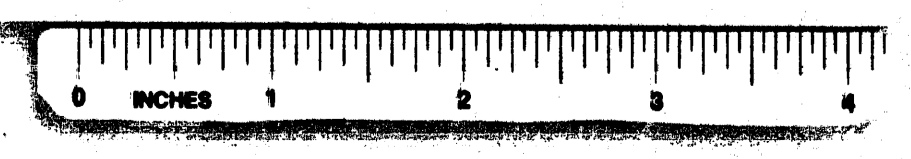
SUBDIVISION PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 10 OF 10  
 MAP NO. 117-04-15

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516



DRAWING NUMBER  
71  
Page 45

DRAWING NUMBER  
Page 45

DRAWING NUMBER  
Vol 71

DRAWING NUMBER

Approved by the East Hampton Inland Wetlands Agency  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: *Chab L. K.*  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approved automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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THIS PROJECT IS LOCATED WITHIN AN R4 ZONE ABUTTING PROPERTIES ZONED RURAL RESIDENCE AND RESERVED LAND (R4 & RL)

**CONSERVATION SUBDIVISION BULK REQUIREMENTS:**

MINIMUM LOT AREA:	N/A	MINIMUM FRONT YARD:	30'
MINIMUM LOT WIDTH:	N/A	MINIMUM SIDE YARD:	10'
MINIMUM LOT DEPTH:	N/A	MINIMUM REAR YARD:	25'
MINIMUM LOT FRONTAGE:	N/A	MAXIMUM BUILDING HEIGHT:	30'
MAXIMUM LOT COVERAGE:	20%		

**OPEN SPACE CALCULATIONS:**

TOTAL PARCEL AREA:	201.08 AC. = 8,758,198 S.F.
WETLAND ACREAGE:	179.52 AC.
WETLAND ACREAGE:	21.52 AC.
OPEN SPACE REQUIRED:	80.41 AC. (40% OF TOTAL PARCEL)
OPEN SPACE PROVIDED:	116.69 AC. (58% OF TOTAL PARCEL)

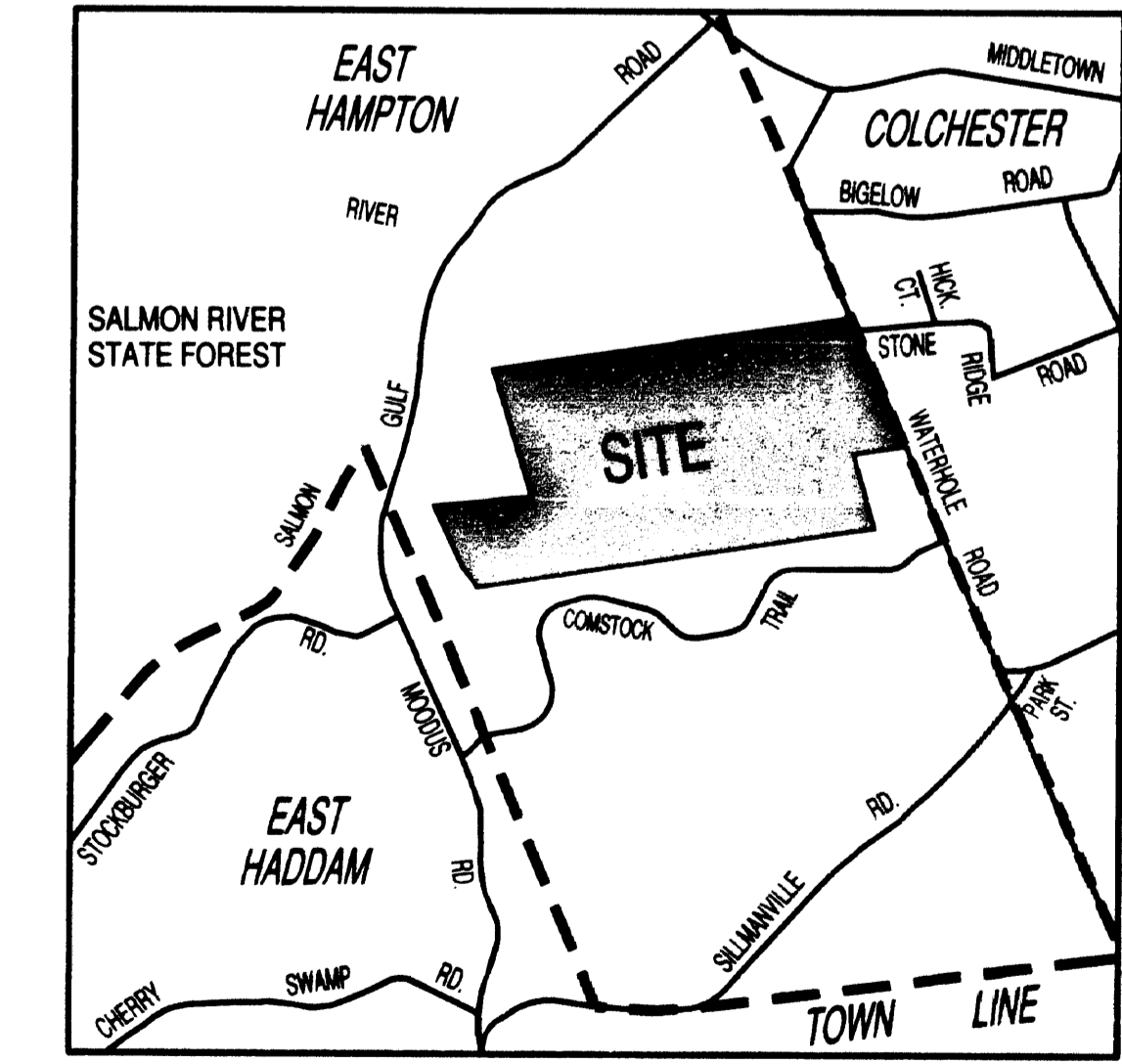
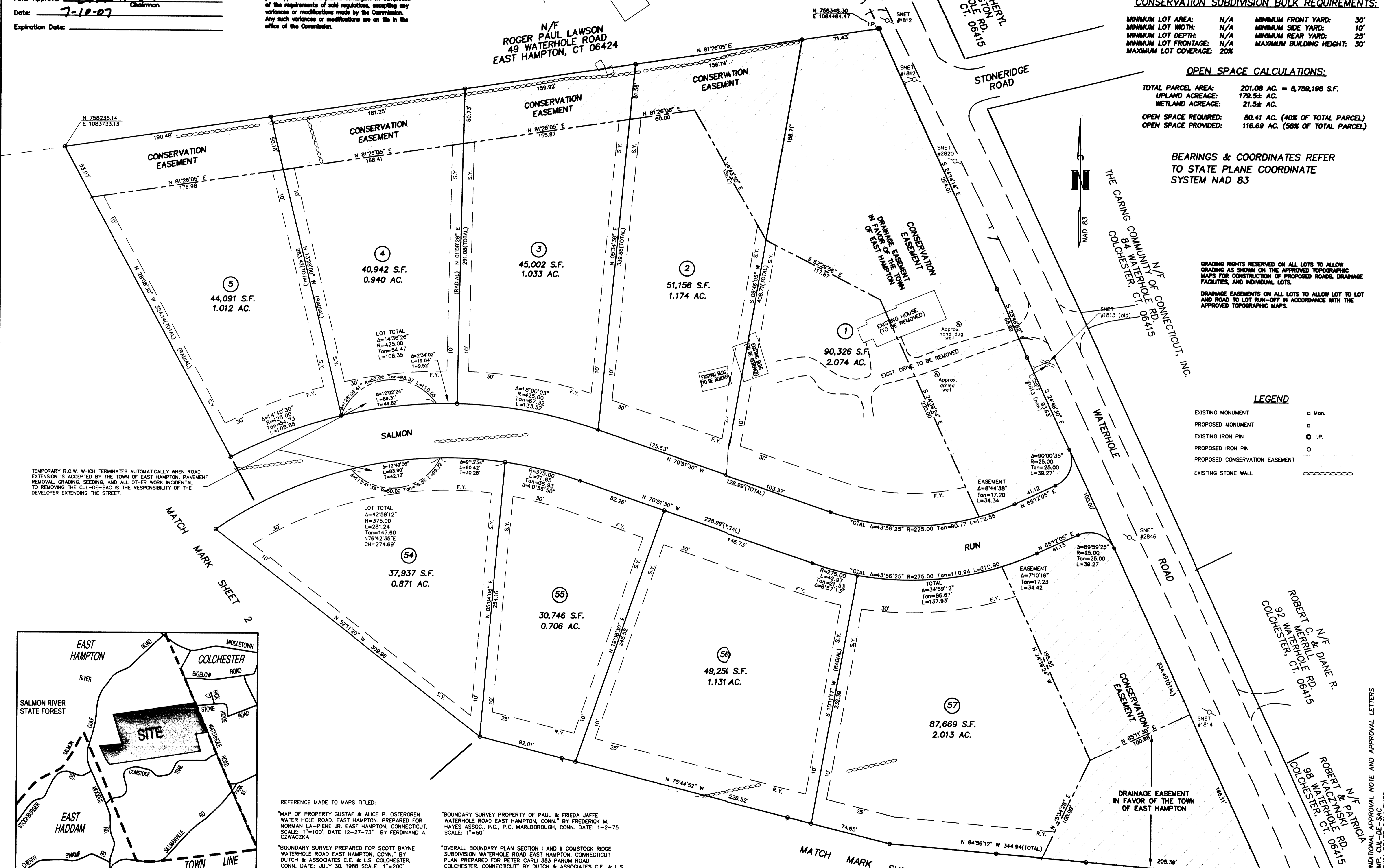
BEARINGS & COORDINATES REFER TO STATE PLANE COORDINATE SYSTEM NAD 83

GRADING RIGHTS RESERVED ON ALL LOTS TO ALLOW GRADING AS SHOWN ON THE APPROVED TOPOGRAPHIC MAPS FOR CONSTRUCTION OF PROPOSED ROADS, DRAINAGE FACILITIES, AND INDIVIDUAL LOTS.

DRAINAGE EASEMENTS ON ALL LOTS TO ALLOW LOT TO LOT AND ROAD TO LOT RUN-OFF IN ACCORDANCE WITH THE APPROVED TOPOGRAPHIC MAPS.

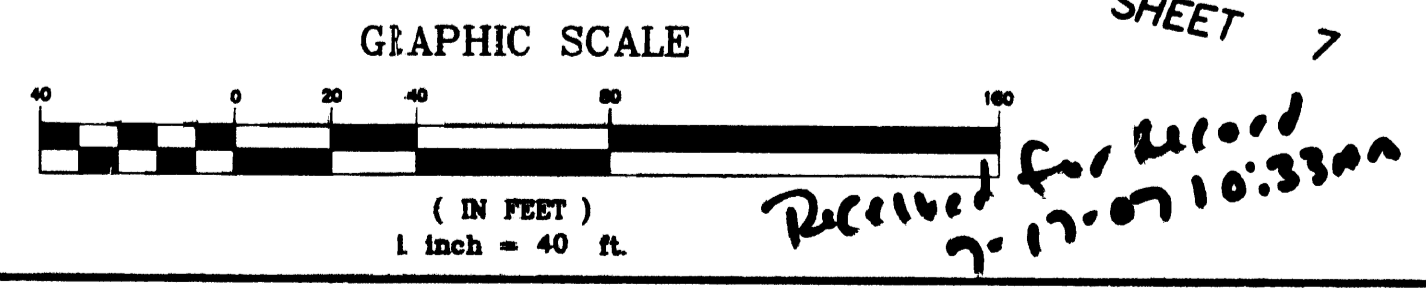
**LEGEND**

- EXISTING MONUMENT  Mon.
- PROPOSED MONUMENT  P.M.
- EXISTING IRON PIN  I.P.
- PROPOSED IRON PIN  P.I.P.
- PROPOSED CONSERVATION EASEMENT  C.E.
- EXISTING STONE WALL  S.W.



REFERENCE MADE TO MAPS TITLED:

- "MAP OF PROPERTY GUSTAF & ALICE P. OSTERGREN WATER HOLE ROAD, EAST HAMPTON, CONN." BY FREDERICK M. HAYES ASSOC., INC. P.C. MARLBOROUGH, CONN. DATE: 1-2-75 SCALE: 1"=50'
- "BOUNDARY SURVEY PROPERTY OF PAUL & FRIEDA JAFFE WATERHOLE ROAD EAST HAMPTON, CONN." BY FREDERICK M. HAYES ASSOC., INC. P.C. MARLBOROUGH, CONN. DATE: 1-2-75 SCALE: 1"=50'
- "OVERALL BOUNDARY PLAN SECTION I AND II CONSTOCK RIDGE SUBDIVISION WATERHOLE ROAD EAST HAMPTON, CONNECTICUT PLAN PREPARED FOR PETER CARLI 353 PARUM ROAD COLCHESTER, CONNECTICUT" BY DUTCH & ASSOCIATES C.E. & L.S. COLCHESTER, CONN. DATE: 3-24-99 SCALE: 1"=100' JOB NO. 97-207100L1A
- "SECTION I SUBDIVISION PLAN OF LA PIENE ESTATES PREPARED FOR NORMAN A. LAPIENE & ARLINE M. LAPIENE EAST HAMPTON, CONN." BY FERDINAND A. CZWACZKA DATE: 1-6-75 REV. 3-4-75 SCALE: 1"=40'

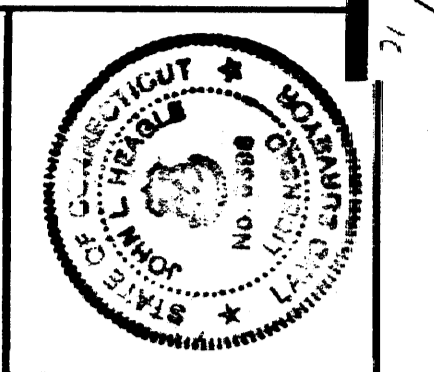


OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY  
**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 BANKIN ROAD  
 GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

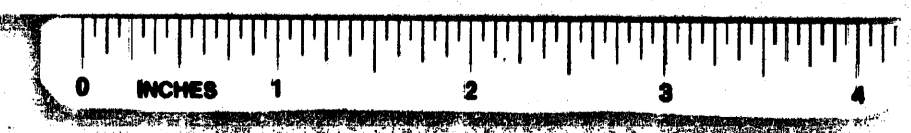
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 1 OF 10  
 MAP NO. 117-04-15



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REQUIREMENTS OF THE CONSTITUTION AND STATUTES OF THE STATE OF CONNECTICUT AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT LEGISLATURE AND THE BOARD OF SURVEYING AND MAPPING. TYPE OF SURVEY: SUBDIVISION MAP. DATE: SEPTEMBER 28, 1996. BOUNDARY DETERMINATION CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: 1-A  
 JOHN L. HEAGLE, L.S. # 8396

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 BANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

SUBDIVISION PLAN  
**SALMON RUN ESTATES**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.



DRAWING NUMBER  
 139-55

DRAWING NUMBER  
 Vol 1

DRAWING NUMBER  
 Vol 71

DRAWING NUMBER  
 Vol 71

CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 1 & 57 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

LOTS 3, 4, AND 5 SHALL UTILIZE ROOF DRAIN DRYWELLS TO PROMOTE ONSITE INFILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL NOTES AND DETAILS SHEET 1 OF 1 FOR A ROOF DRAIN DRYWELL DETAIL AND SAMPLE DESIGN CALCULATIONS. THE DIVERSION OF DRYWELL RUNOFF INTO RAIN GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE CONSIDERED TO LIMIT CONCENTRATED RUNOFF AND PROVIDE INFILTRATION.

REFER TO INVASIVE SPECIES MANAGEMENT NARRATIVE PROVIDED BY LAND-TECH CONSULTANTS, INC. REGARDING THE CONSERVATION EASEMENT ADJACENT TO WATERHOLE ROAD.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

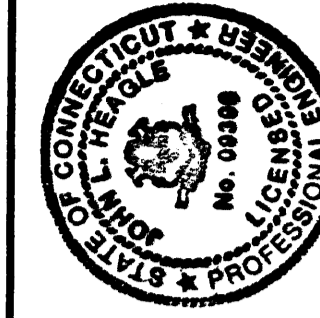
THE RESERVE SEPTIC SYSTEM AREA ON LOT 4 LIES WITHIN 70 FEET OF A PROPERTY TO THE NORTH. IT HAS BEEN FIELD VERIFIED THAT NO WELLS EXIST ON THE ADJACENT PROPERTY WITHIN 5 FEET OF THE PROPERTY LINE.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

N/E  
 ROGER PAUL LAWSON  
 49 WATERHOLE ROAD  
 EAST HAMPTON, CT 06424

Approved by the East Hampton Inland Wetlands Agency  
 Date: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature]  
 Date: 7-10-07  
 Expiration Date:



Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: ELEVATIONS SHOWN REFER TO NAVD 88 AND ARE BASED ON AERIAL PHOTOGRAPHY AND AN ACTUAL FIELD SURVEY.

ELEVATION CLASS OF ACCURACY: T-3

NOTE: THIS PROJECT SITE DOES NOT CONTAIN LAND IDENTIFIED ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 060004 0010 B DATED OCTOBER 16, 1978, AS BEING WITHIN THE 100 OR 500 YEAR FLOOD BOUNDARY.

NOTE: THIS PROJECT SITE LIES ENTIRELY WITHIN THE SALMON RIVER PROTECTION AREA.

NOTE: EXISTING SEPTIC SYSTEM(S) AND WELLS(S) ON LOTS 1 & 2 TO BE ABANDONED IN ACCORDANCE WITH THE PUBLIC HEALTH CODE.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BIGELOW ROAD.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

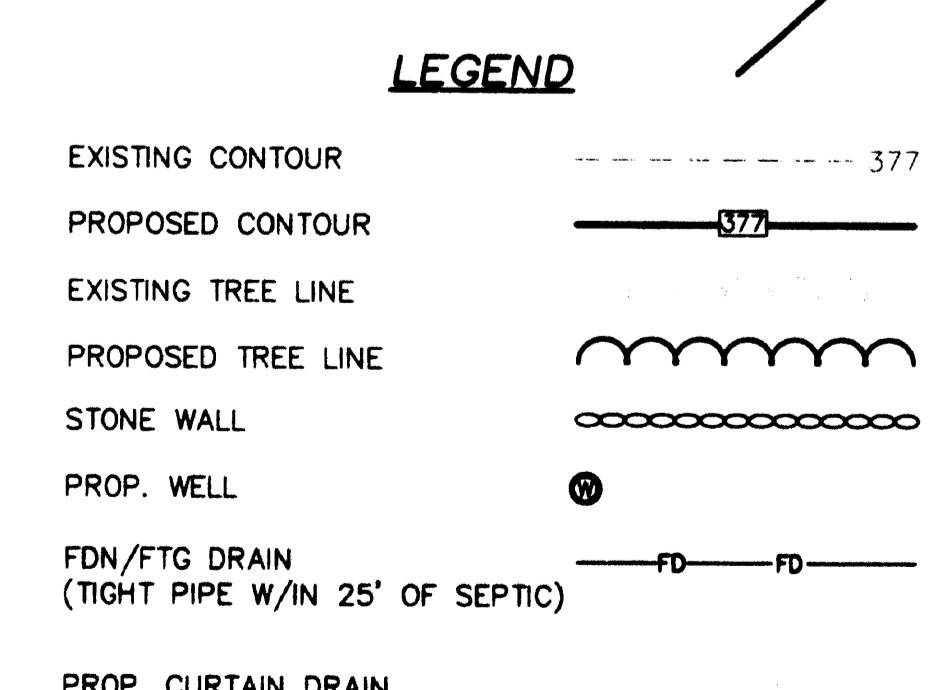
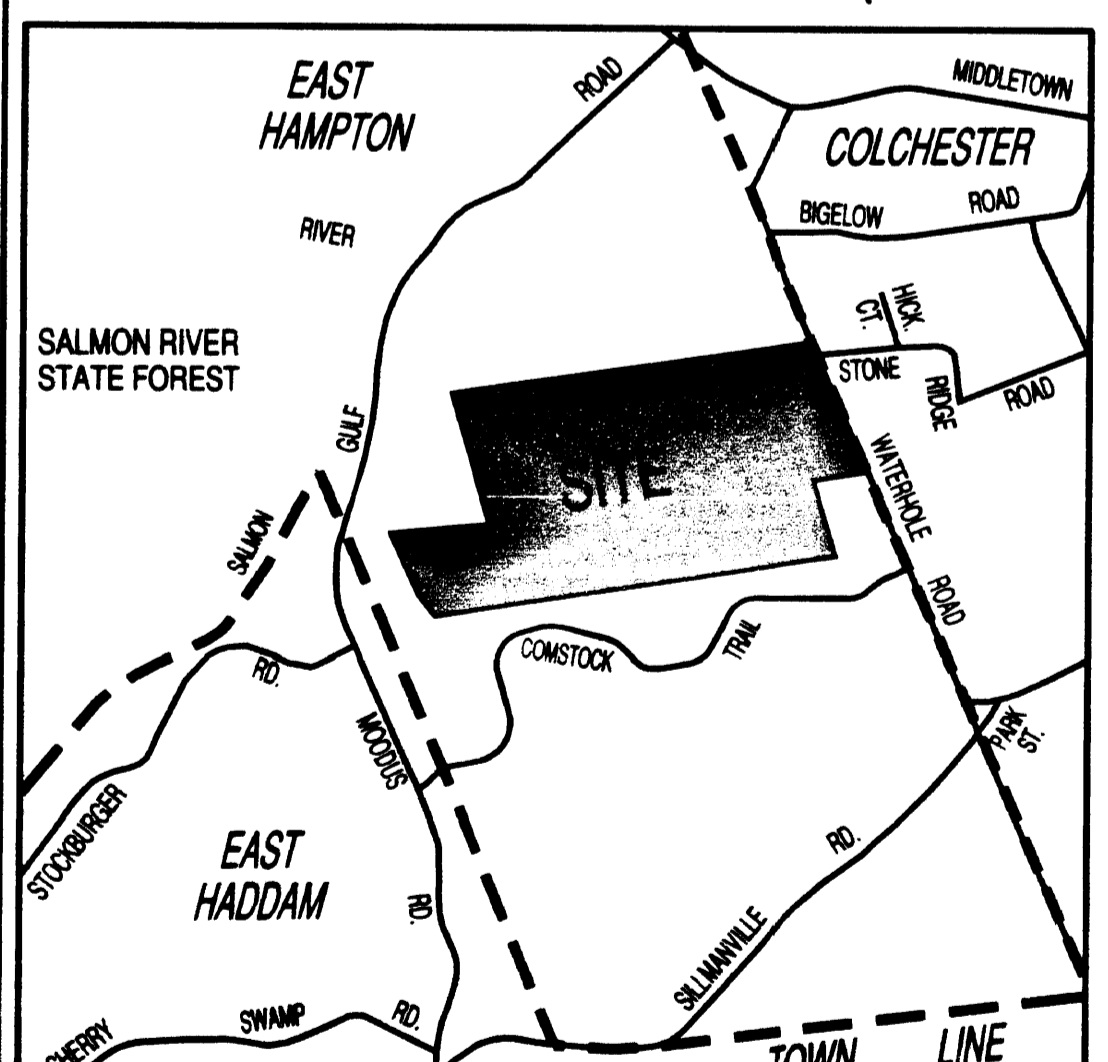
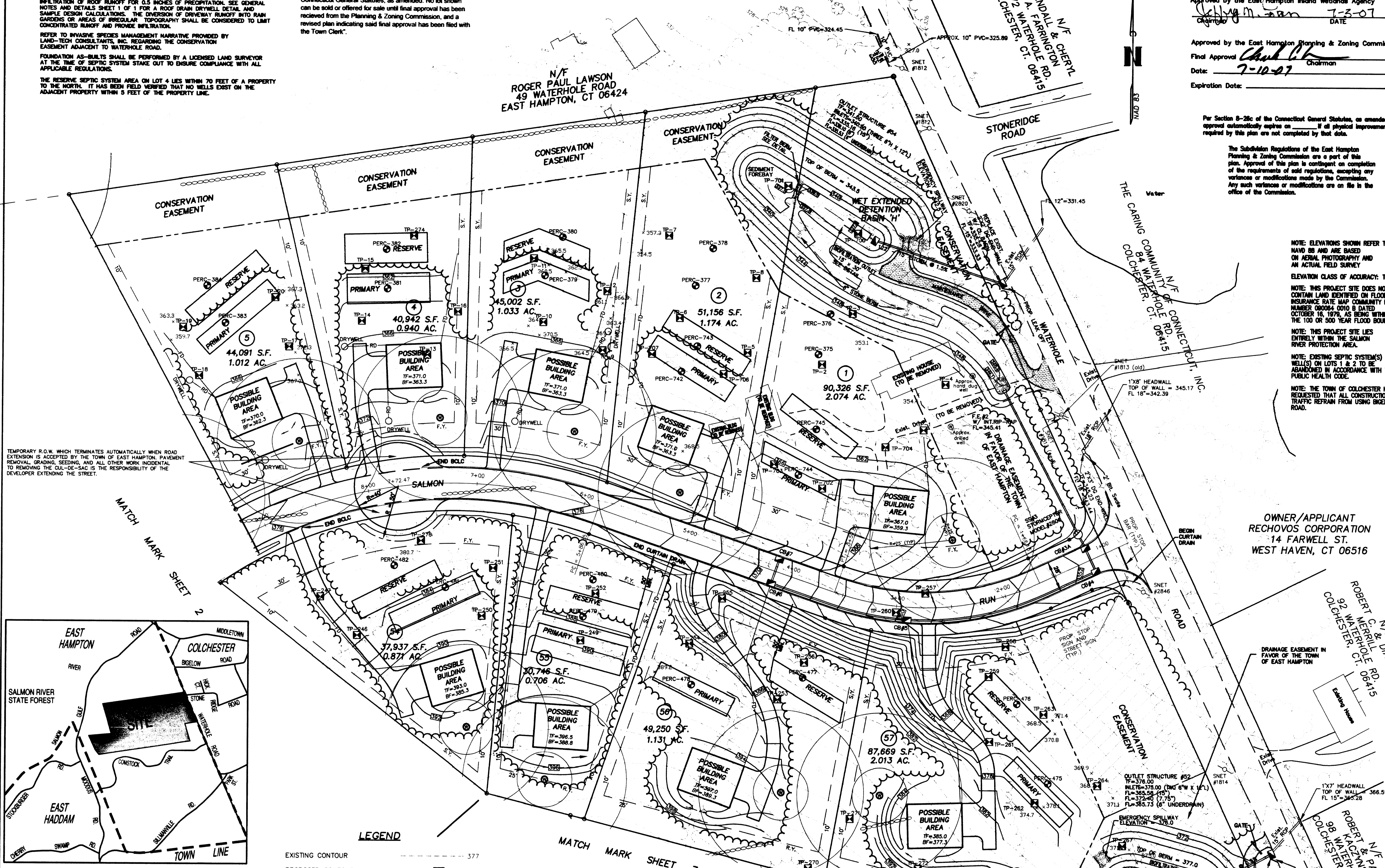
[Signature]  
 JOHN L. HEAGLE  
 P.E. # 6396

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 BRANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

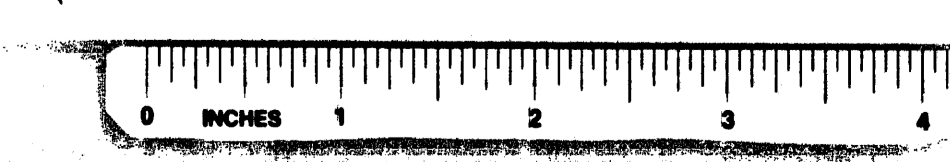
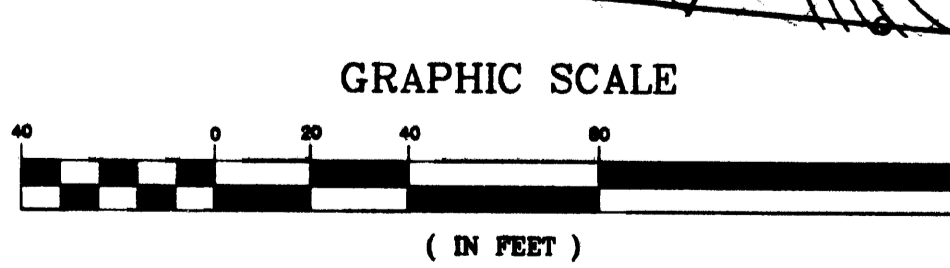
TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 1 OF 10  
 MAP NO. 117-04-11



I HAVE REVIEWED THE WETLAND BOUNDARIES AS SHOWN ON THIS PLAN AND AM OF THE OPINION THAT THE NUMBERED WETLAND IDENTIFICATION FLAGS REPRESENT THE SOIL BOUNDARIES MARKED IN THE FIELD.

[Signature]  
 MARK W. FRIEND  
 SOIL SCIENTIST



DRAWING NUMBER  
 656  
 71

DRAWING NUMBER  
 656  
 71

DRAWING NUMBER  
 656  
 71

DRAWING NUMBER  
 656  
 71

A CURTAIN DRAIN WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEM ON LOT 52 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.  
 LOTS 6, 7, 8, AND 9 SHALL UTILIZE ROOF DRAIN DRYWELLS TO PROVIDE ONSITE INFILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL NOTES AND DETAILS SHEET 1 OF 1 FOR A ROOF DRAIN DRYWELL DETAIL AND SIMPLE DESIGN CALCULATIONS. THE DIVERSION OF DRIVEWAY RUNOFF INTO RAHM GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE CONSIDERED TO LIMIT CONCENTRATED RUNOFF AND PROVIDE INFILTRATION.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

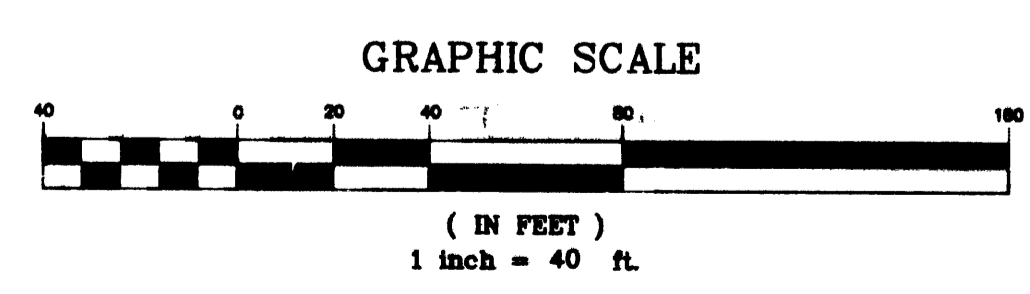
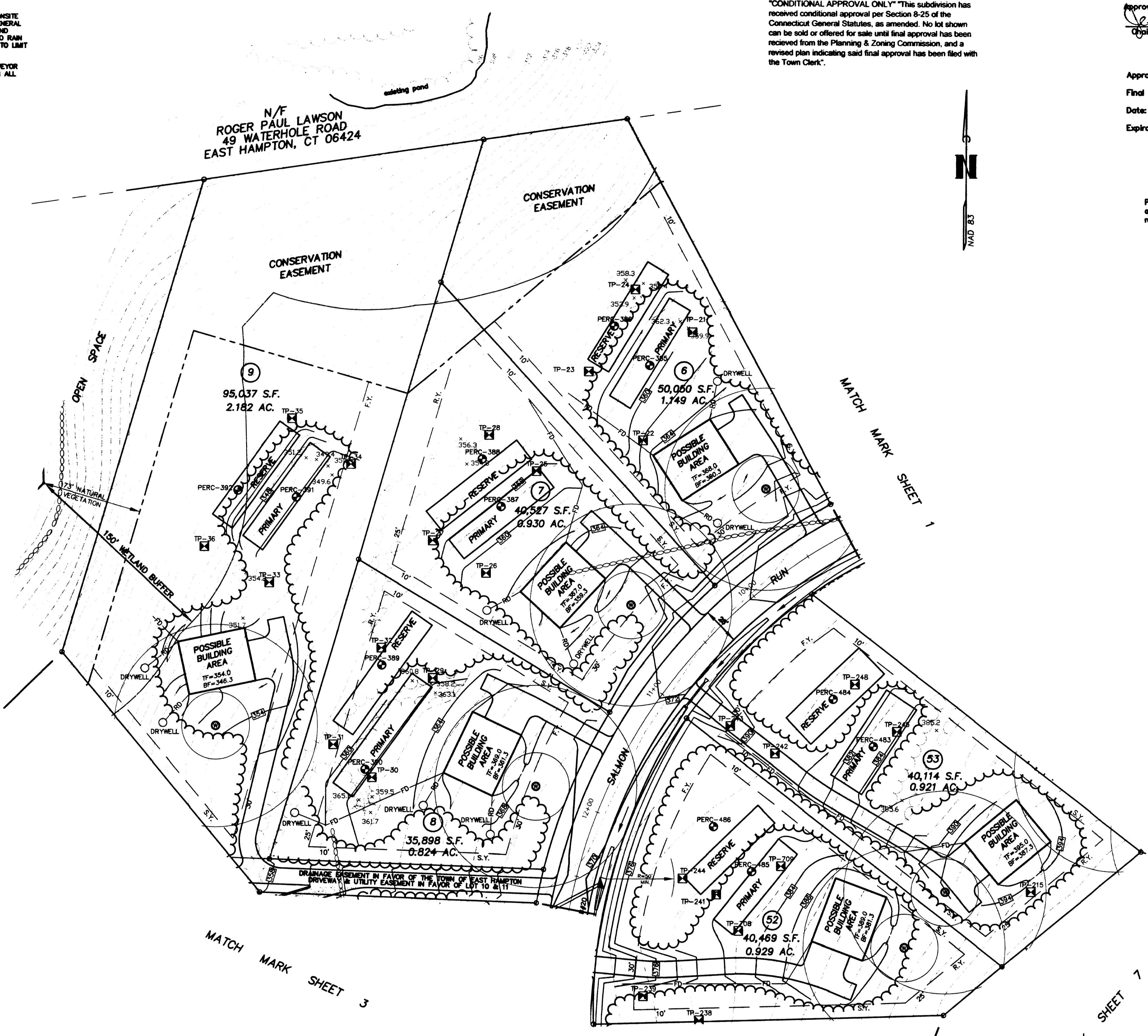
Approved by the East Hampton Inland Wetlands Agency  
 [Signature] DATE 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature]  
 Date: 7-10-07 Chairman  
 Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_. If all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BIKELANE ROAD.



Received for Record  
 7-17-07 10:14 AM

THIS MAP PREPARED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

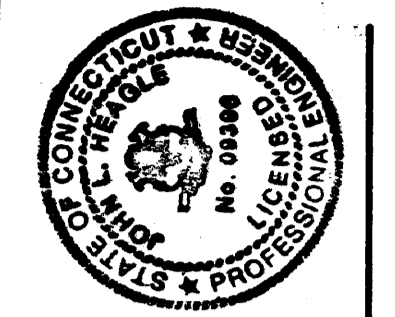
OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 6-19-07 TOWN OF COLCHESTER COMMENTS  
 REV. 6-19-07 TOWN OF COLCHESTER COMMENTS

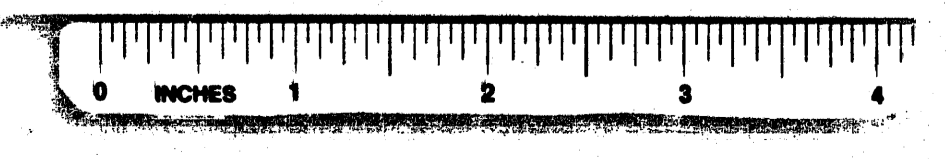
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 2 OF 10  
 MAP NO. 117-04-11

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0887

TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN C. HEAGLE  
 P.E. # 10388



DRAWING NUMBER  
Page 57

DRAWING NUMBER  
Page 57

DRAWING NUMBER  
Vol 71

DRAWING NUMBER

CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 12 & 51 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

LOTS 10 AND 11 SHALL UTILIZE ROOF DRAIN DRYWELLS TO PROVIDE ONSITE INFILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL NOTES AND DETAILS SHEET 1 OF 1 FOR A ROOF DRAIN DRYWELL DETAIL AND SAMPLE DESIGN CALCULATIONS. THE DIVERSION OF DRIVEWAY RUNOFF INTO RAIN GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE CONSIDERED TO LIMIT CONCENTRATED RUNOFF AND PROMOTE INFILTRATION.

LOT 12 SHALL UTILIZE RAIN GARDENS TO PROVIDE ONSITE INFILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL NOTES AND DETAILS SHEET 1 OF 1 FOR A TYPICAL RAIN GARDEN DETAIL AND SAMPLE LOT CONFIGURATION. THE DIVERSION OF DRIVEWAY RUNOFF INTO RAIN GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE PROMOTED TO LIMIT CONCENTRATED RUNOFF AND PROMOTE INFILTRATION.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

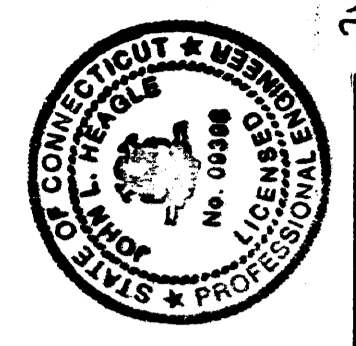
Approved by the East Hampton Wetlands Agency  
 Date: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature]  
 Date: 7-10-07  
 Expiration Date:

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING OVERLOW ROAD.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 06088

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 HANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

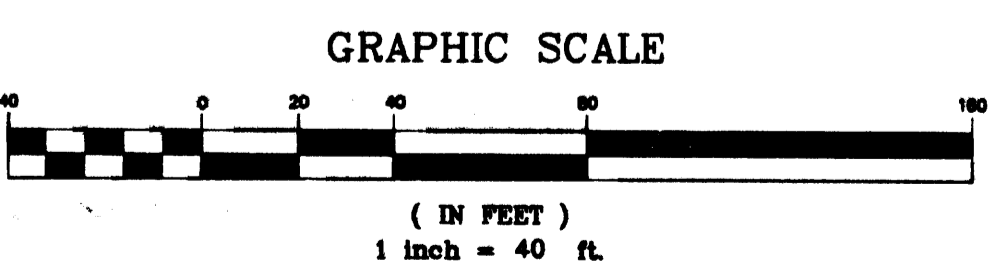
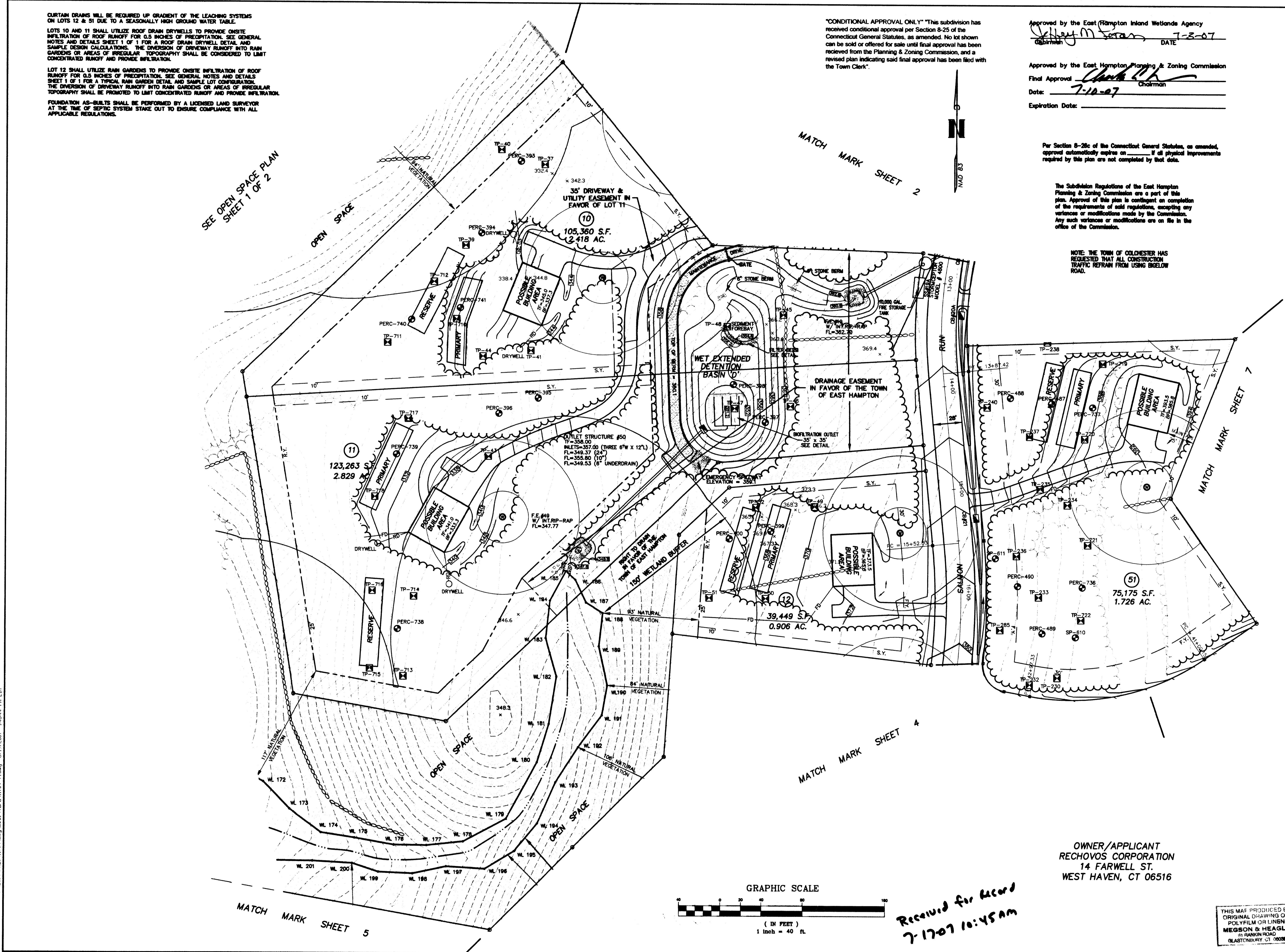
TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUI-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 3 OF 10  
 MAP NO. 117-04-1T

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 HANKIN ROAD  
 GLASTONBURY CT 06033

Received for Record  
 7-17-07 10:45 AM



P:\DRAWING\117\117-04-1T.dwg 11/16/06 3:57:00 PM LUL



DRAWING NUMBER  
 83c 58  
 SAVED PRODUCTS • NEW HAVEN, CONNECTICUT  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 83c 58  
 SAVED PRODUCTS • NEW HAVEN, CONNECTICUT  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 71  
 SAVED PRODUCTS • NEW HAVEN, CONNECTICUT  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 71  
 SAVED PRODUCTS • NEW HAVEN, CONNECTICUT  
 REGISTERED PROFESSIONAL ENGINEER

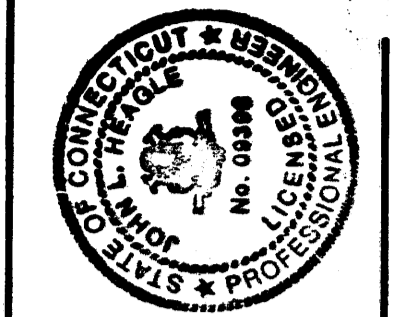
CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 13, 14, 15, 28, 29, 30, & 31 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

LOTS 13, 14, AND 15 SHALL UTILIZE RAIN GARDENS TO PROVIDE ON-SITE INFILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL NOTES AND DETAILS SHEET 1 OF 1 FOR A TYPICAL RAIN GARDEN DETAIL AND SAMPLE LOT CONFIGURATION. THE DIVERSION OF DRAINWAY RUNOFF INTO RAIN GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE PROMOTED TO LIMIT CONCENTRATED RUNOFF AND PROVIDE INFILTRATION. FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
 Chairman: John Moran DATE: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature] Chairman  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

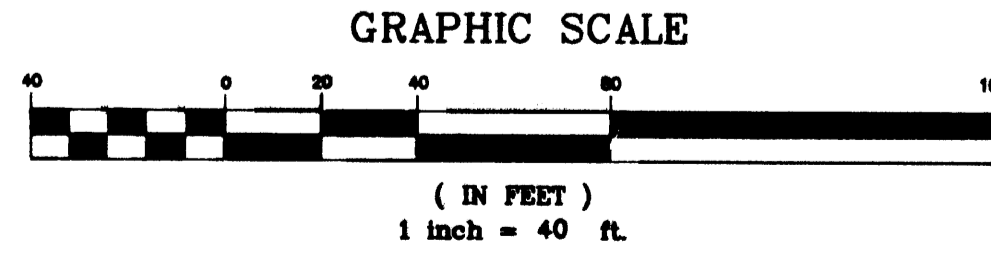
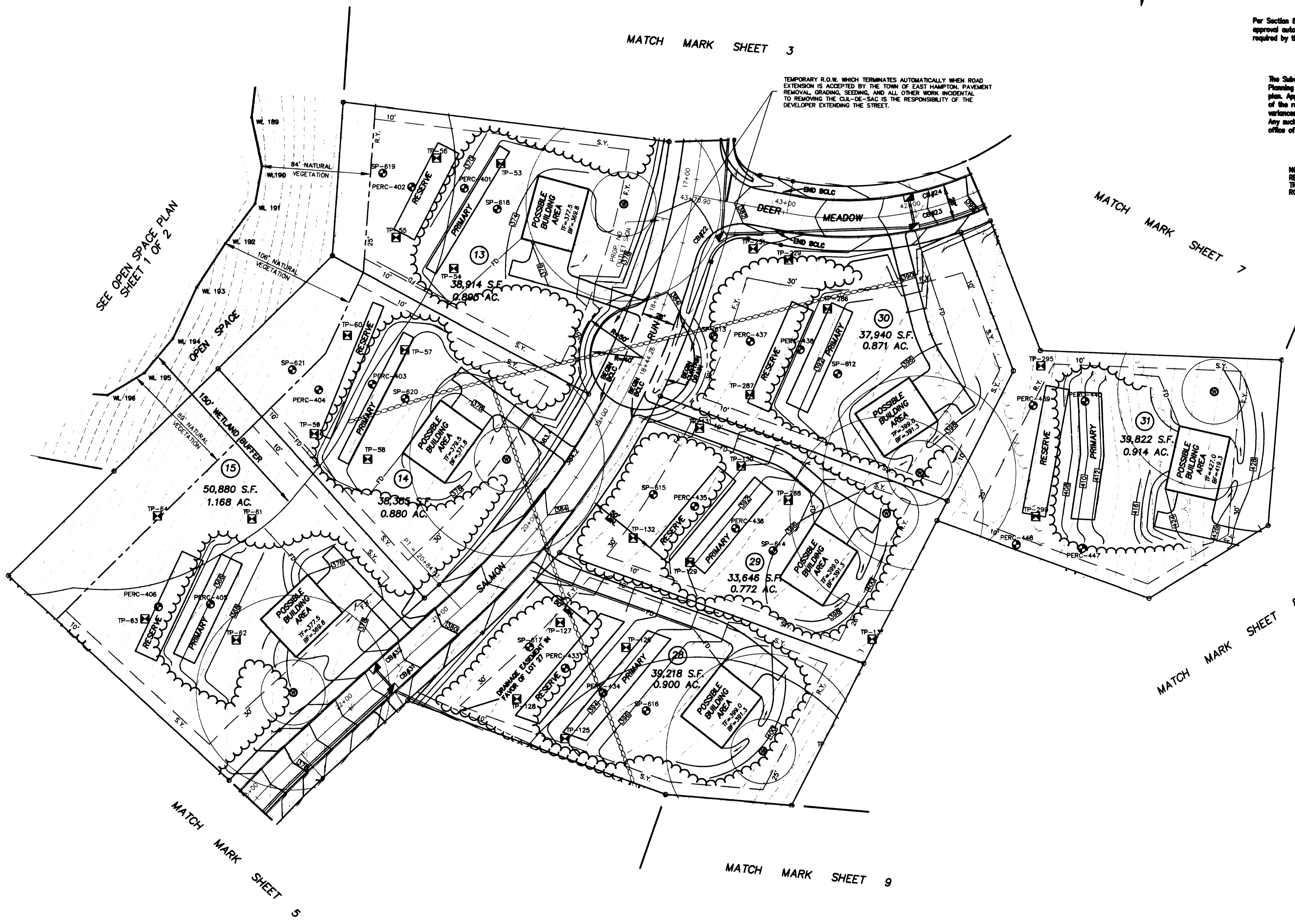


I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, accepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BELOW ROAD.



Received for Record  
 7-17-07 10:46 AM

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0667

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 4 OF 10  
 MAP NO. 117-04-1T

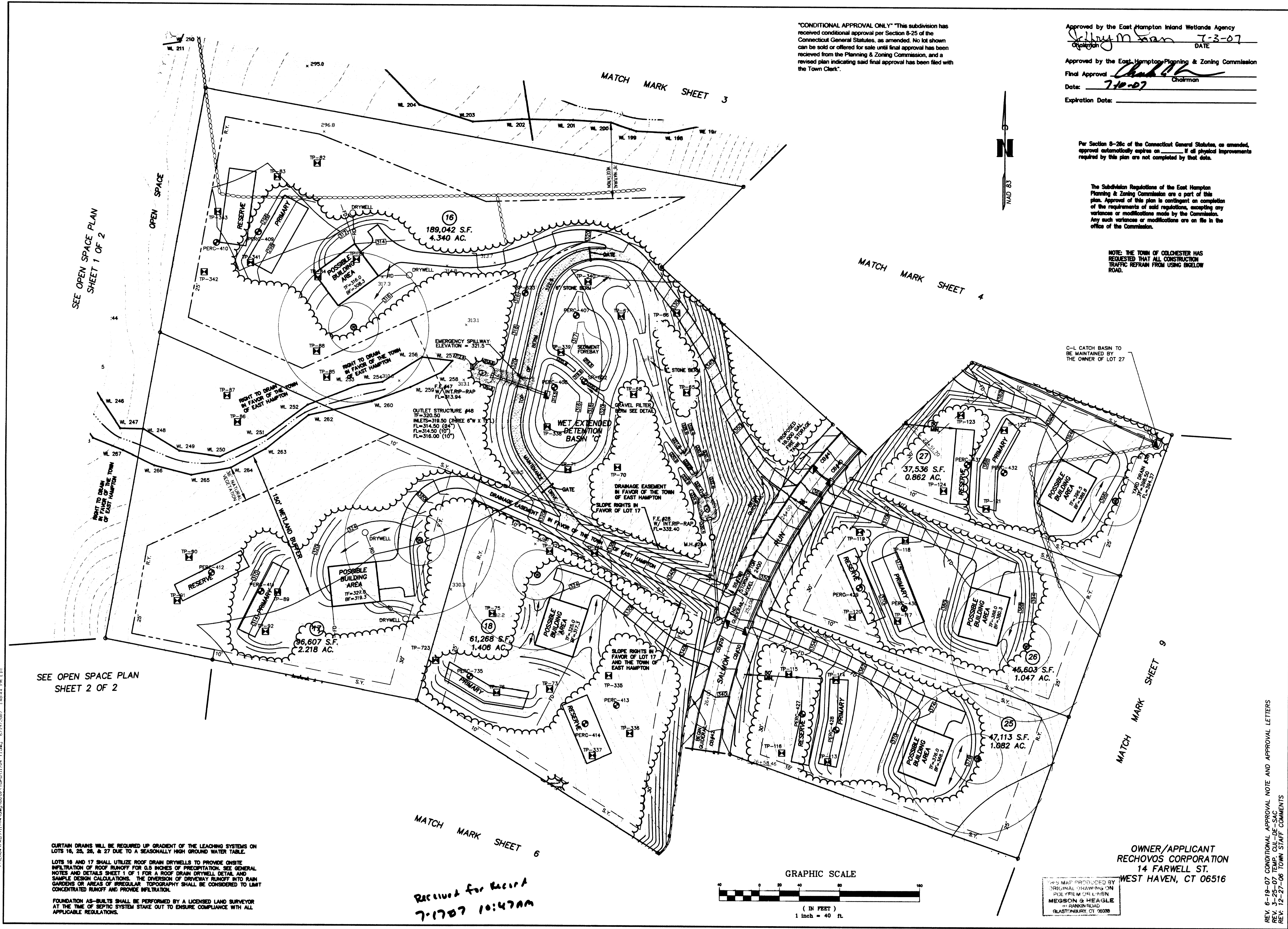
P:\GORDON\PROJ\121704\121704.dwg, 12/17/04 11:00a, 6/19/2007, 1:40:44 PM, EJE

DRAWING NUMBER  
Page 59

DRAWING NUMBER  
Page 59

DRAWING NUMBER  
Vol 71

DRAWING NUMBER



SEE OPEN SPACE PLAN SHEET 1 OF 2

SEE OPEN SPACE PLAN SHEET 2 OF 2

CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 16, 25, 26, & 27 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

LOTS 16 AND 17 SHALL UTILIZE ROOF DRAIN DRYWELLS TO PROVIDE ON-SITE INFILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL NOTES AND DETAILS SHEET 1 OF 1 FOR A ROOF DRAIN DRYWELL DETAIL AND SAMPLE DESIGN CALCULATIONS. THE DIVERSION OF DRIVEWAY RUNOFF INTO RAIN GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE CONSIDERED TO LIMIT CONCENTRATED RUNOFF AND PROVIDE INFILTRATION.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

Received for Record  
7-17-07 10:47AM

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

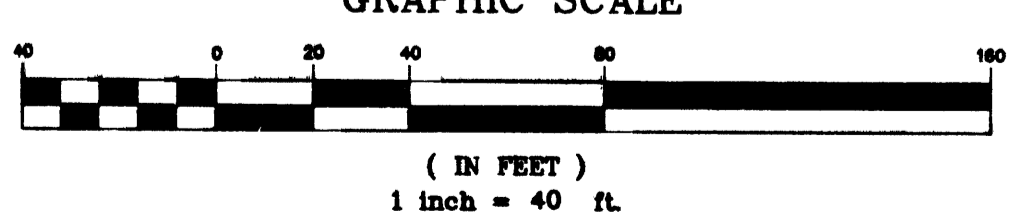
Approved by the East Hampton Inland Wetlands Agency  
 Date: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature]  
 Date: 7-10-07  
 Expiration Date:

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BOWEN ROAD.

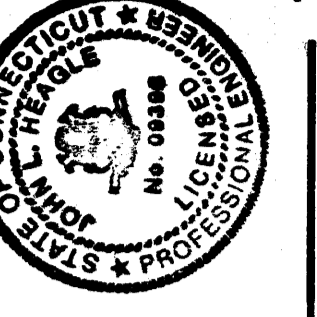


THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LITHO MEGSON & HEAGLE 45 RANKIN ROAD GLASTONBURY, CT 06038

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

REV 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV 3-25-07 TEMP. CUL-DE-SAC  
 REV 12-27-06 TOWN STAFF COMMENTS

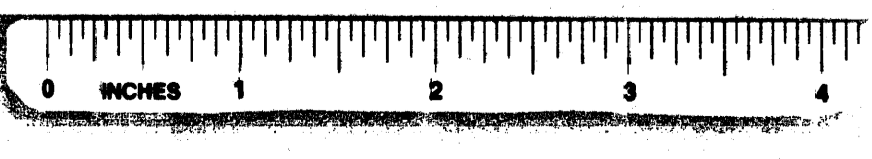
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 5 OF 10  
 MAP NO. 117-04-11



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 45 RANKIN ROAD  
 GLASTONBURY, CONN. 06038  
 PHONE (860)-659-0867

TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

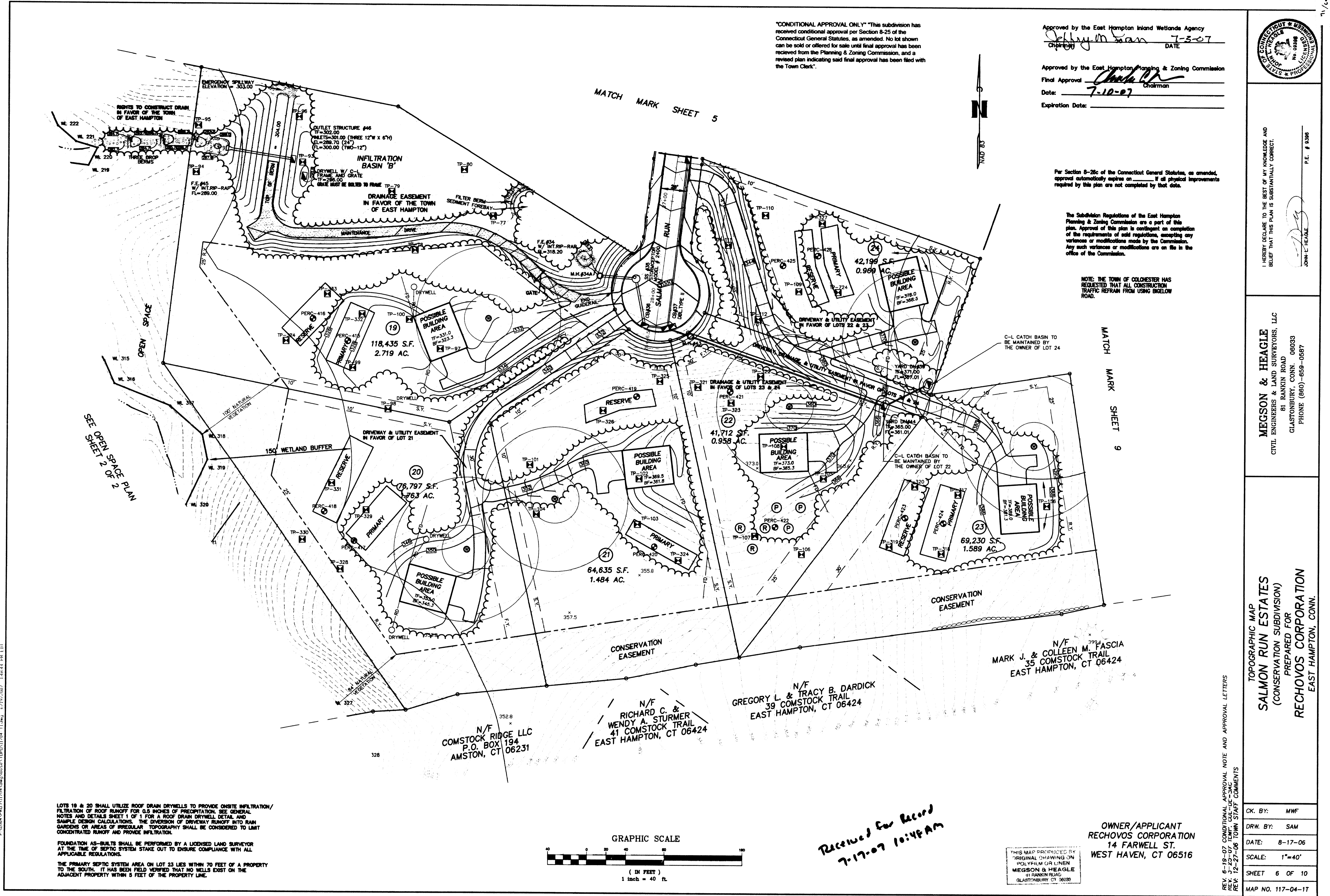


DRAWING NUMBER  
Page 60

DRAWING NUMBER  
Page 71

DRAWING NUMBER  
Vol. 71

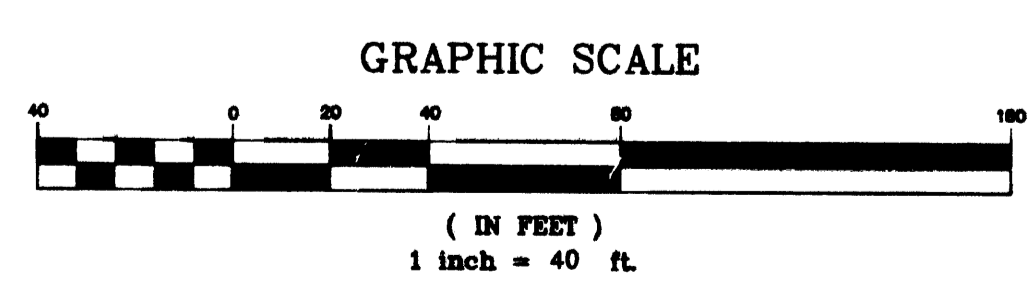
DRAWING NUMBER



LOTS 19 & 20 SHALL UTILIZE ROOF DRAIN DRYWELLS TO PROVIDE ONSITE INFILTRATION/  
FILTRATION OF ROOF RUNOFF FOR 0.5 INCHES OF PRECIPITATION. SEE GENERAL  
NOTES AND DETAILS SHEET 1 OF 1 FOR A ROOF DRAIN DRYWELL DETAIL AND  
SAMPLE DESIGN CALCULATIONS. THE DIVERSION OF DRIVEWAY RUNOFF INTO RAIN  
GARDENS OR AREAS OF IRREGULAR TOPOGRAPHY SHALL BE CONSIDERED TO LIMIT  
CONCENTRATED RUNOFF AND PROVIDE INFILTRATION.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR  
AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL  
APPLICABLE REGULATIONS.

THE PRIMARY SEPTIC SYSTEM AREA ON LOT 23 LIES WITHIN 70 FEET OF A PROPERTY  
TO THE SOUTH. IT HAS BEEN FIELD VERIFIED THAT NO WELLS EXIST ON THE  
ADJACENT PROPERTY WITHIN 5 FEET OF THE PROPERTY LINE.



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

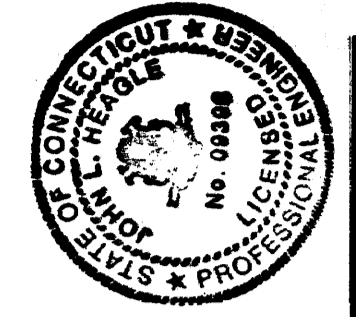
Approved by the East Hampton Inland Wetlands Agency  
Chairman: Jerry M. Ryan DATE: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
Final Approval: Charles W. [Signature] Chairman  
Date: 7-10-07  
Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BELLOW ROAD.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN E. HEAGLE  
P.E. # 9398

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE: (860) 669-0887

TOPOGRAPHIC MAP  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

N/F  
MARK J. & COLLEEN M. FASCIA  
35 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

N/F  
GREGORY L. & TRACY B. DARDICK  
39 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

N/F  
RICHARD C. & WENDY A. STURMER  
41 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

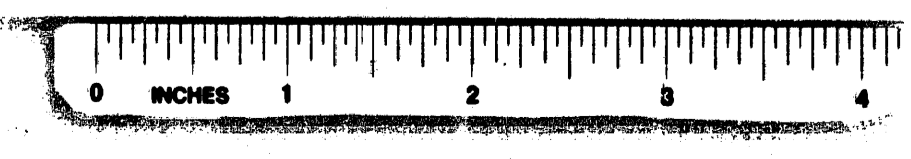
N/F  
COMSTOCK RIDGE LLC  
P.O. BOX 194  
AMSTON, CT 06231

Received for Record  
7-17-07 10:48 AM

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 7-23-07 TOWN STAFF COMMENTS  
REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 6 OF 10  
MAP NO. 117-04-11



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 44, 45, 46, 48, 49, & 50 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

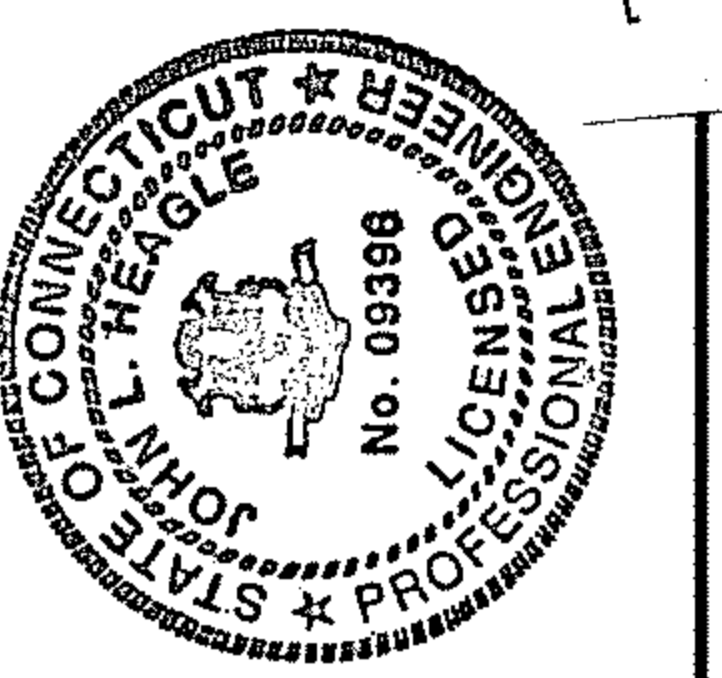
REFER TO INVASIVE SPECIES MANAGEMENT NARRATIVE PROVIDED BY LAND-TECH CONSULTANTS, INC. REGARDING THE CONSERVATION EASEMENT ADJACENT TO WATERHOLE ROAD.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BIGELOW ROAD.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

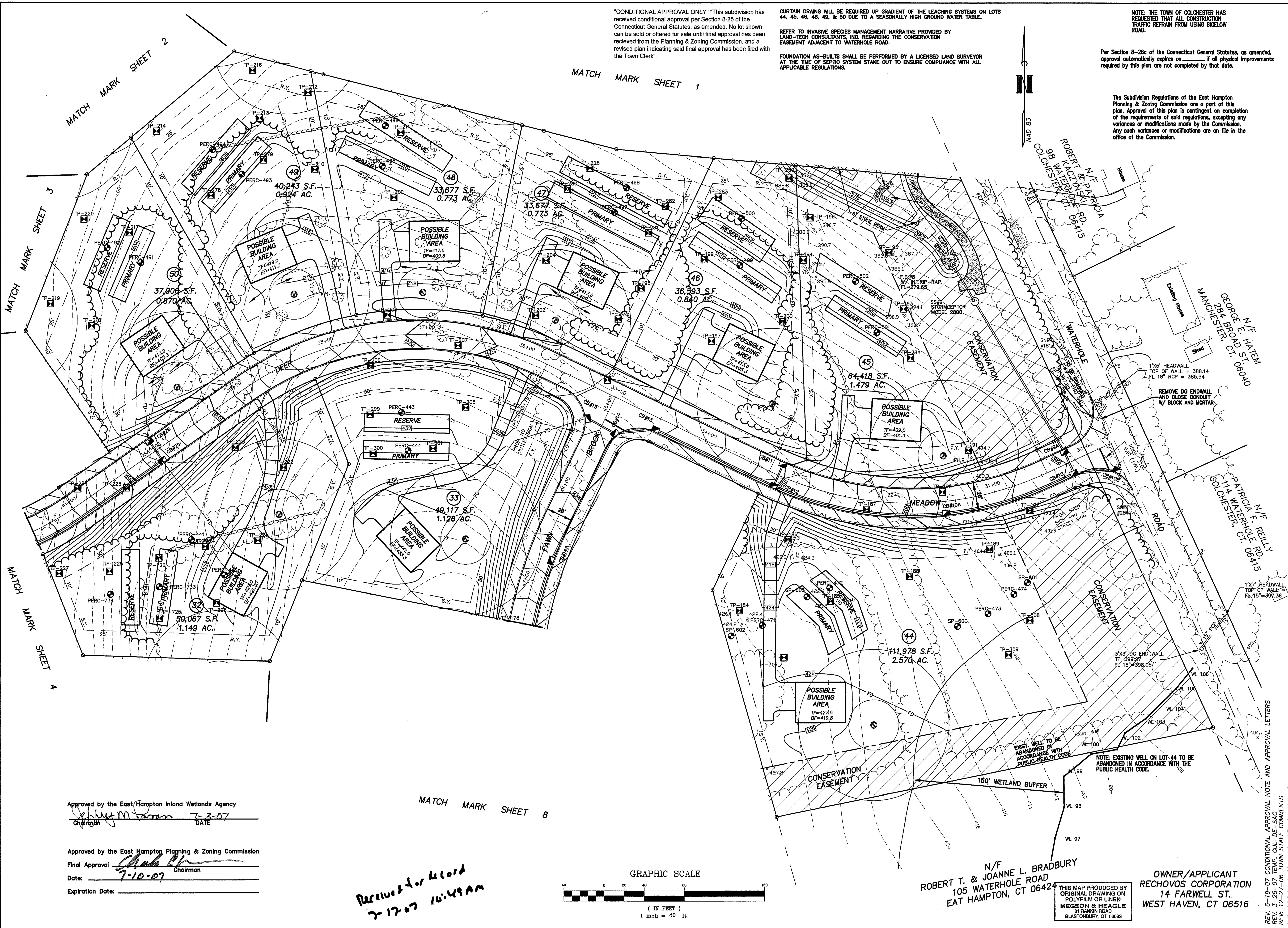
JOHN L. HEAGLE  
P.E. # 03908

**MEGSON & HEAGLE**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

TOPOGRAPHIC MAP  
**SALMON RUN ESTATES**  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
**RECHOVOS CORPORATION**  
EAST HAMPTON, CONN.

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 7 OF 10  
MAP NO. 117-04-1T

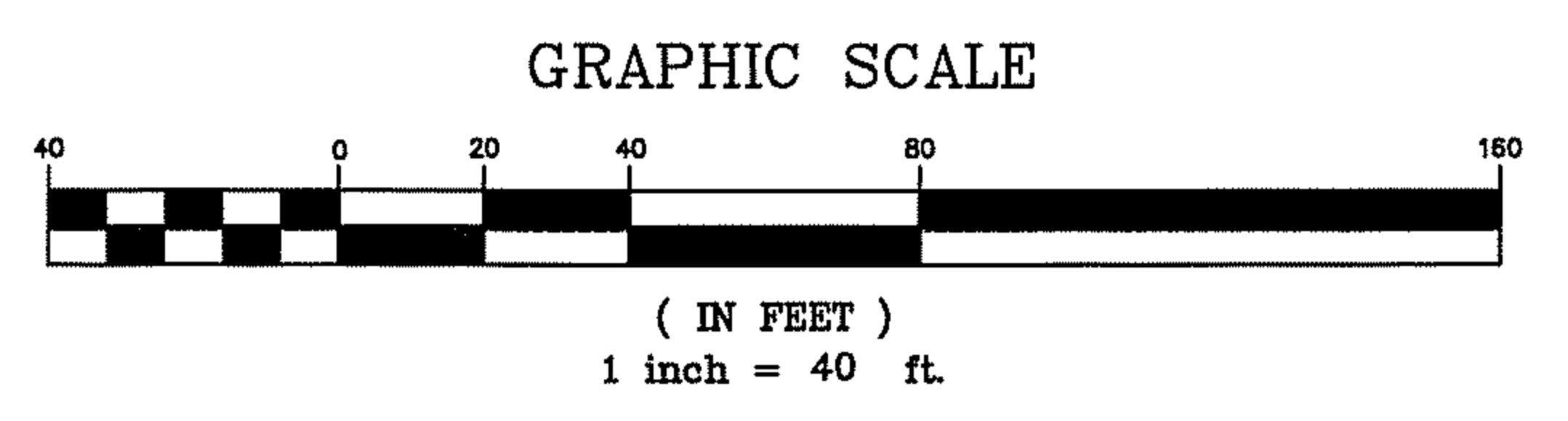
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS



Approved by the East Hampton Inland Wetlands Agency  
*John L. Heagle*  
Chairman 7-3-07  
DATE

Approved by the East Hampton Planning & Zoning Commission  
Final Approval *Chad C. ...*  
Chairman  
Date: 7-10-07  
Expiration Date:

Received for Record  
7-17-07 10:49 AM



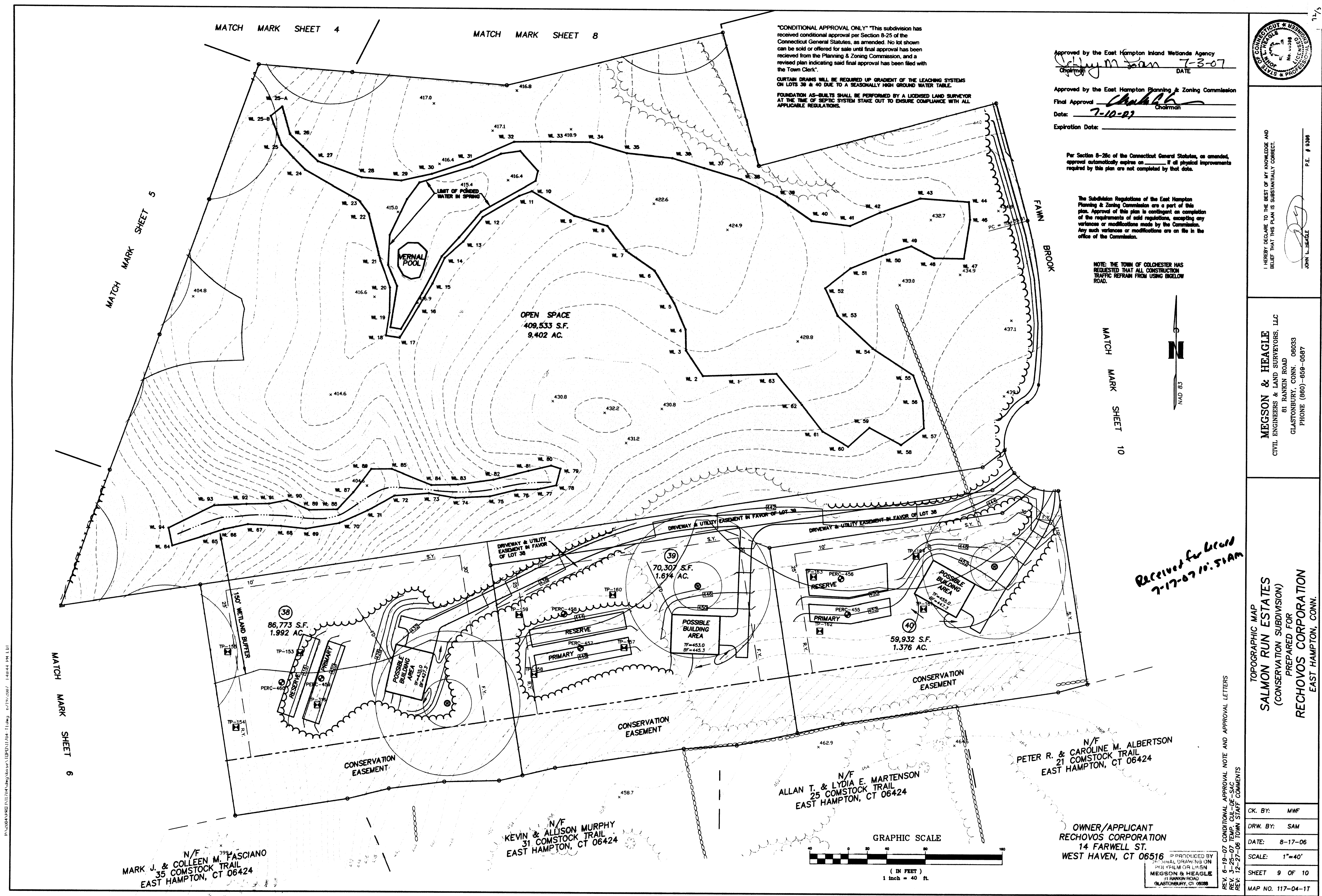
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Page 3

DRAWING NUMBER  
Page 3

DRAWING NUMBER  
Vol 72

DRAWING NUMBER



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 38 & 40 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

Approved by the East Hampton Inland Wetlands Agency  
*[Signature]* 7-3-07  
 DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *[Signature]*  
 Date: 7-10-07  
 Expiration Date:

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, including any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING ENGELWOLD ROAD.



*Received for lead  
7-17-07 10:51 AM*

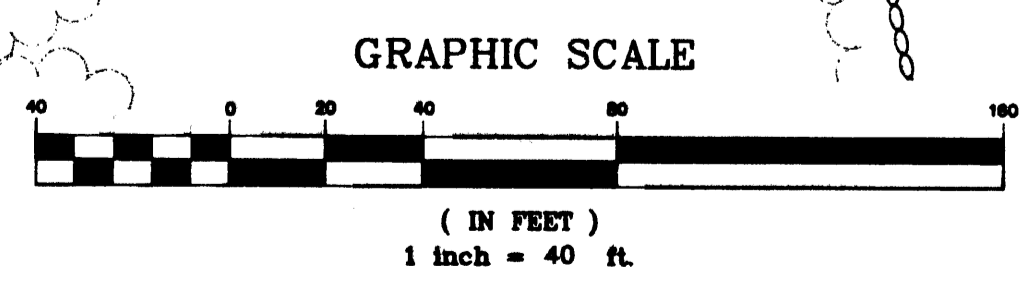
N/F  
 MARK J. & COLLEEN M. FASCIANO  
 35 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 KEVIN & ALLISON MURPHY  
 31 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 ALLAN T. & LYDIA E. MARTENSON  
 25 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 PETER R. & CAROLINE M. ALBERTSON  
 21 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516



PRODUCED BY  
 ORIGINAL DRAWING ON  
 POLYFILM OR LITHO  
 MEGSON & HEAGLE  
 31 HANSEN ROAD  
 GLASTONBURY, CT 06033

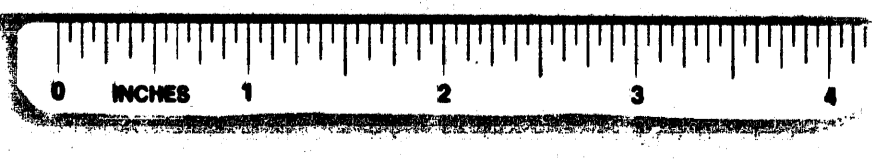
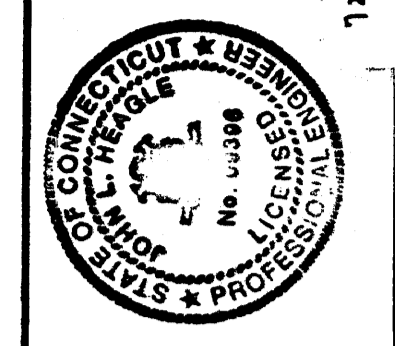
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-29-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

OK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 9 OF 10  
 MAP NO. 117-04-17

TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 31 HANSEN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
*[Signature]*  
 JOHN L. BRADLE  
 P.E. # 9389



DRAWING NUMBER  
 Vol 72  
 Page 4  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 72  
 Page 4  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 72  
 Page 4  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 72  
 Page 4  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

CURTAIN DRAINS WILL BE REQUIRED UP GRADIENT OF THE LEACHING SYSTEMS ON LOTS 41 & 42 DUE TO A SEASONALLY HIGH GROUND WATER TABLE.

FOUNDATION AS-BUILTS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AT THE TIME OF SEPTIC SYSTEM STAKE OUT TO ENSURE COMPLIANCE WITH ALL APPLICABLE REGULATIONS.

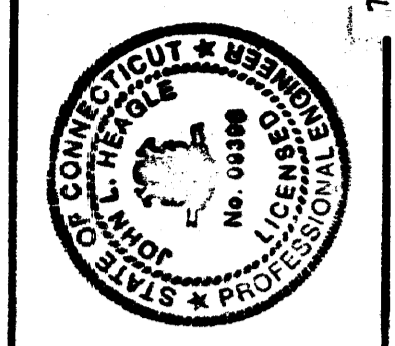
THE RESERVE SEPTIC SYSTEM AREAS ON LOTS 41 & 42 LIE WITHIN 80 FEET OF A PROPERTY TO THE EAST. IT HAS BEEN FIELD VERIFIED THAT NO WELLS EXIST ON THE ADJACENT PROPERTY WITHIN 15 FEET OF THE PROPERTY LINE.

MATCH MARK SHEET 8

REFER TO 35' VEGETATIVE FILTER STRIP PLANTING PLAN AND INVASIVE SPECIES MANAGEMENT NARRATIVE PROVIDED BY LAND-TECH CONSULTANTS, INC. FOR THE WEST SIDE OF FAWN BROOK FROM STATION TO THE END OF CUL-DE-SAC. SEE TYPICAL DETAIL STORMWATER POLLUTION CONTROL NOTES AND DETAILS SHEET 5 OF 5.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Wetlands Agency  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval  
 Date: 7-10-07  
 Expiration Date:



Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

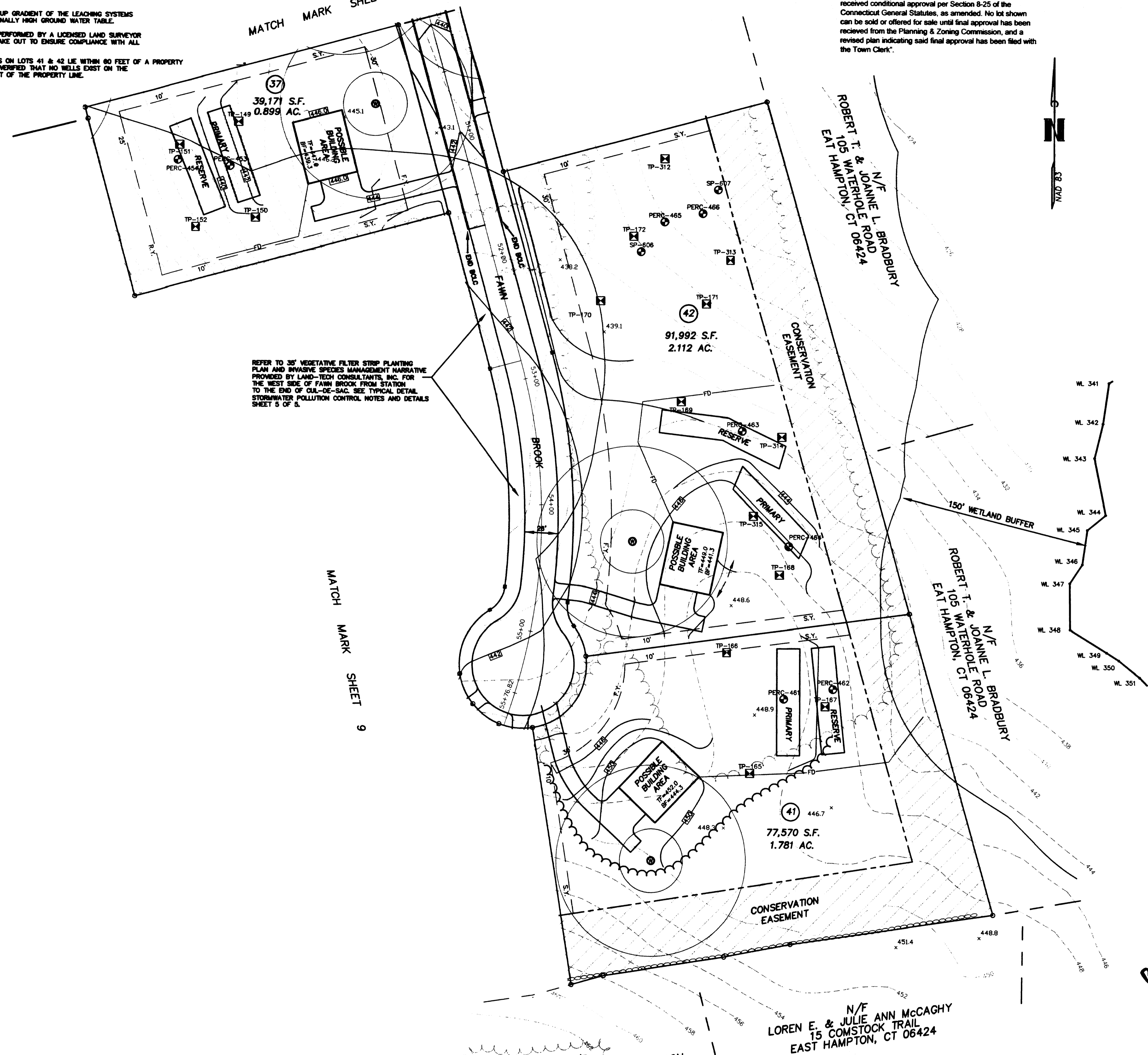
The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, accepting any variance or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

NOTE: THE TOWN OF COLCHESTER HAS REQUESTED THAT ALL CONSTRUCTION TRAFFIC REFRAIN FROM USING BIGELOW ROAD.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 8398

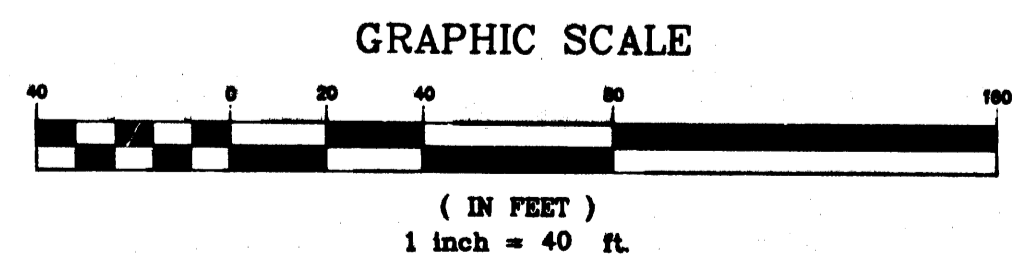
MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860) 659-0687

TOPOGRAPHIC MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



N/F  
 PETER R. & CAROLINE M. ALBERTSON  
 21 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424

N/F  
 LOREN E. & JULIE ANN MCCAGHY  
 15 COMSTOCK TRAIL  
 EAST HAMPTON, CT 06424



THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

Received for Record  
 7-17-07 10:52 AM

REV 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV 3-25-07 TEMP. CUL-DE-SAC  
 REV 12-27-06 TOWN STAFF COMMENTS

OK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 10 OF 10  
 MAP NO. 117-04-1T



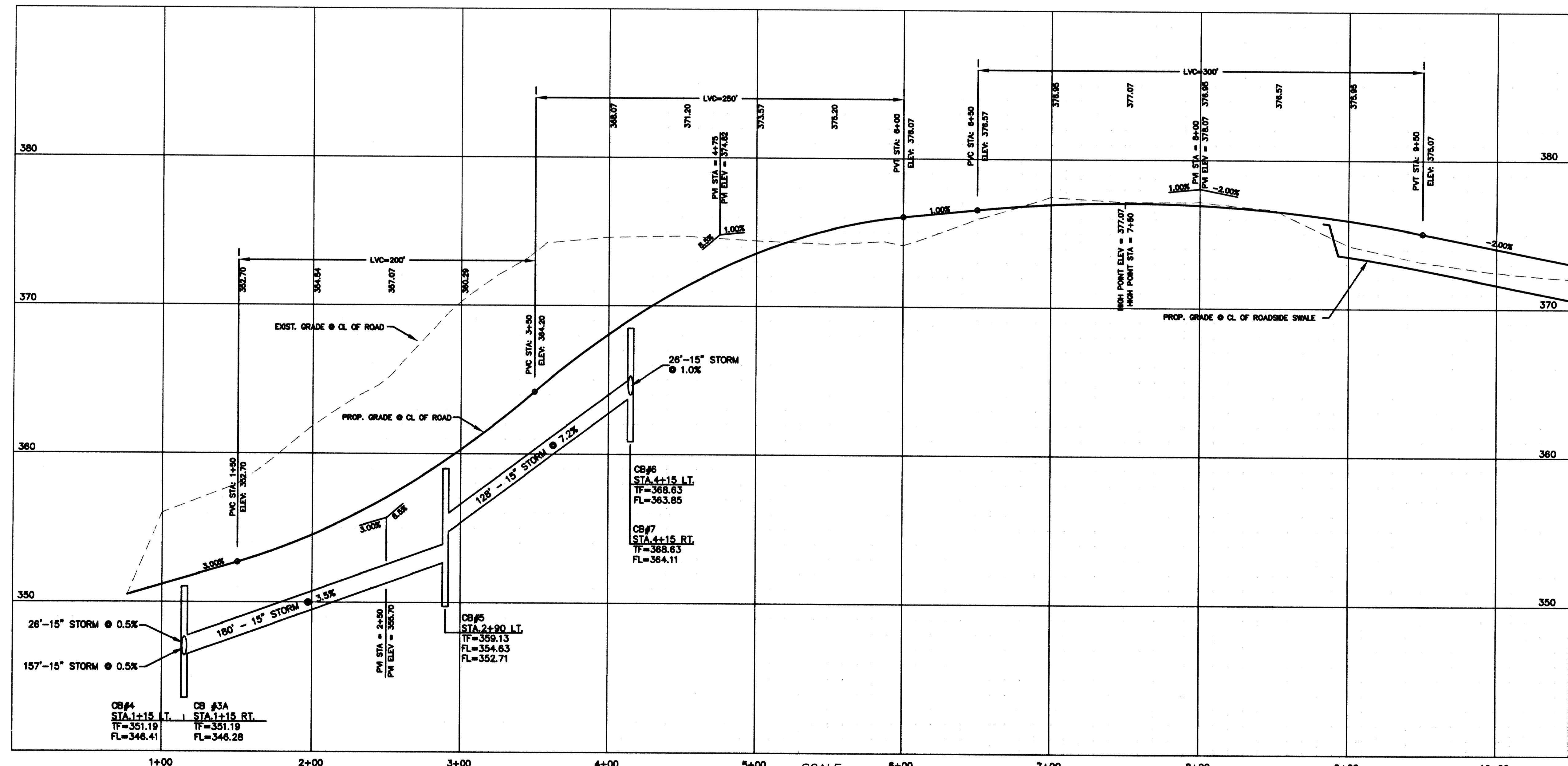
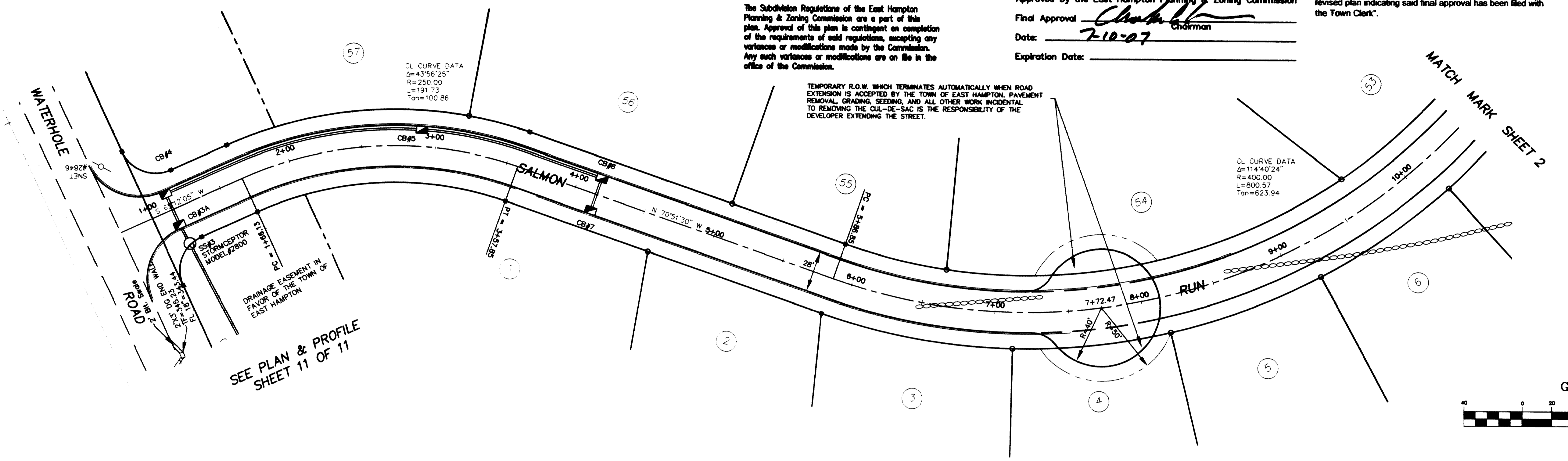
DRAWING NUMBER  
BK 72

DRAWING NUMBER  
Page 5

DRAWING NUMBER  
Vol 72

DRAWING NUMBER

PLAN FIELD CORPORATION • IRVINE, CALIFORNIA  
RECORD BY NUMBER 07/04

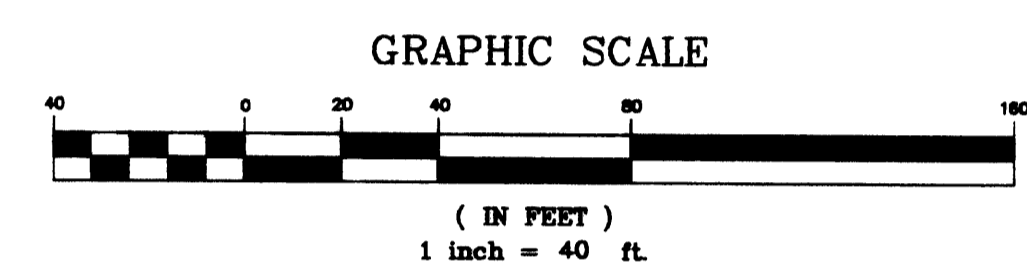


Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands Agency  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: \_\_\_\_\_  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.



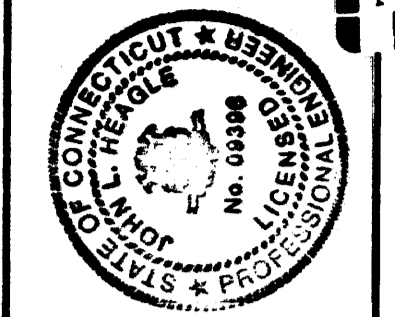
*Received for Record  
7-17-07 10:53AM*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS DRAWING IS TO BE USED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-29-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

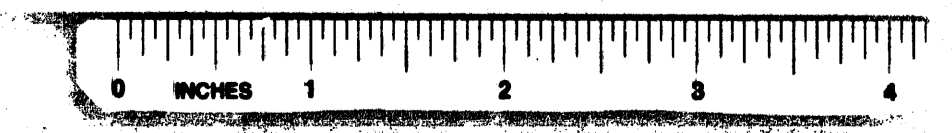
OK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 1 OF 11  
 MAP NO. 117-04-1P



I HEREBY BELIEVE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



Approved by the East Hampton Inland Wetlands Agency  
 Chairman John L. Heagle DATE 7-3-07  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval Charles R.... Chairman  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

Per Section 8-28c of the Connecticut General Statutes, as amended, approved automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

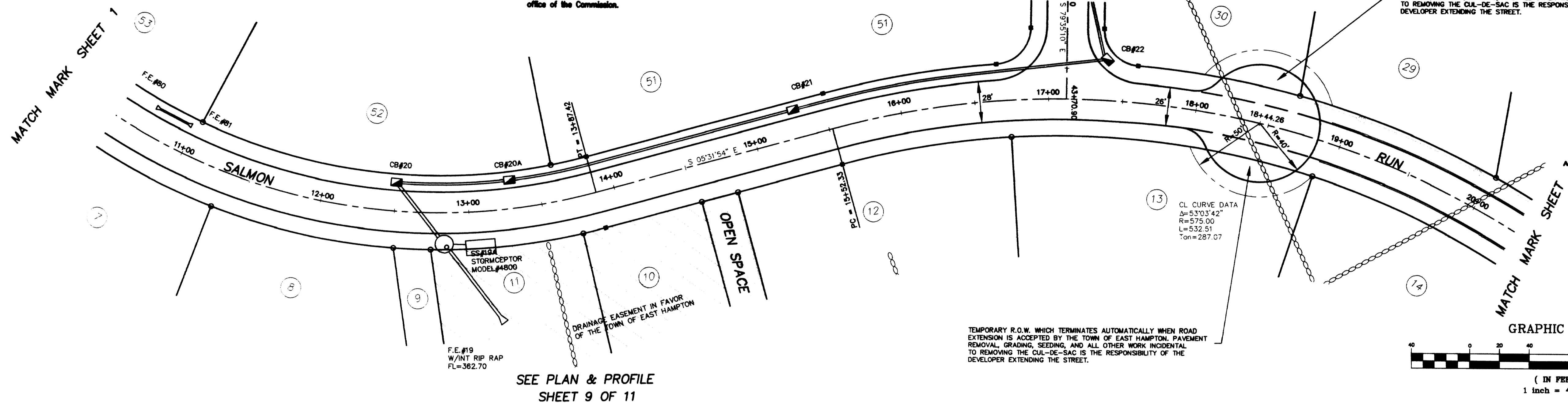
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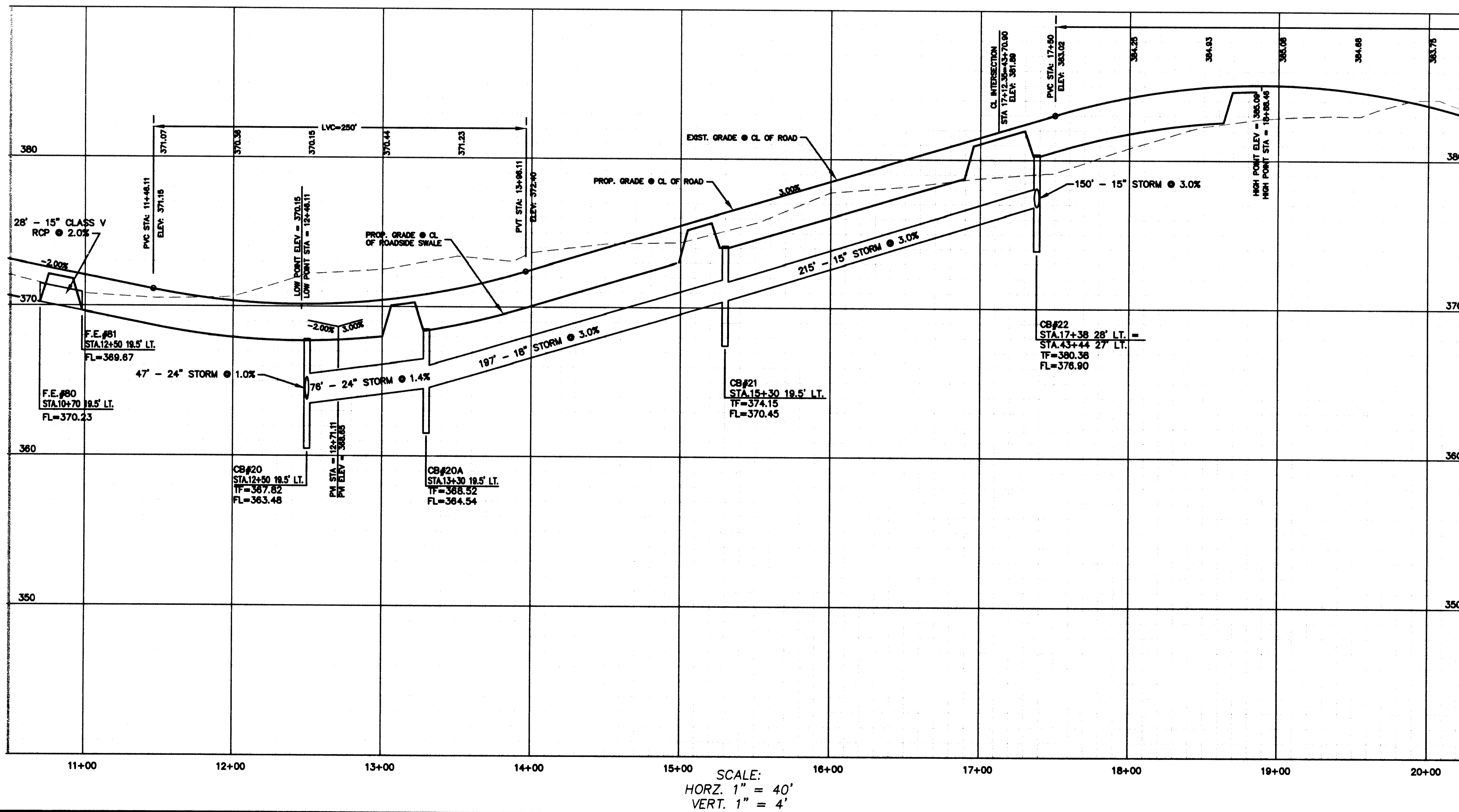
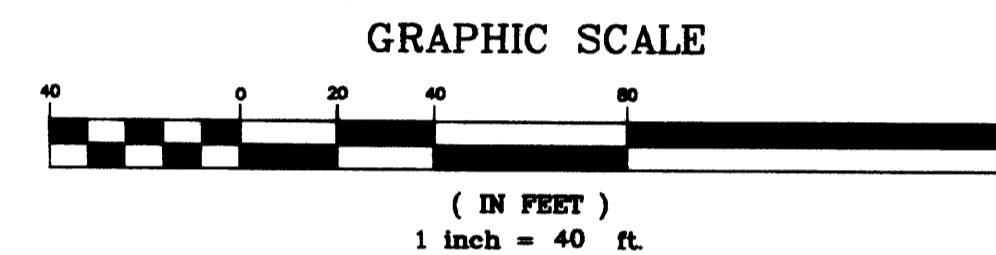
SEE SHEET 5

TEMPORARY R.O.W. WHICH TERMINATES AUTOMATICALLY WHEN ROAD EXTENSION IS ACCEPTED BY THE TOWN OF EAST HAMPTON. PAVEMENT REMOVAL, GRADING, SEEDING, AND ALL OTHER WORK INCIDENTAL TO REMOVING THE CUL-DE-SAC IS THE RESPONSIBILITY OF THE DEVELOPER EXTENDING THE STREET.

TEMPORARY R.O.W. WHICH TERMINATES AUTOMATICALLY WHEN ROAD EXTENSION IS ACCEPTED BY THE TOWN OF EAST HAMPTON. PAVEMENT REMOVAL, GRADING, SEEDING, AND ALL OTHER WORK INCIDENTAL TO REMOVING THE CUL-DE-SAC IS THE RESPONSIBILITY OF THE DEVELOPER EXTENDING THE STREET.



SEE PLAN & PROFILE SHEET 9 OF 11



SCALE:  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

*Received for Record  
 7-17-07 10:54 am*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MESSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

REV. 6-19-07 OPTIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-29-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

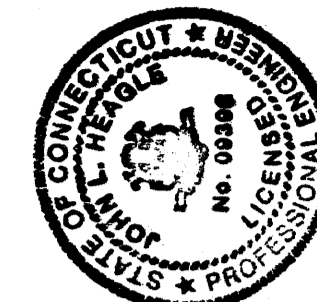
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORIZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 2 OF 11  
 MAP NO. 117-04-1P

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JOHN L. HEAGLE  
 P.E. # 0398

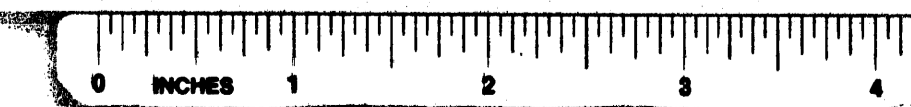


DRAWING NUMBER  
 7  
 PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
 REVISION BY NUMBER (DATE)

DRAWING NUMBER  
 6326  
 PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
 REVISION BY NUMBER (DATE)

DRAWING NUMBER  
 Vol 12  
 PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
 REVISION BY NUMBER (DATE)

DRAWING NUMBER  
 PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
 REVISION BY NUMBER (DATE)





PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
 REGISTRATION NUMBER 07487  
 DATE: 10/12/06  
 DRAWING NUMBER: 72  
 SHEET: 7

DRAWING NUMBER: 72  
 SHEET: 7

DRAWING NUMBER: 72  
 SHEET: 7

DRAWING NUMBER: 72  
 SHEET: 7

PLAN: 11/17/06 11:27 AM (M) 11/17/06 11:27 AM (M) 11/17/06 11:27 AM (M)

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
 Chairman: [Signature] DATE: 7-3-07

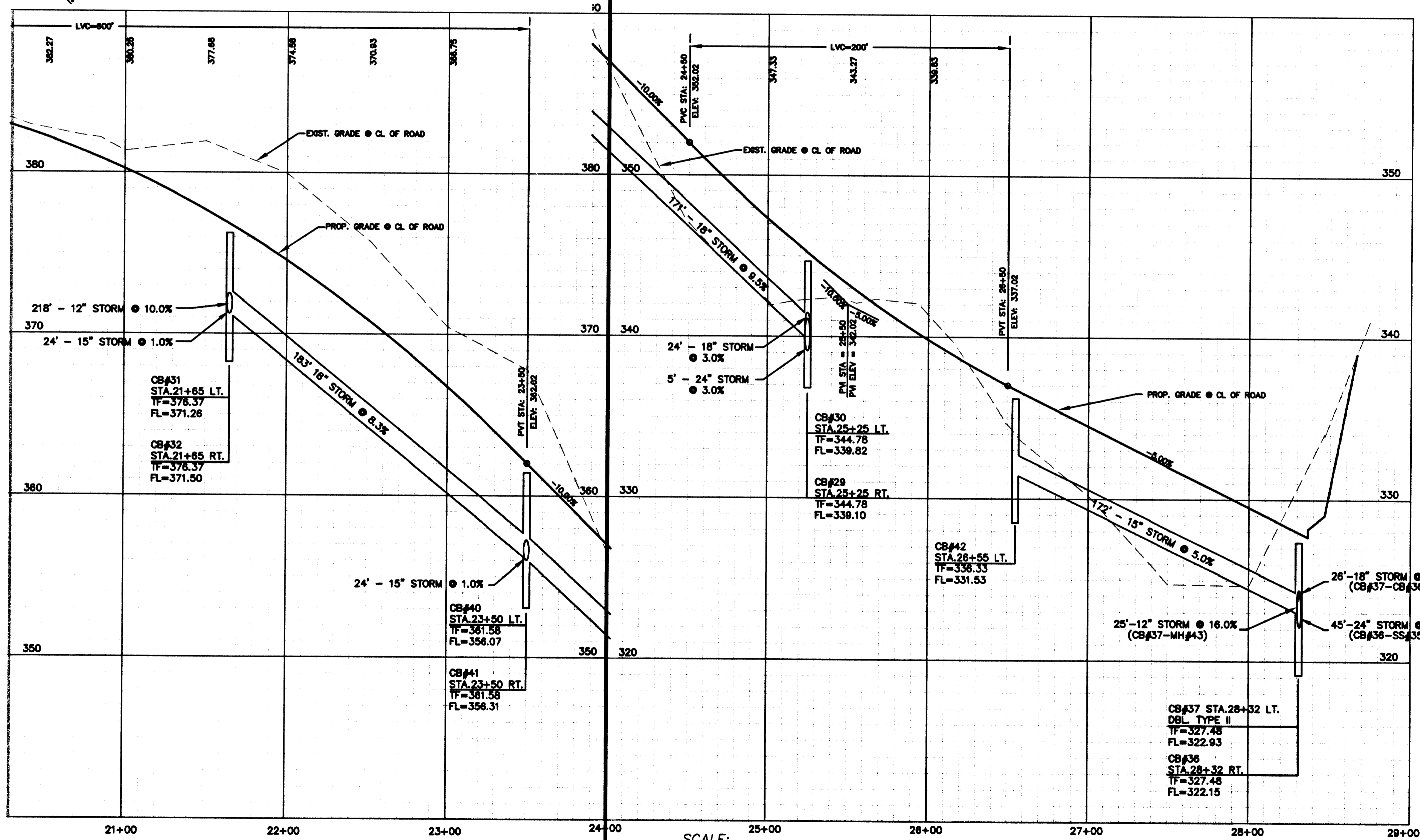
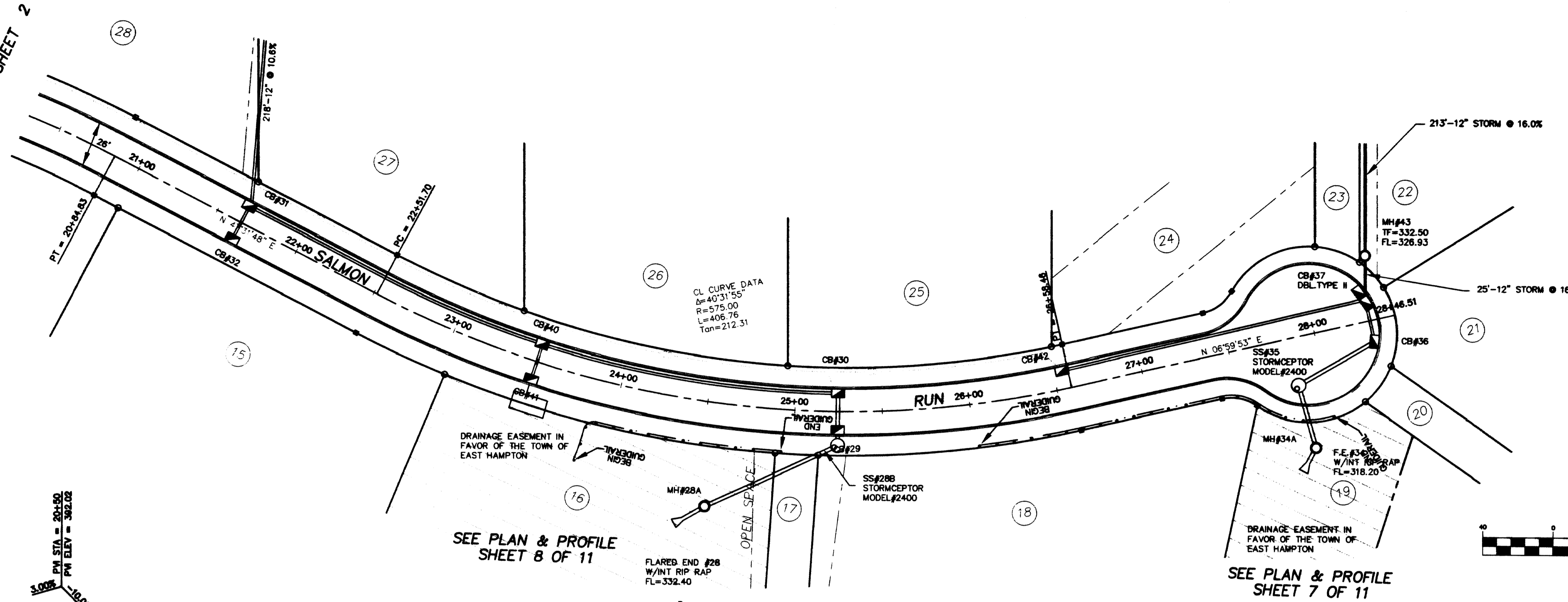
Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature] Chairman DATE: 7-10-07

Date: 7-10-07  
 Expiration Date:

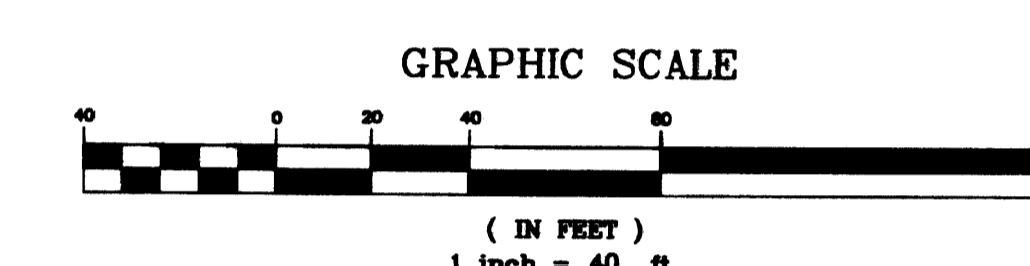
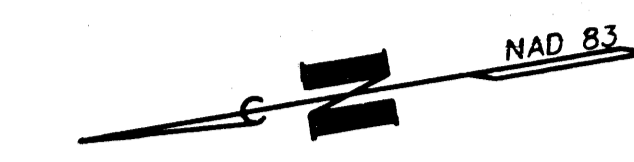
Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variance or modifications made by the Commission. Any such variance or modifications are on file in the office of the Commission.

MATCH MARK SHEET 2



SCALE:  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



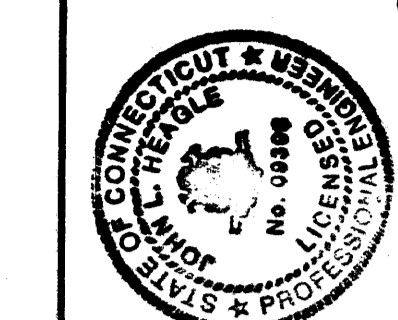
Received for Record  
 7-17-07 10:35 AM

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PREPARED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 61 RANKIN ROAD  
 GLASTONBURY, CT 06033

REV: 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV: 3-25-07 TEMP. CUL-DE-SAC  
 REV: 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORIZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 3 OF 11  
 MAP NO. 117-04-1P



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 61 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE: (860)-669-0867

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

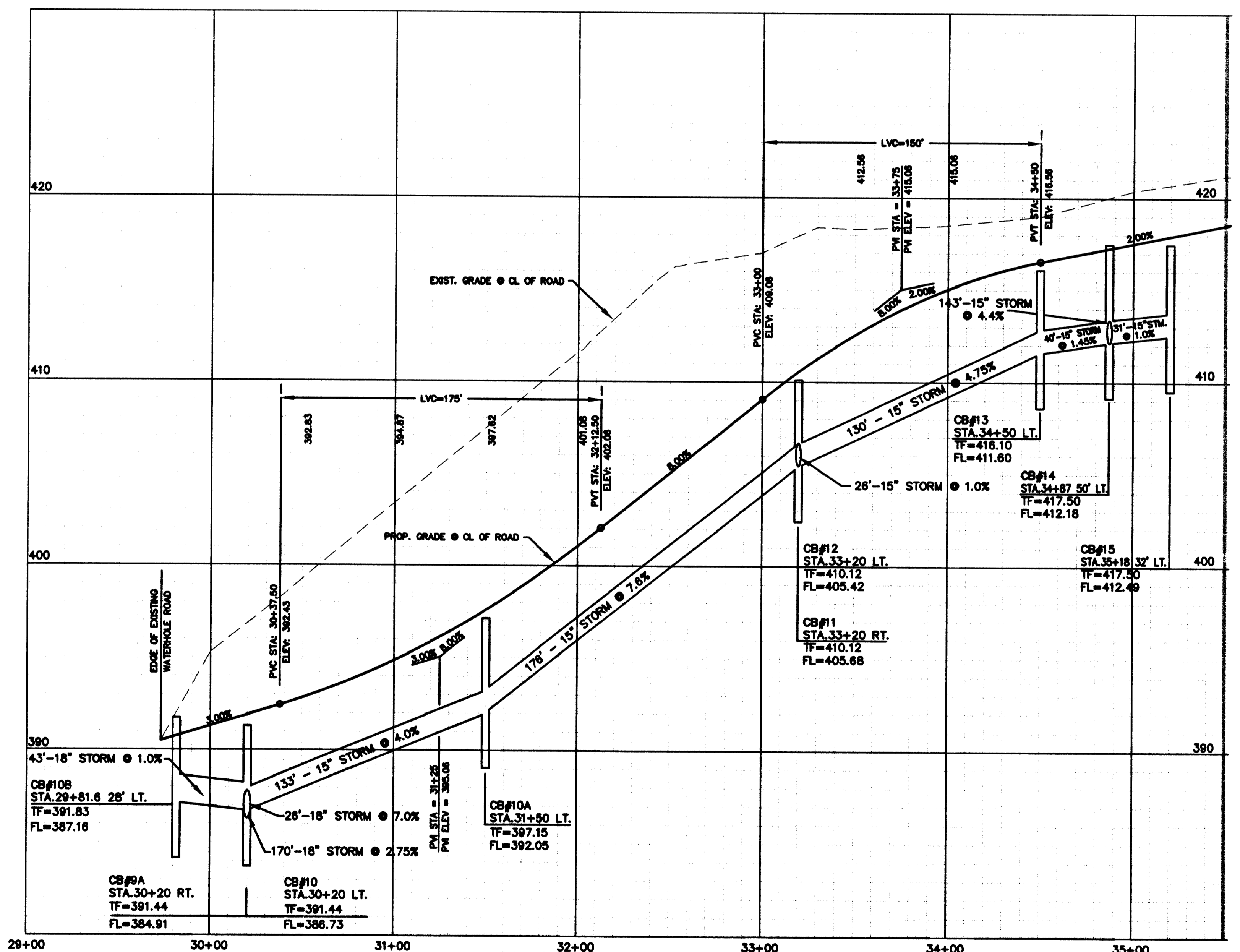
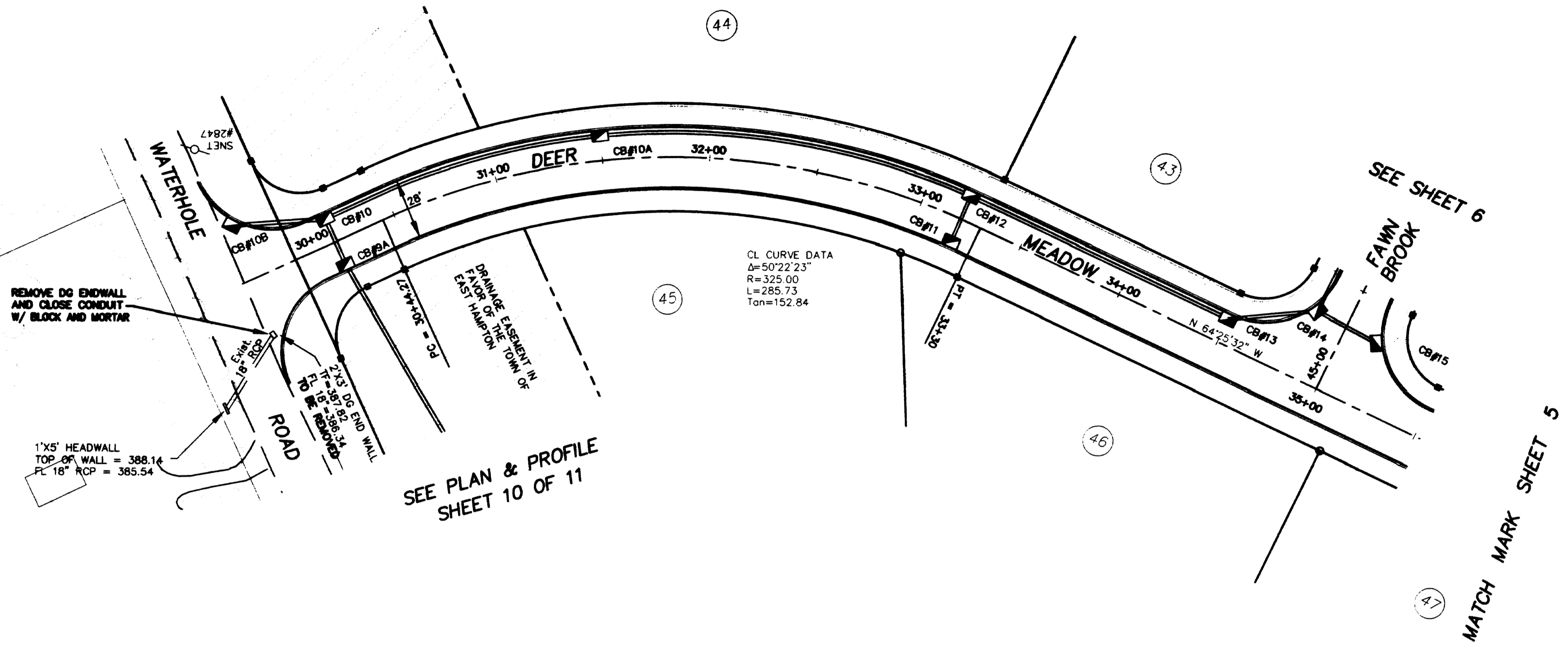
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Approved by the East Hampton Wetlands Agency  
*John M. Ryan* 7-3-07  
 DATE

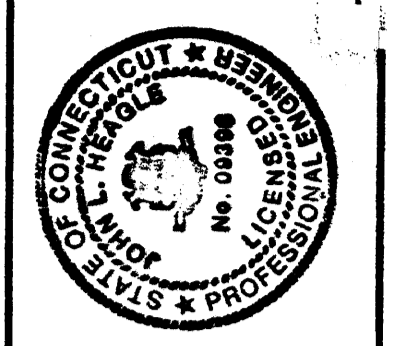
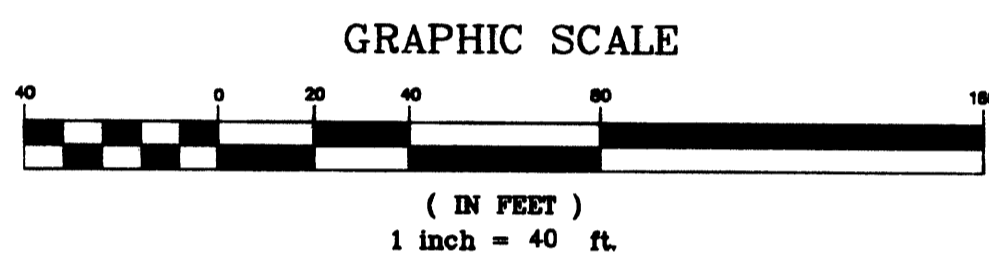
Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Chad C. K.*  
 Chairman  
 Date: 7-10-07  
 Expiration Date:

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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SCALE:  
 HORZ. 1" = 40'  
 VERT. 1" = 4'



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
*John L. Heagle*  
 JOHN L. HEAGLE  
 P.E. # 9306

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-656-0567

PLAN & PROFILE  
**SALMON RUN ESTATES**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

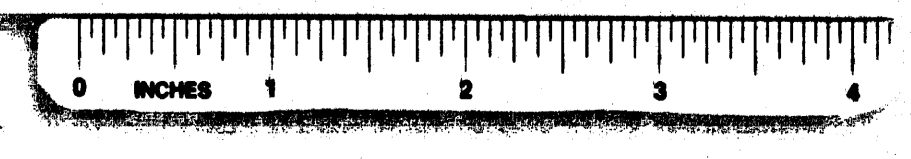
*Received for Record  
 7-17-07 10:56 AM*

OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PREPARED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
**MEGSON & HEAGLE**  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-29-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 4 OF 11  
 MAP NO. 117-04-1P



DRAWING NUMBER  
Page 9  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
Page 9  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
Vol 72  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

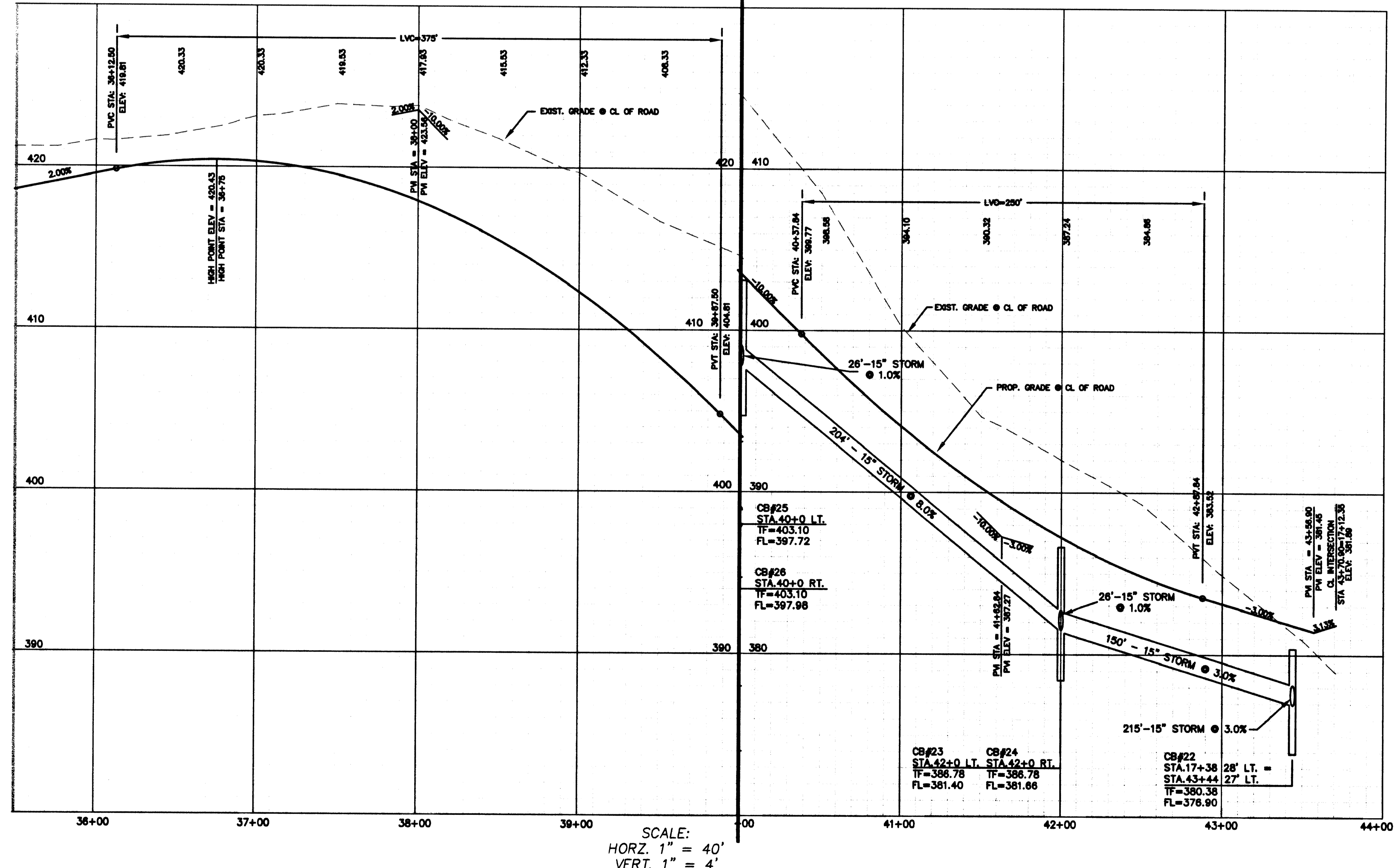
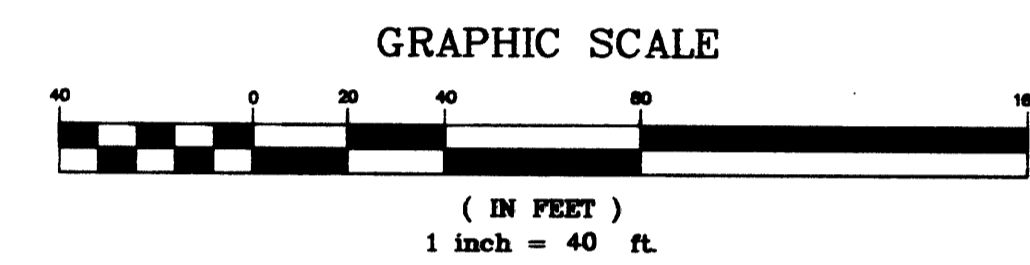
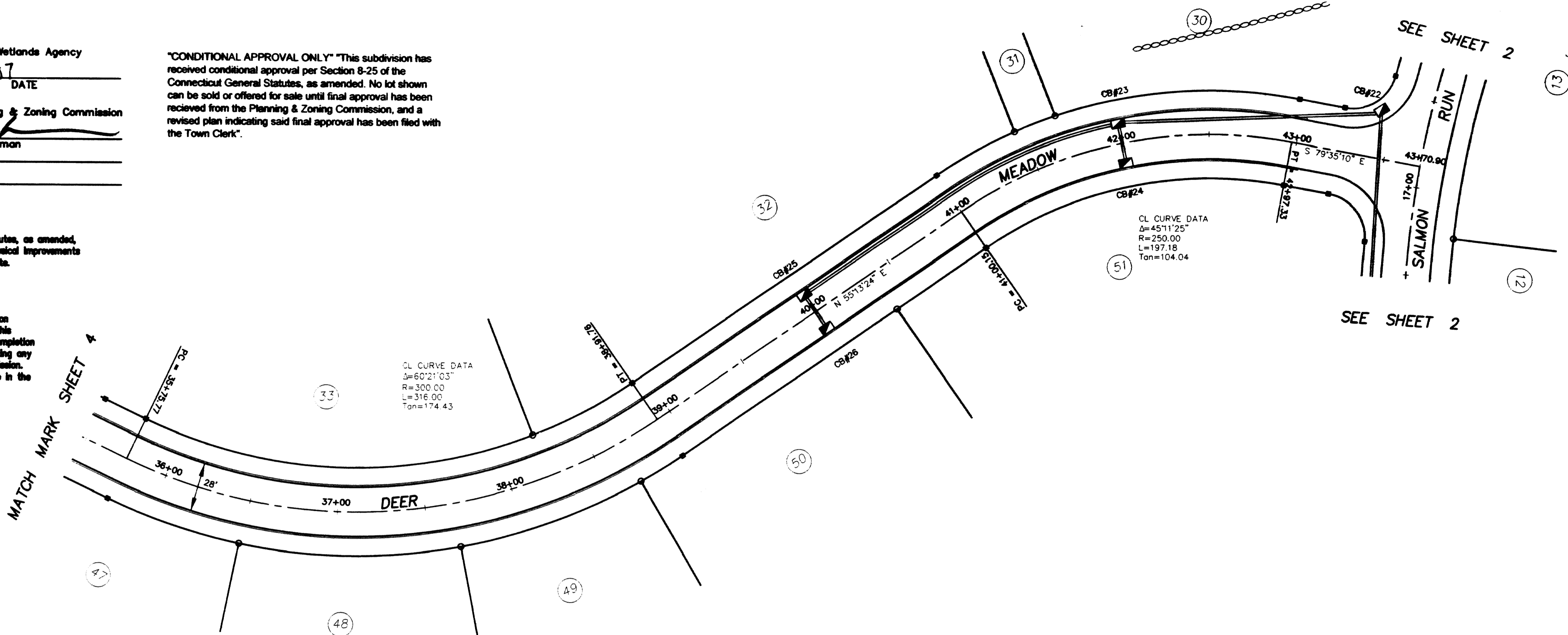
DRAWING NUMBER  
Vol 72  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

Approved by the East Hampton Wetlands Agency  
*John M. Dan* 7-3-07 DATE  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Charles R. K...*  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

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SCALE:  
 HORZ. 1" = 40'  
 VERT. 1" = 4'

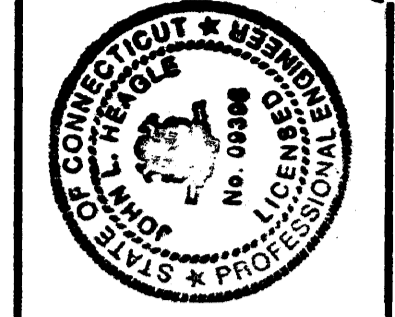
*Received for Record  
 7-17-07 10:57am*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV 3-25-07 TEMP. CUL-DE-SAC  
 REV 12-27-06 TOWN STAFF COMMENTS

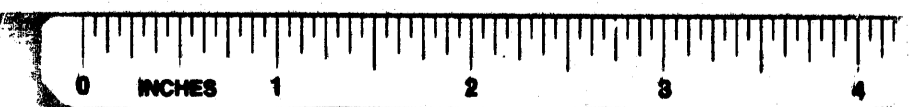
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 5 OF 11  
 MAP NO. 117-04-1P



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE P.E. # 9398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860) 669-0667

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



DRAWING NUMBER  
10

DRAWING NUMBER  
10

DRAWING NUMBER  
12

DRAWING NUMBER  
12

Approved by the East Hampton Inland Wetlands Agency

*John M. Moran* 7-3-07  
Chairman DATE

Approved by the East Hampton Planning & Zoning Commission

Final Approval *Chadwick*  
Chairman

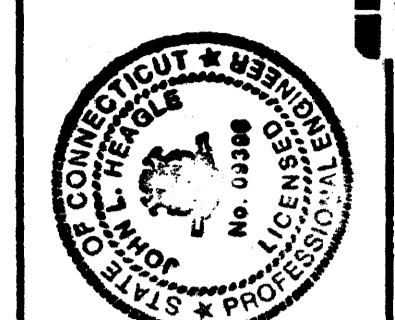
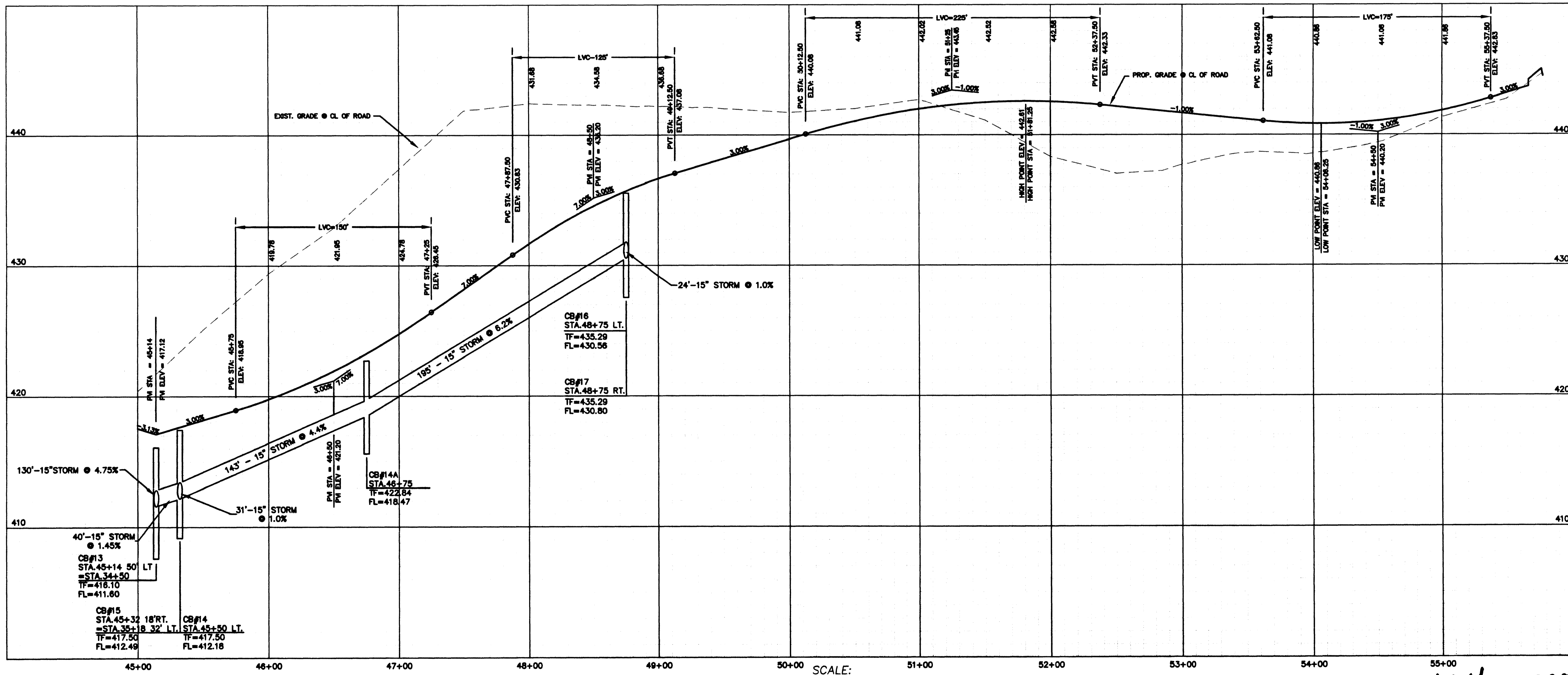
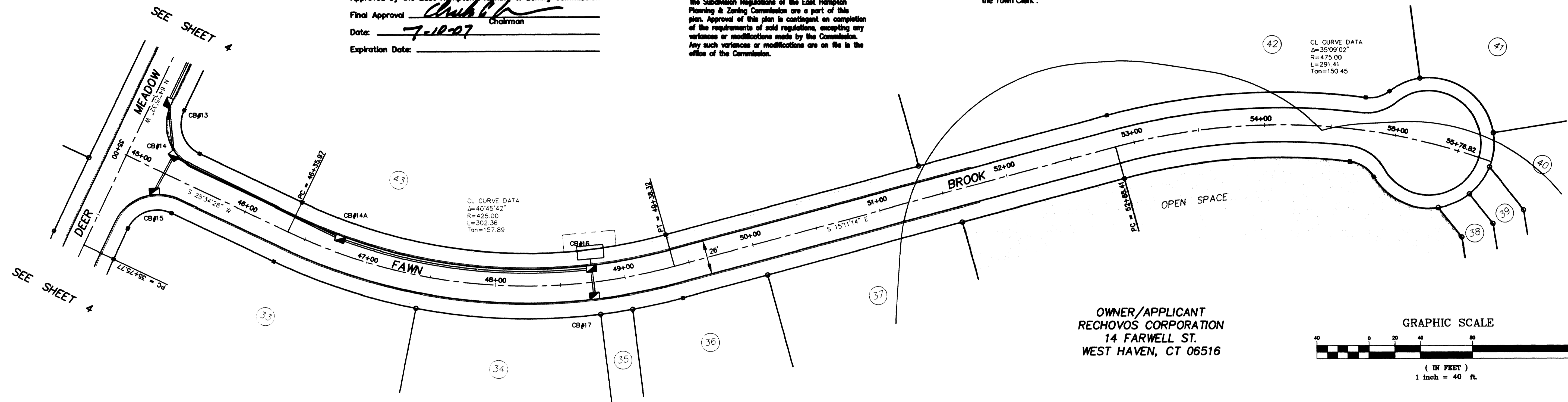
Date: 7-10-07

Expiration Date:

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 06033

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

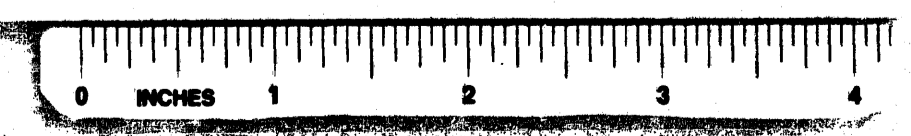
PLAN & PROFILE  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

DESIGNED BY  
CHECKED BY  
DRAWN BY  
DATE

OK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: HORZ. 1"=40'  
VERT. 1"=4'  
SHEET 6 OF 11  
MAP NO. 117-04-1P

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

Received for Record  
7/20/07 10:58 AM



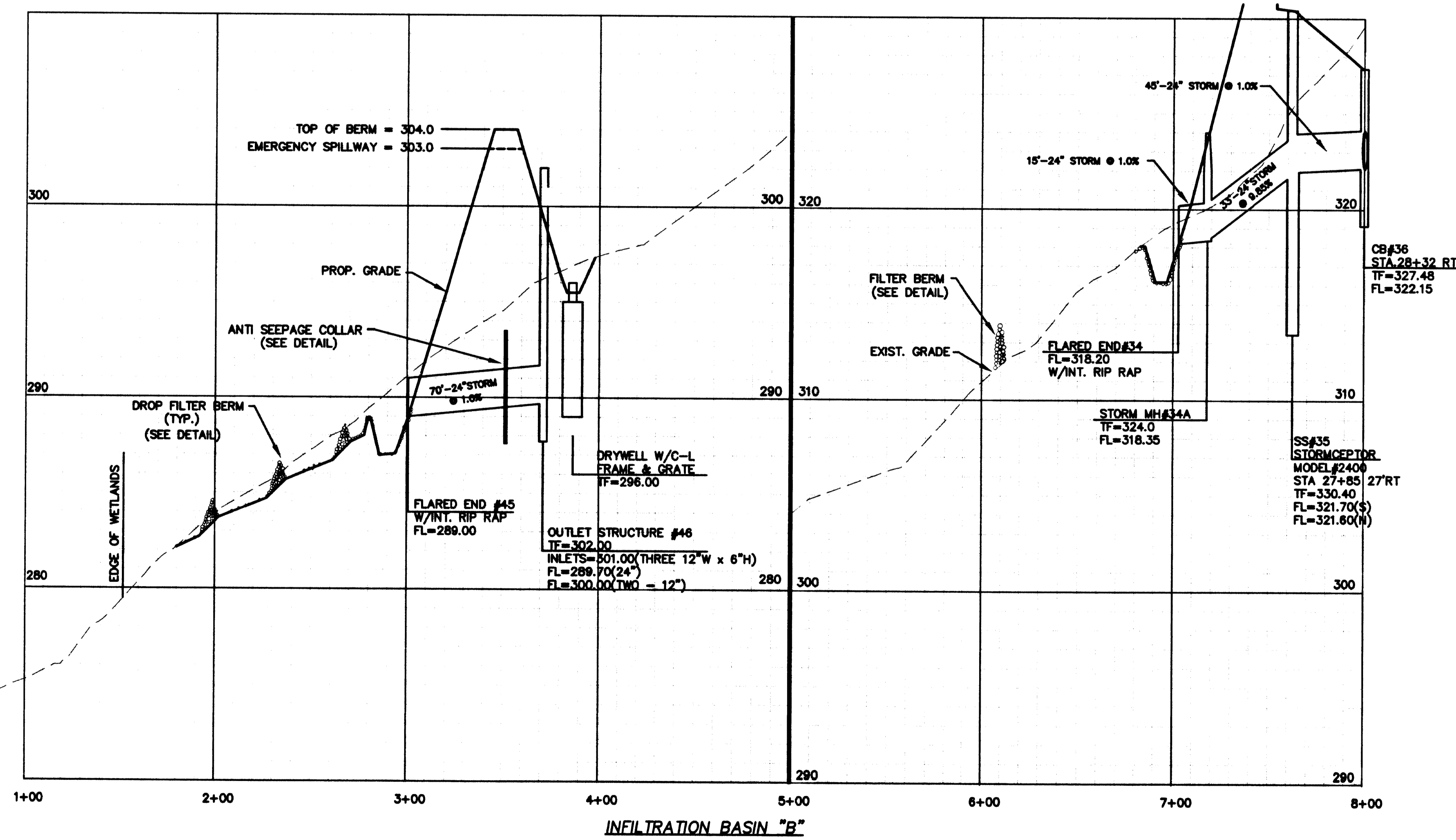
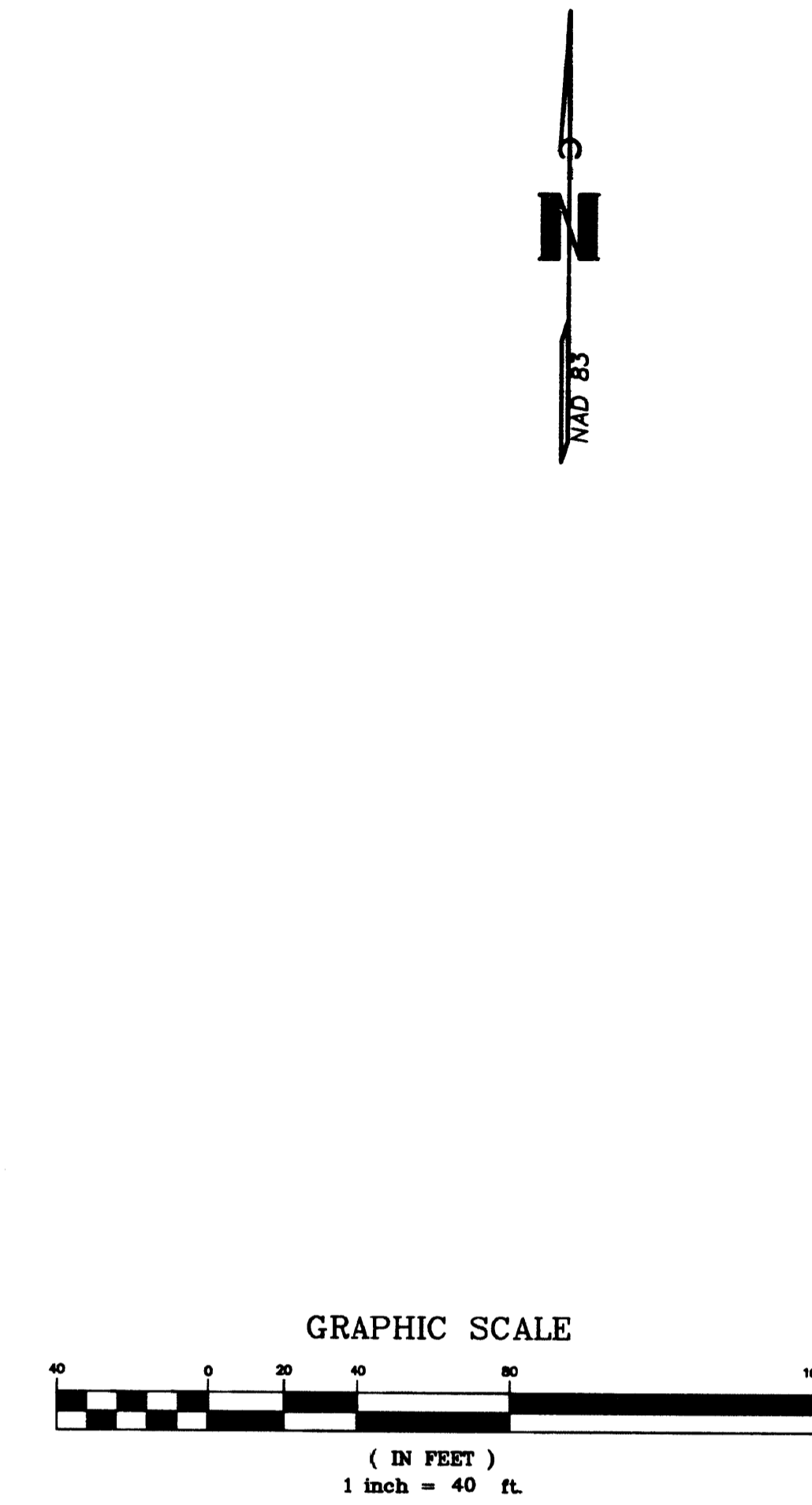
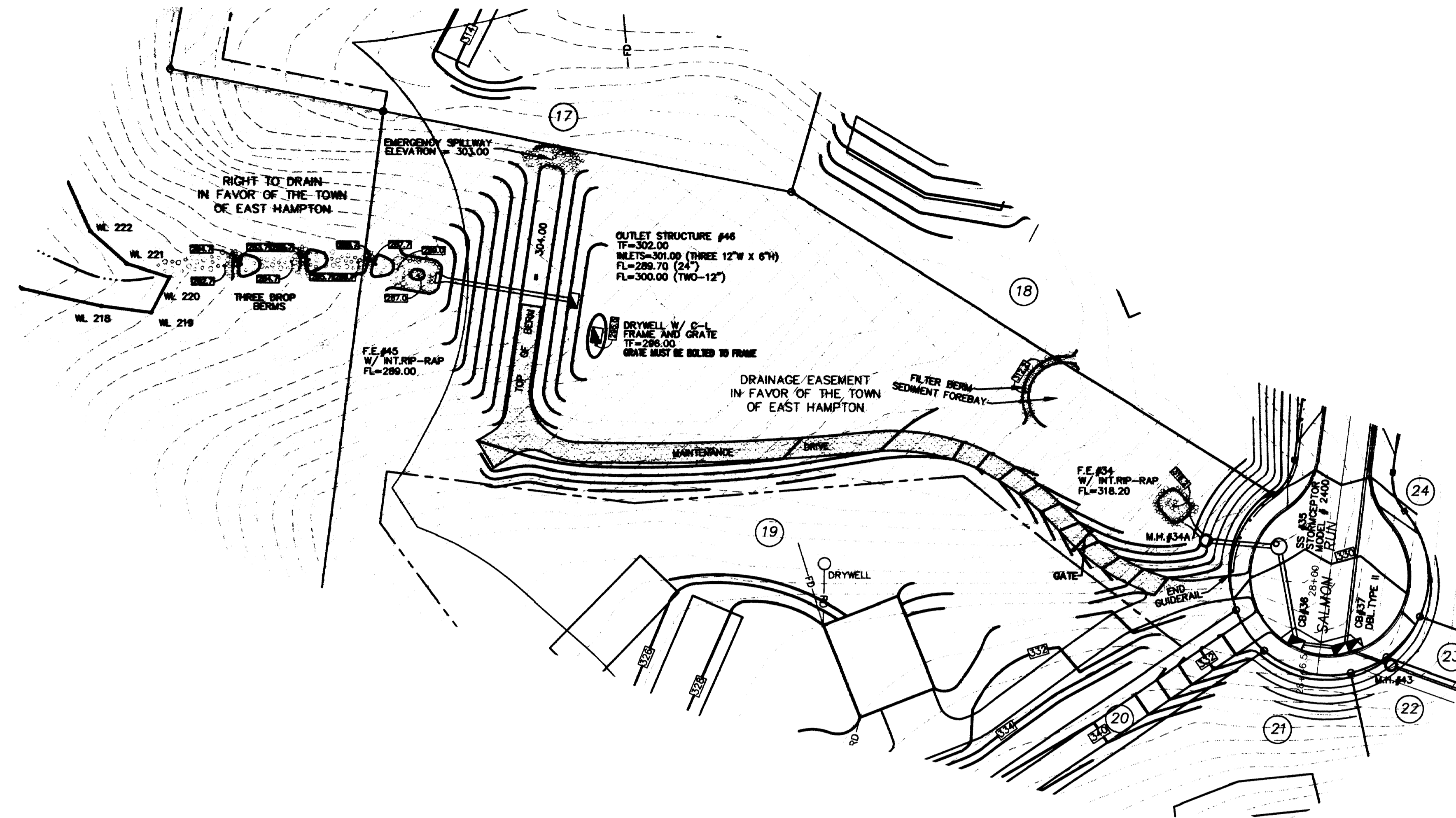
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Approved by the East Hampton Inland Wetlands Agency  
*John L. Heagle* 7-3-07  
 DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Chad R.*  
 Date: 7-10-07  
 Expiration Date:

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SCALE:  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

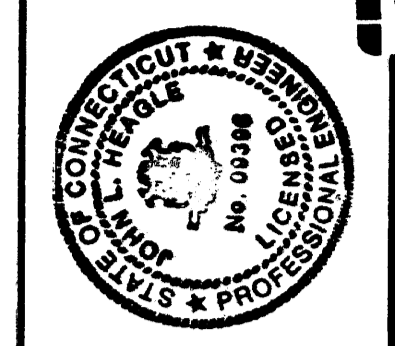
*Received for Record  
 7-17-07 10:59 AM*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWINGS ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 41 RANKIN ROAD  
 GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

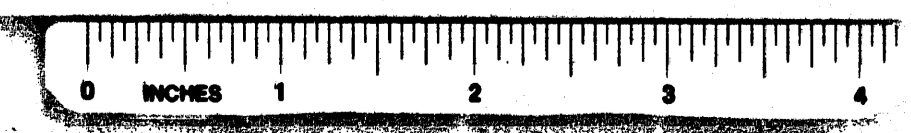
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORIZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 7 OF 11  
 MAP NO. 117-04-1P



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 41 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860) 669-0867

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



DRAWING NUMBER  
 Vol 12  
 PLAN FIELD CORPORATION • IRVINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Page 12  
 PLAN FIELD CORPORATION • IRVINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 12  
 PLAN FIELD CORPORATION • IRVINE, CALIFORNIA  
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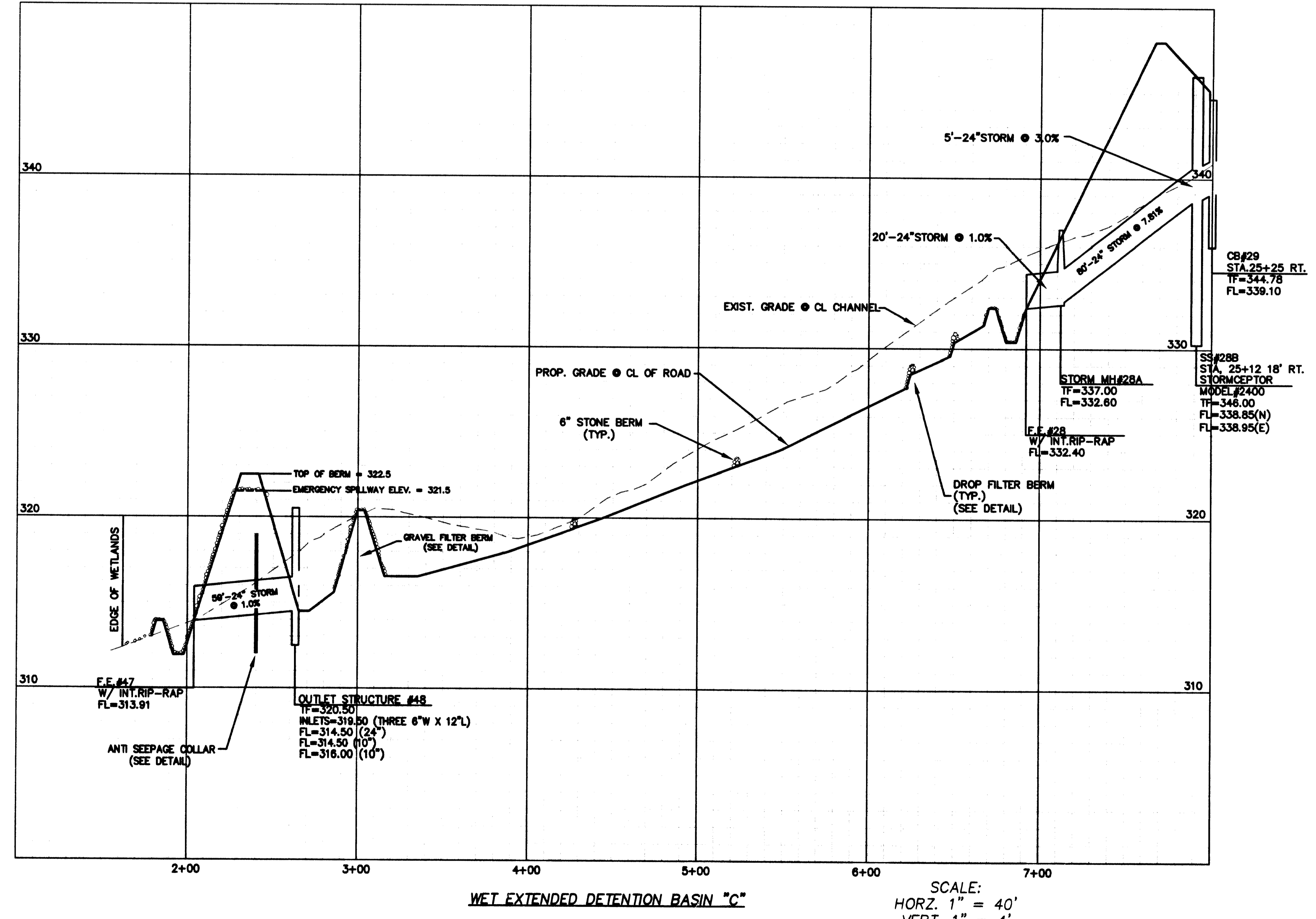
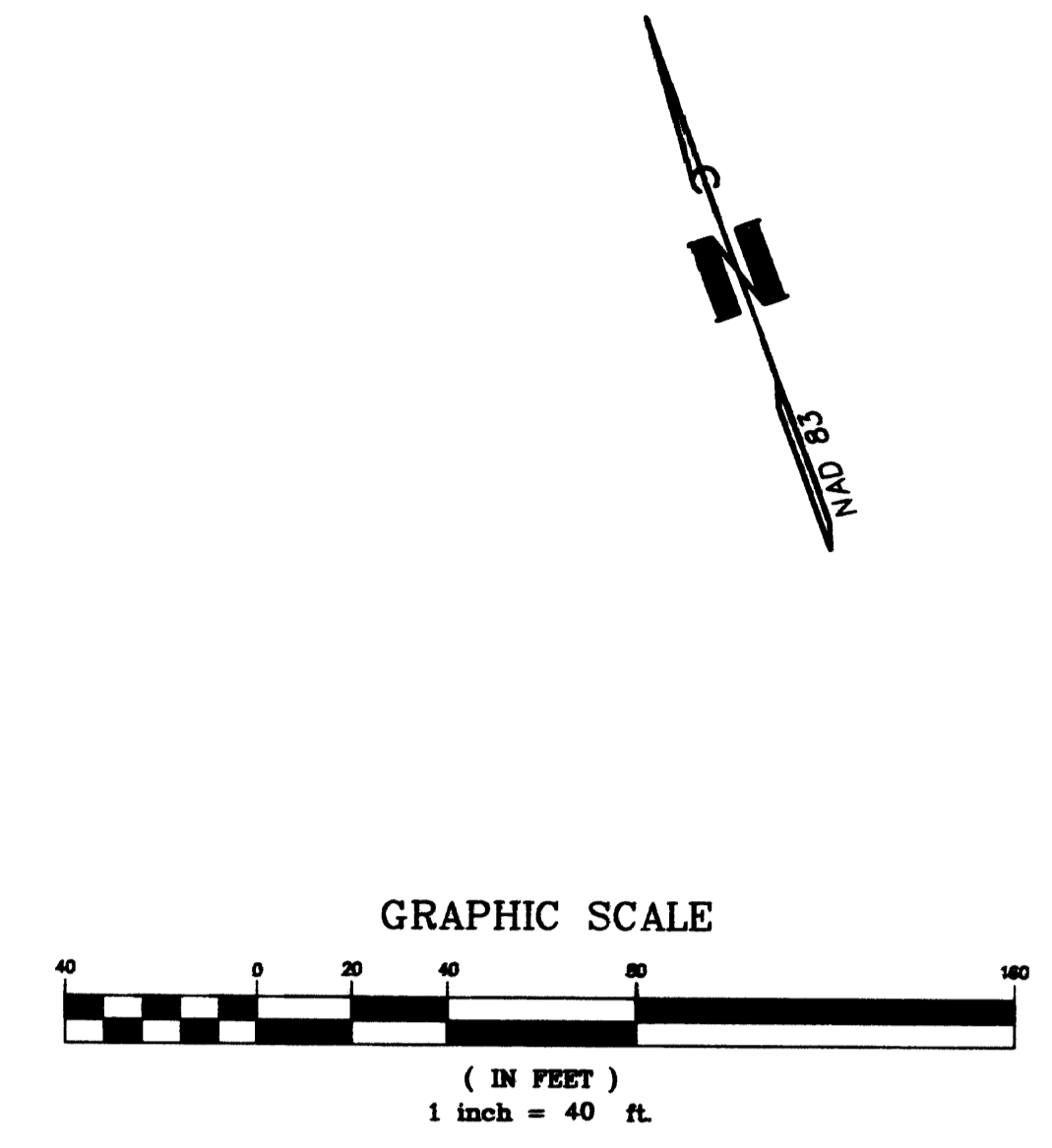
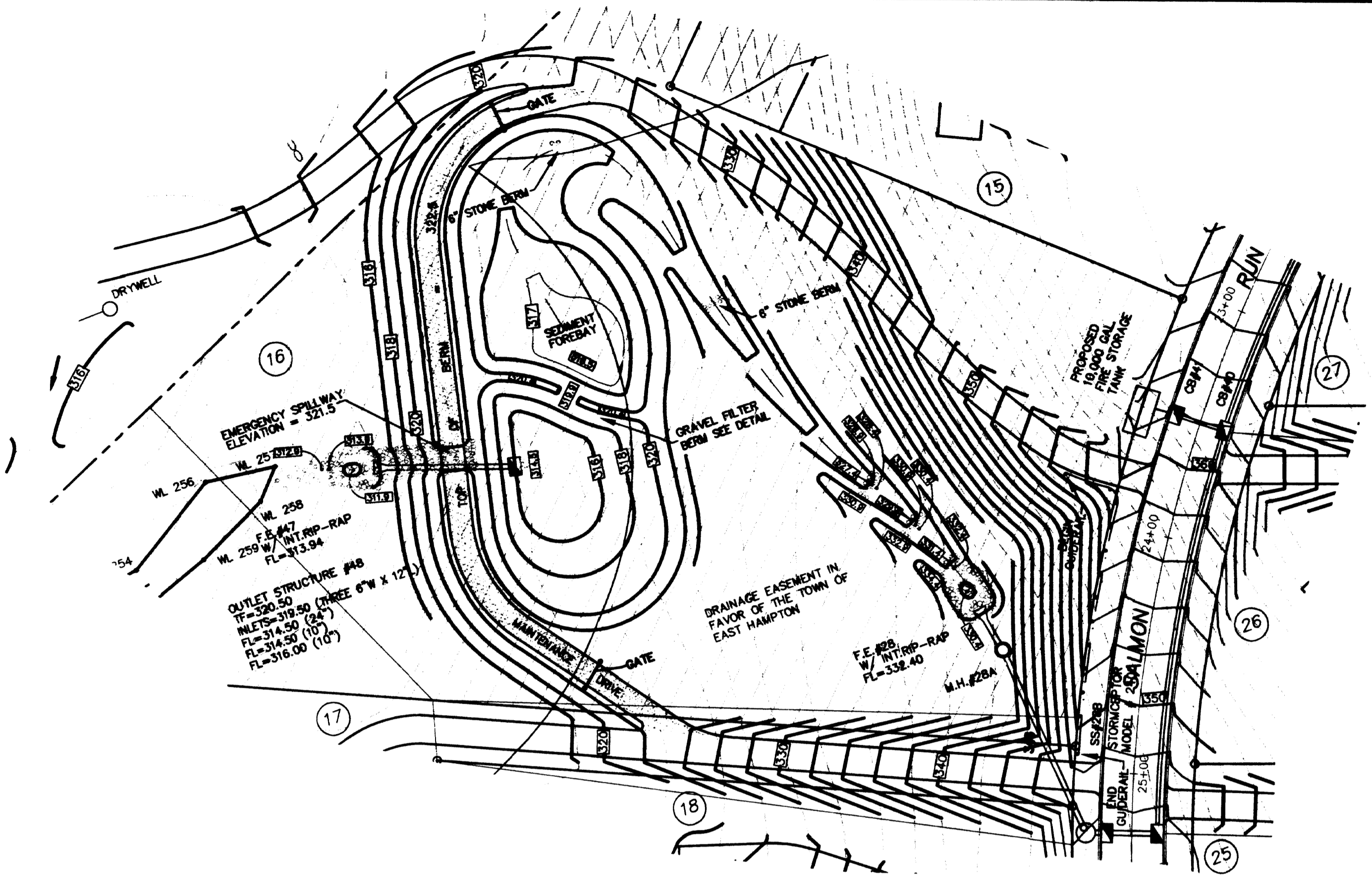
Approved by the East Hampton Inland Wetlands Agency  
 Jeffrey Moran 7-3-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature] 7-10-07  
 Chairman DATE

Expiration Date: \_\_\_\_\_

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*Reviewed for Record  
 7-17-07 11:00 AM*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

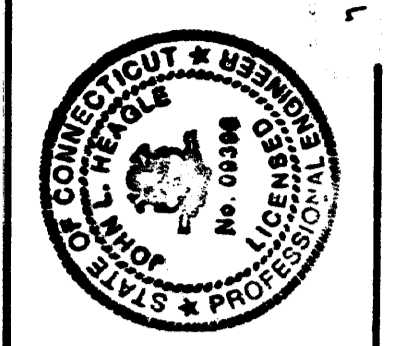
THIS MAP IS TO BE USED ONLY  
 ORIGINAL DRAWINGS ON  
 PULVERIZED FILM OR LITHO  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-23-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN SHIRT COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORIZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 8 OF 11  
 MAP NO. 117-04-1P

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



I HEREBY BELIEVE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398



DRAWING NUMBER  
 Vol 13

DRAWING NUMBER  
 Page 13

DRAWING NUMBER  
 Vol 12

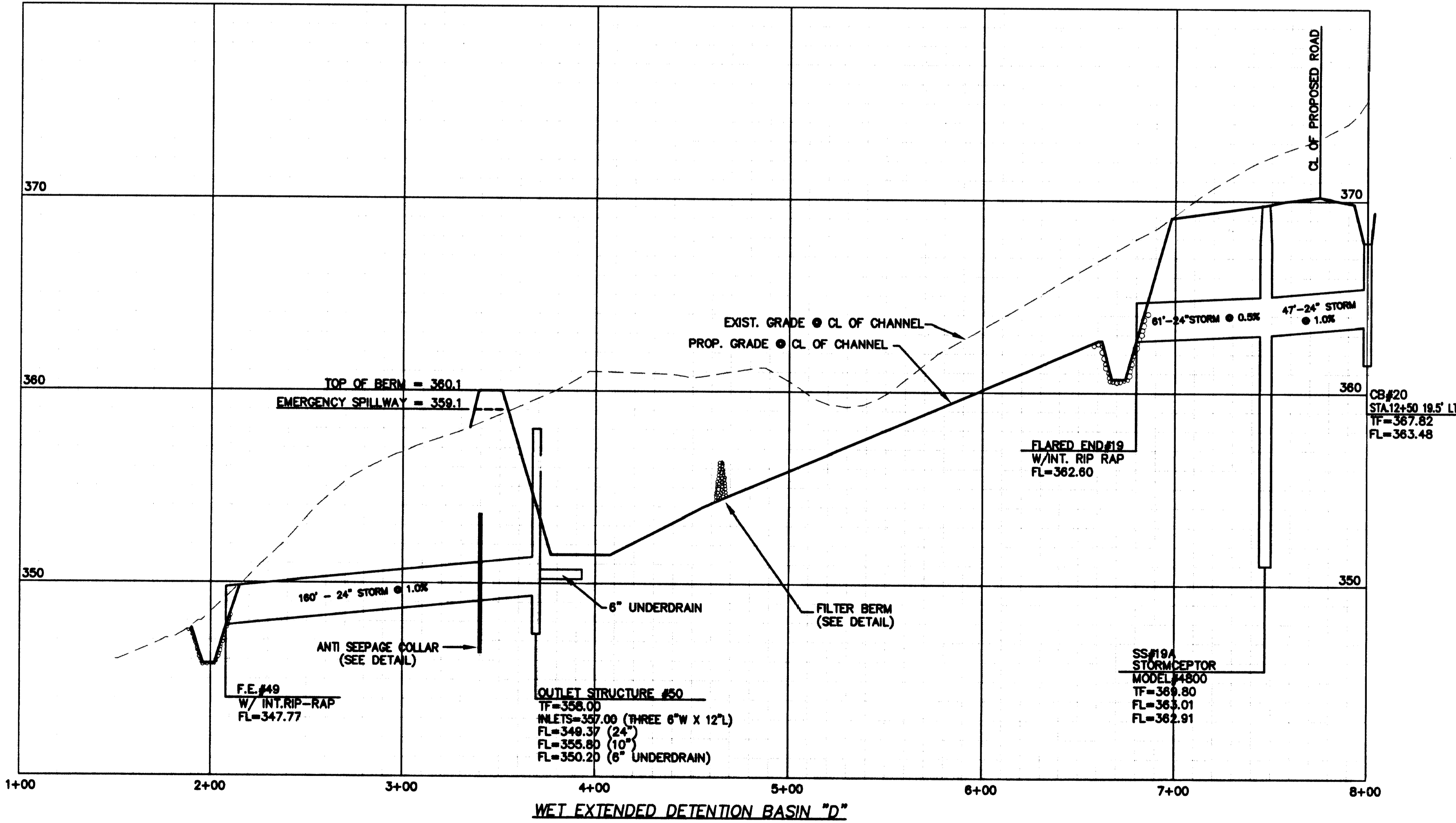
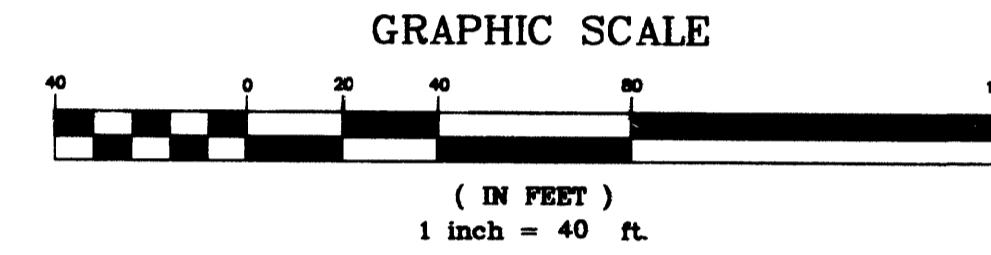
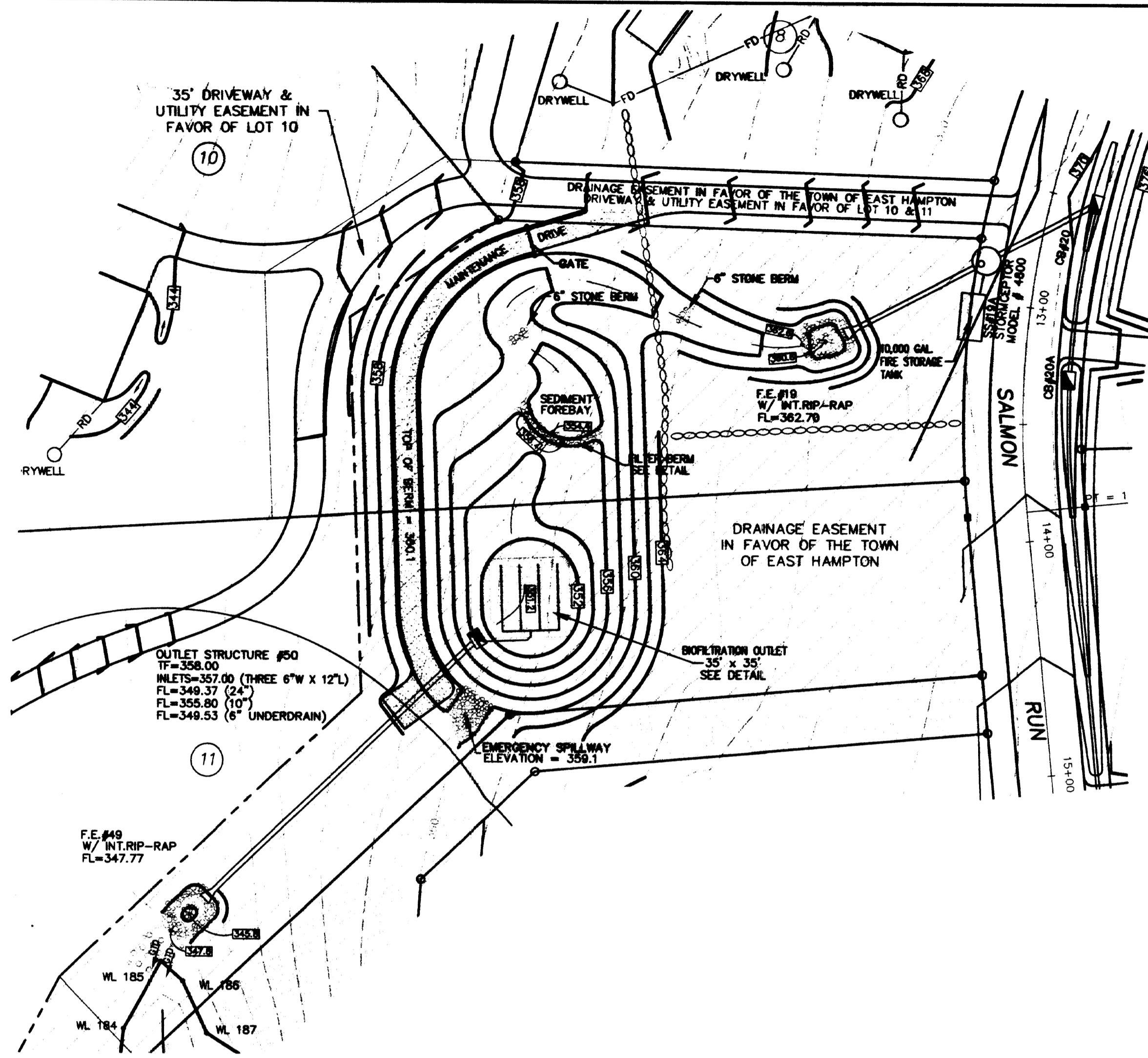
DRAWING NUMBER  
 Vol 11

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Approved by the East Hampton Wetlands Agency  
 [Signature] DATE: 7-3-07  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: [Signature]  
 Date: 7-10-07  
 Expiration Date:

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WET EXTENDED DETENTION BASIN "D"  
 SCALE:  
 HORZ. 1" = 40'  
 VERT. 1" = 4'

*Received for Record  
 7-17-07 11:21 AM*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516  
 THIS MAP PRINTED ON ORIGINAL DRAWING OR POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

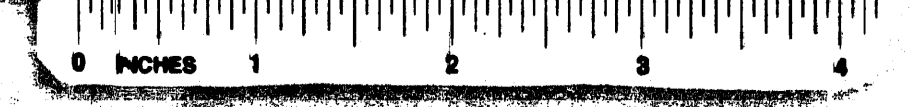
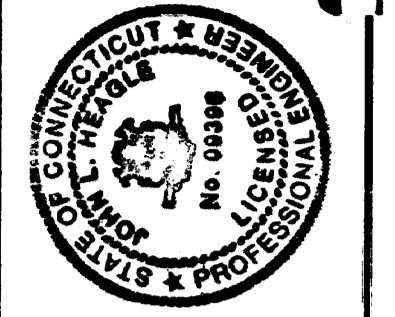
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 6-22-07 TOWN STAFF COMMENTS  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 9 OF 11  
 MAP NO. 117-04-1P

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860) 659-0857

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 [Signature]  
 JOHN L. HEAGLE  
 P.E. # 5306



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

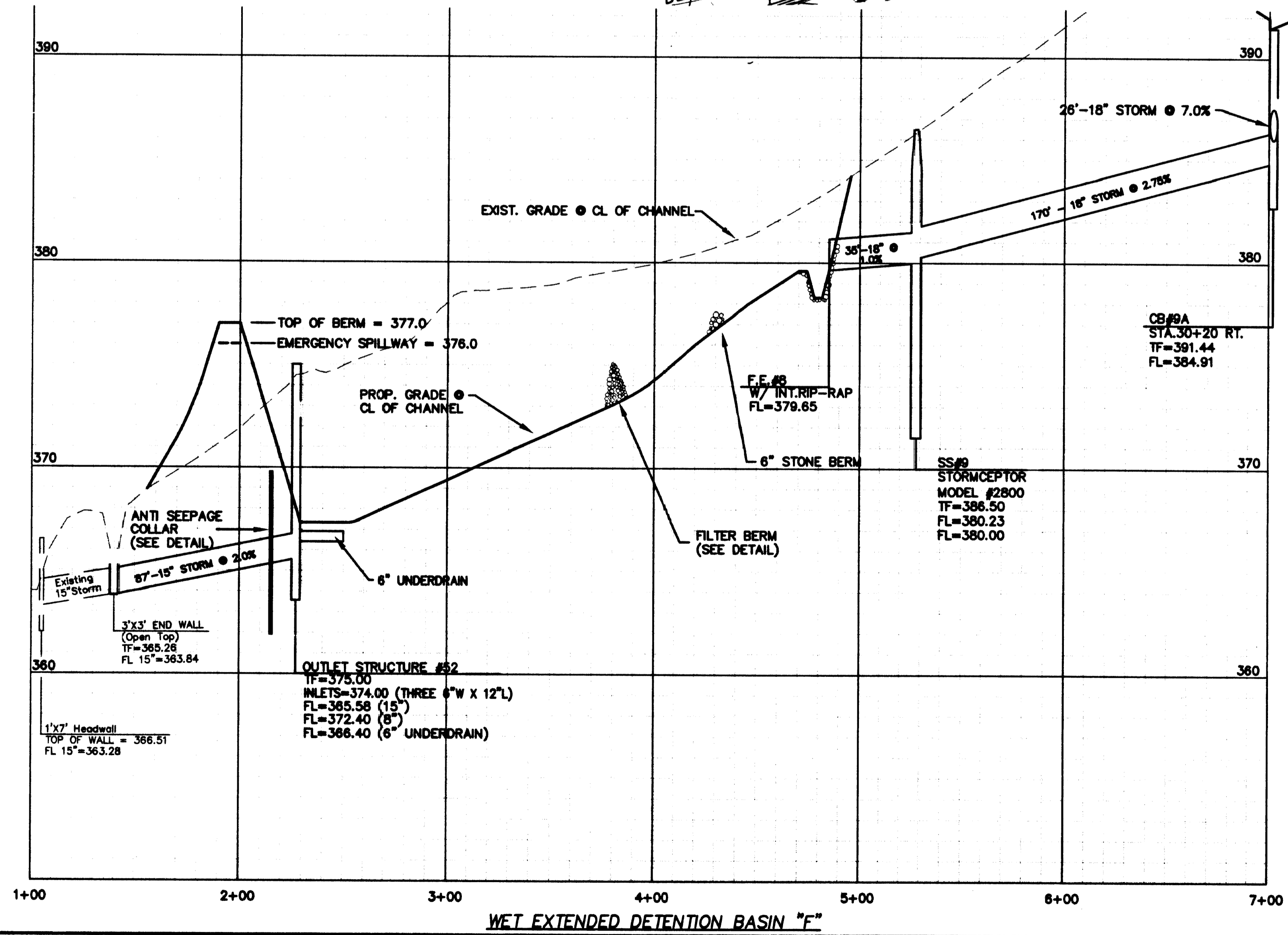
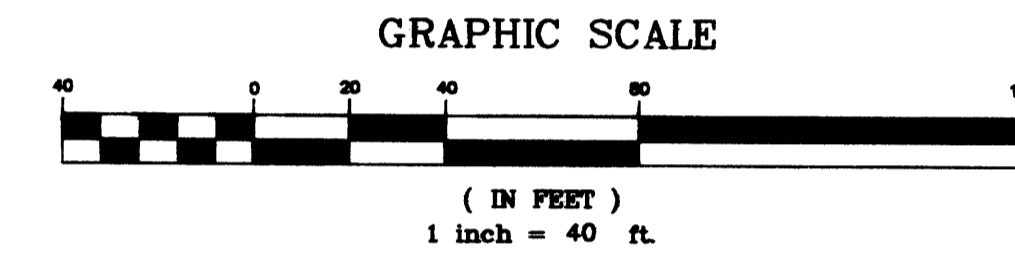
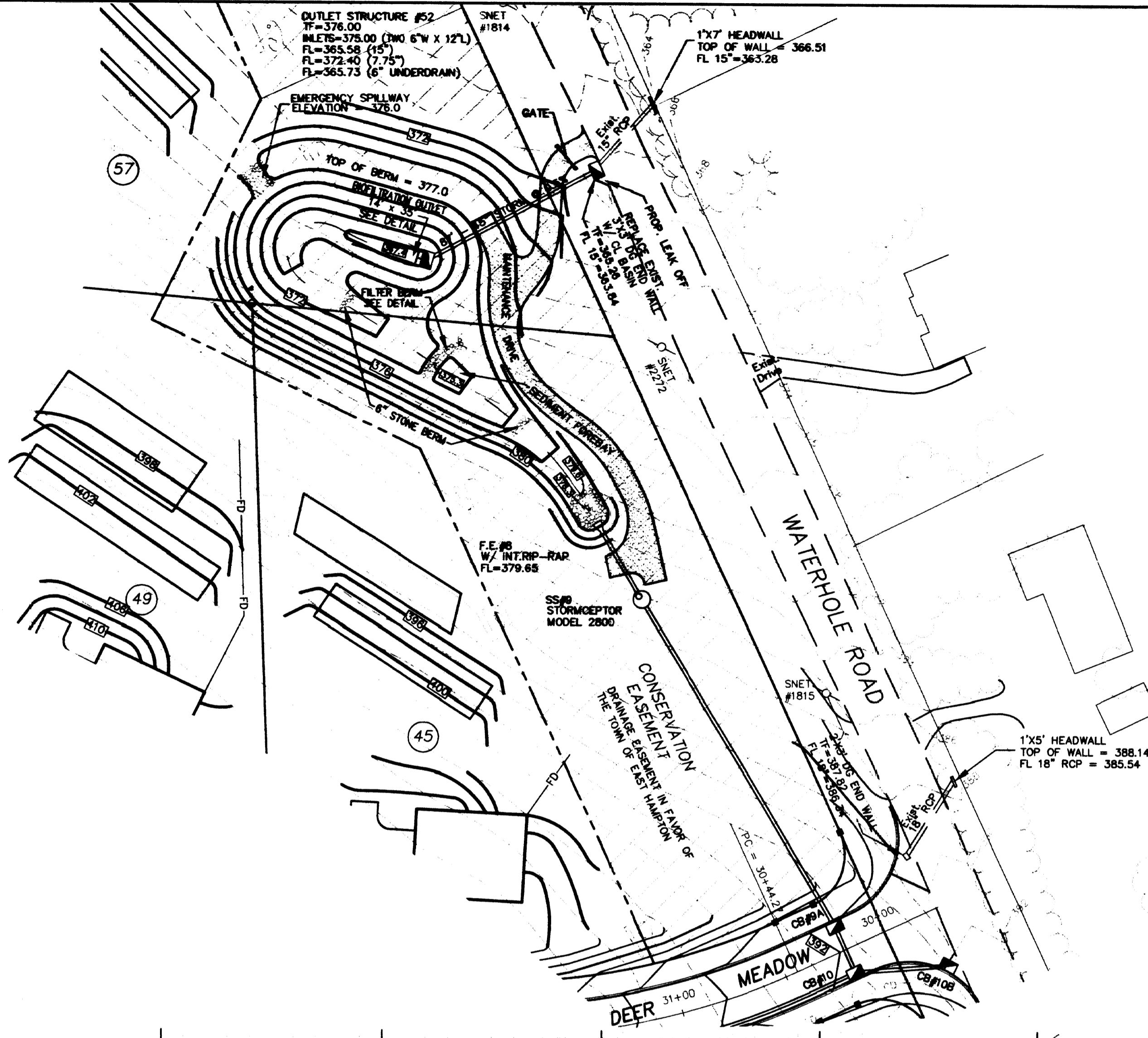
Approved by the East Hampton Inland Wetlands Agency  
 [Signature] 7-3-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature]  
 Date: 7-10-07 Chairman

Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approved automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, accepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



*Received & Record  
 7-17-07 11:02 AM*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

SCALE:  
 HORZ. 1" = 40'  
 VERT. 1" = 4'

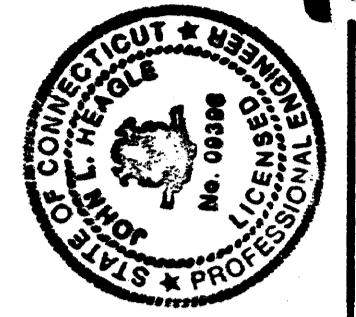
THIS MAP PRODUCED BY  
 ORIGINAL DRAWING ON  
 POLYETHYLENE OR LINEN  
 MEGSON & HEAGLE  
 61 RANKIN ROAD  
 GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

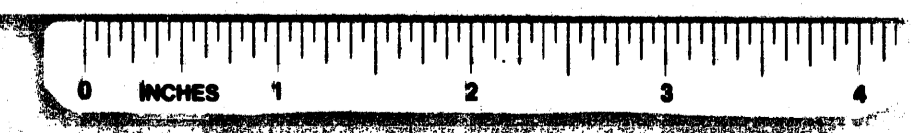
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1" = 40'  
 VERT. 1" = 4'  
 SHEET 10 OF 11  
 MAP NO. 117-04-1P

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 61 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860) 669-0887

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9398





DRAWING NUMBER  
Page 15

DRAWING NUMBER  
Page 15

DRAWING NUMBER  
Vol 72

DRAWING NUMBER

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

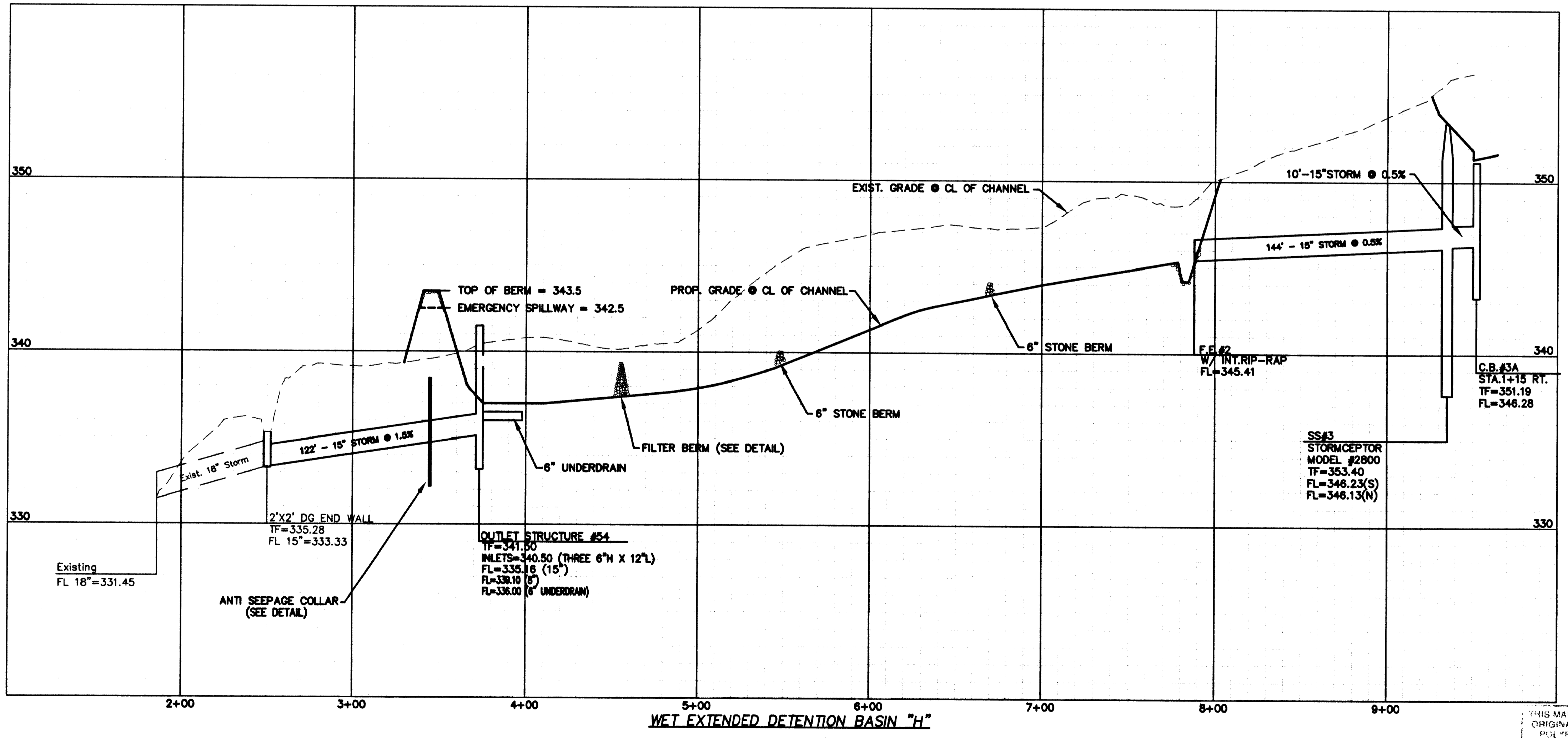
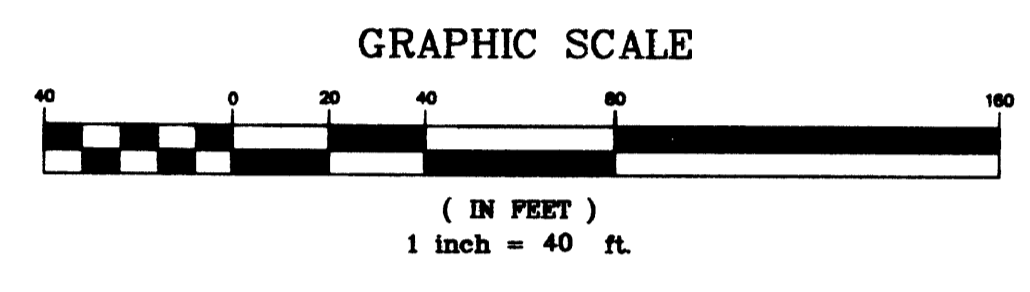
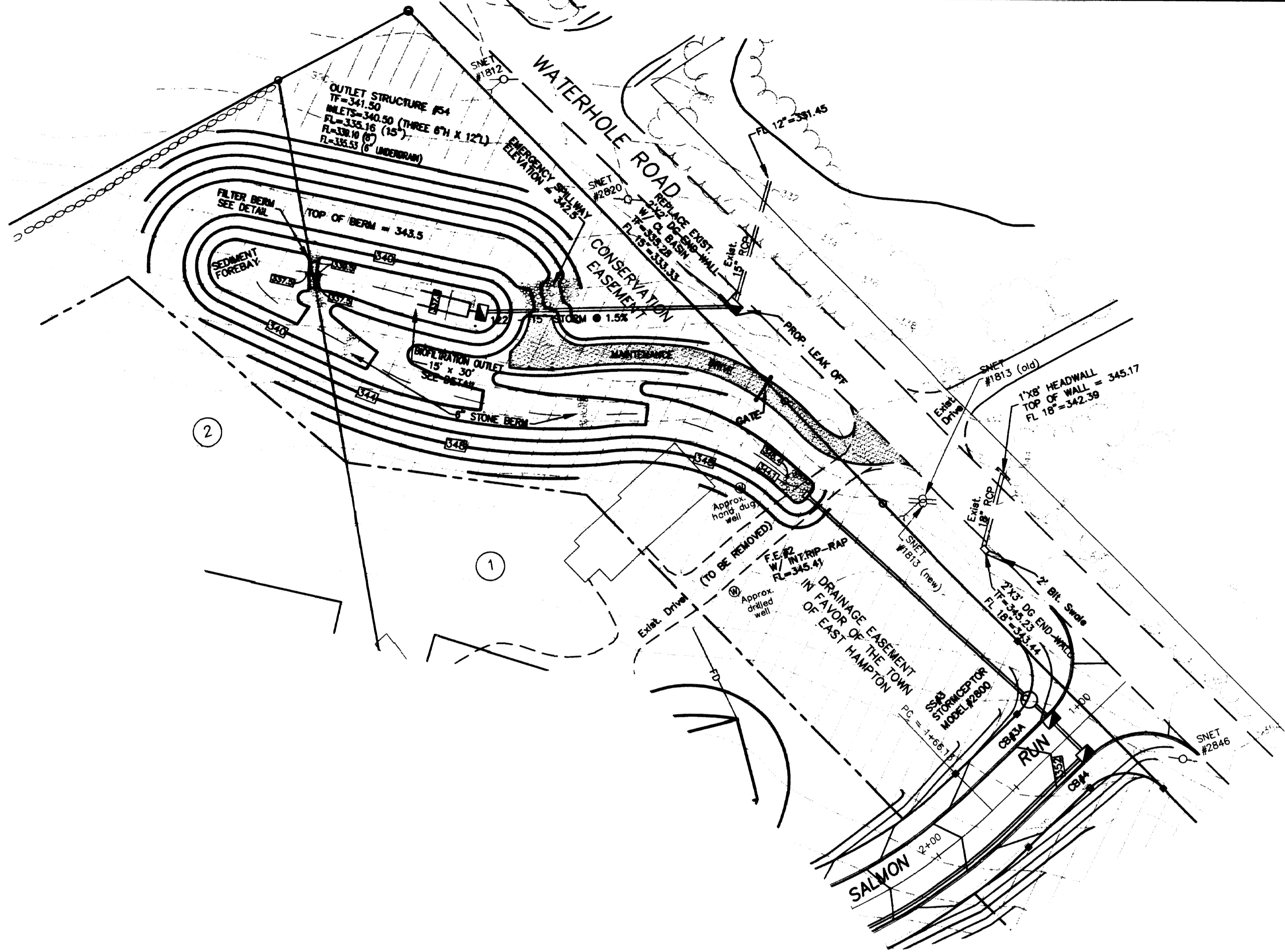
Approved by the East Hampton Inland Wetlands Agency  
*Jeffrey M. ...* 7-3-07  
 DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Clark ...*  
 Date: 7-10-07

Expiration Date:

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



*Received for Record  
7/17/07 11:03 AM*

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON PLOT FILM OR LINE IN MEGSON & HEAGLE 11 RANKIN ROAD GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 6-25-07 TEMP. CUT-DE-SAC COMMENTS  
 REV. 7-27-07 OWN. STREET COMMENTS

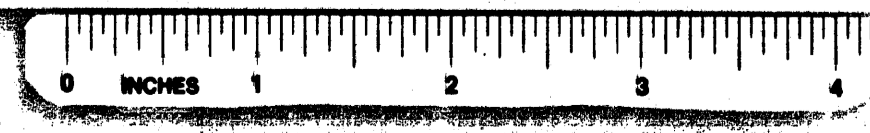
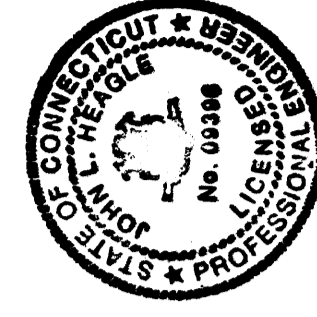
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 11 OF 11  
 MAP NO. 117-04-1P

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

PLAN & PROFILE  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

*John L. Heagle*  
 JOHN L. HEAGLE  
 P.E. # 9396



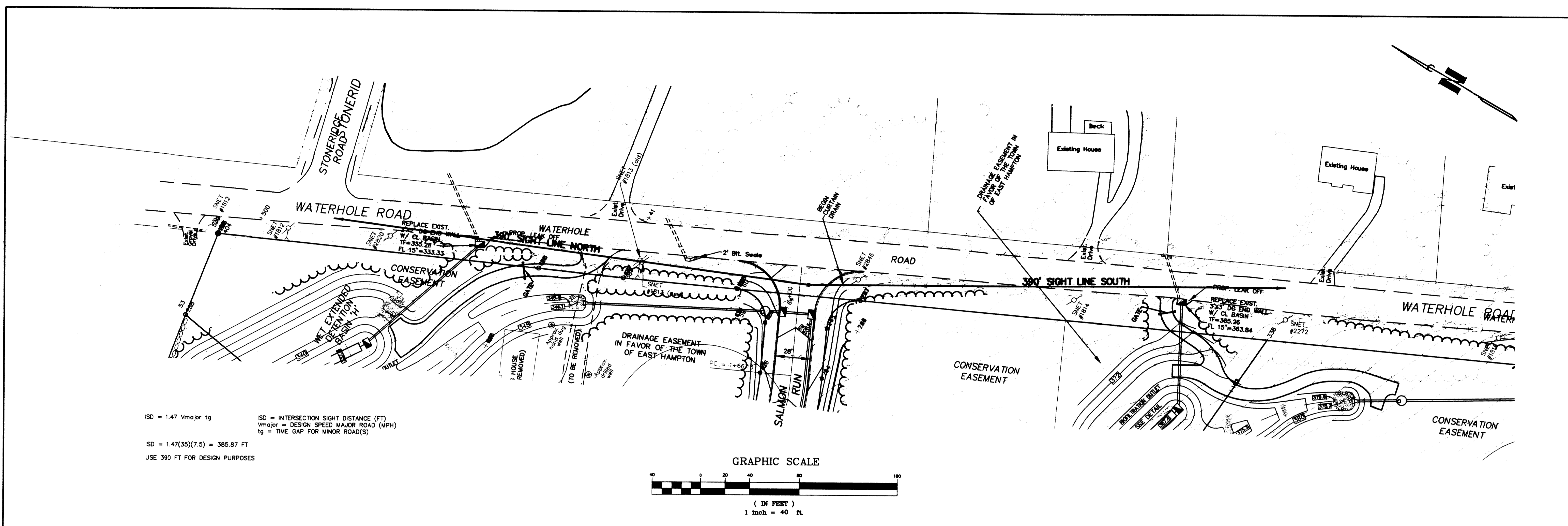
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 DRAWING NUMBER  
**Page 16**

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 DRAWING NUMBER  
**Page 16**

PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 DRAWING NUMBER  
**Vol 72**

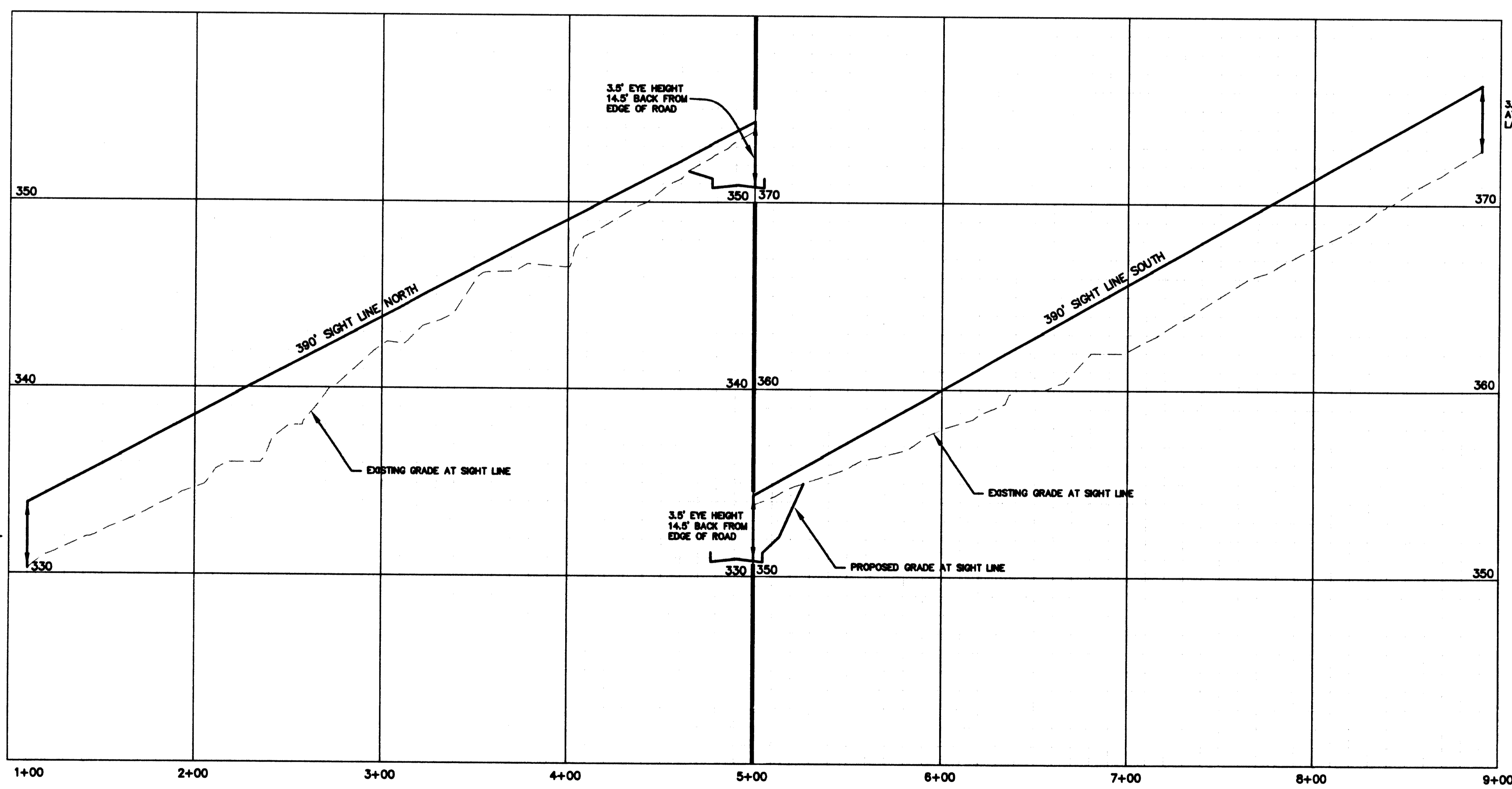
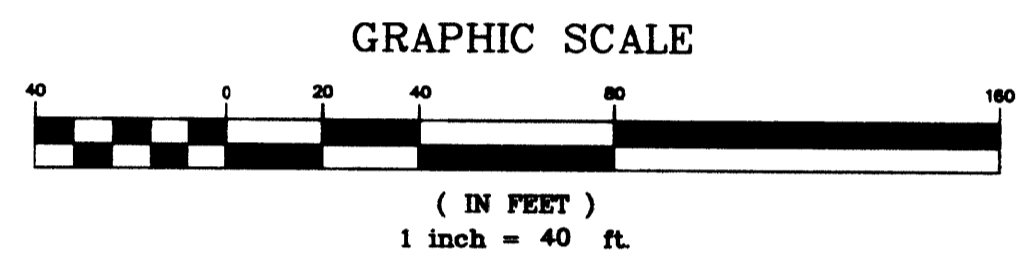
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
 DRAWING NUMBER

P:\DRAWING\1117\1117-04-15L.DWG 2007/07/17 11:04 AM EDT



ISD = 1.47 Vmajor tg  
 ISD = 1.47(35)(7.5) = 385.87 FT  
 USE 390 FT FOR DESIGN PURPOSES

ISD = INTERSECTION SIGHT DISTANCE (FT)  
 Vmajor = DESIGN SPEED MAJOR ROAD (MPH)  
 tg = TIME GAP FOR MINOR ROAD(S)



SCALE:  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is conditional on completion of the requirements of said regulations, including any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-25a of the Connecticut General Statutes, as amended, approval automatically expires on 7-3-07 if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Island Wetlands Agency  
*[Signature]* DATE: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval: *[Signature]* Chairman  
 Date: 7-10-07  
 Expiration Date:

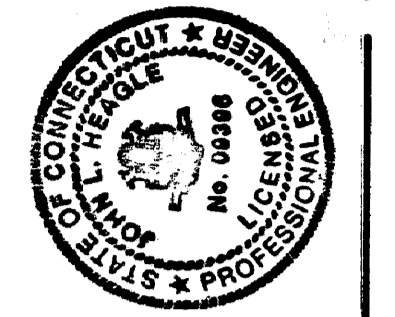
*Received for Record  
 7-17-07 11:04am*

OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYHELM OR LINEN  
**MEGSON & HEAGLE**  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

REV. 8-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 7-29-07 TOWN CLERK'S OFFICE COMMENTS  
 REV. 7-29-07 TOWN CLERK'S OFFICE COMMENTS

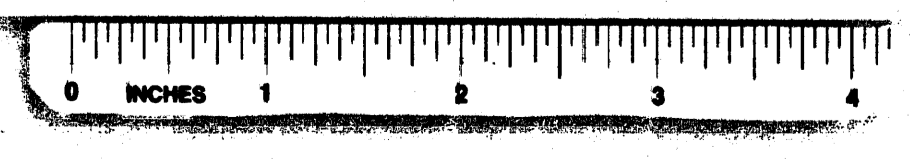
CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORIZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 1 OF 2  
 MAP NO. 117-04-15L



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JON L. HEAGLE  
 P.E. # 5086

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONNECTICUT 06033  
 PHONE (860)-659-0687

SIGHT LINE DEMONSTRATION MAP  
**SALMON RUN ESTATES**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.



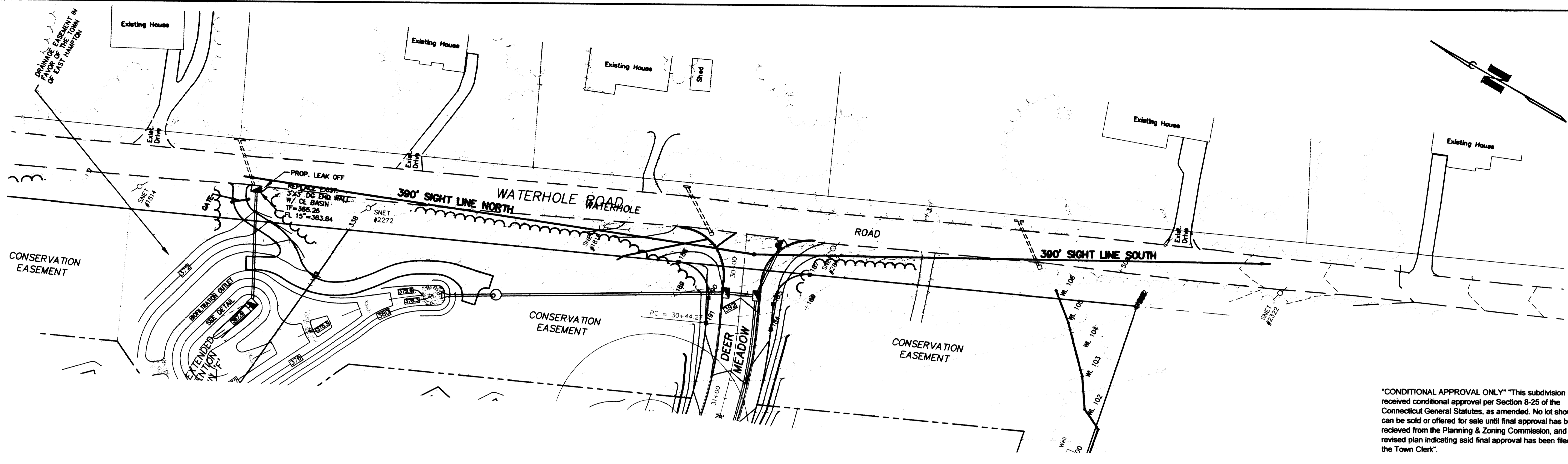
PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
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 Pg 17

DRAWING NUMBER  
 Page 17

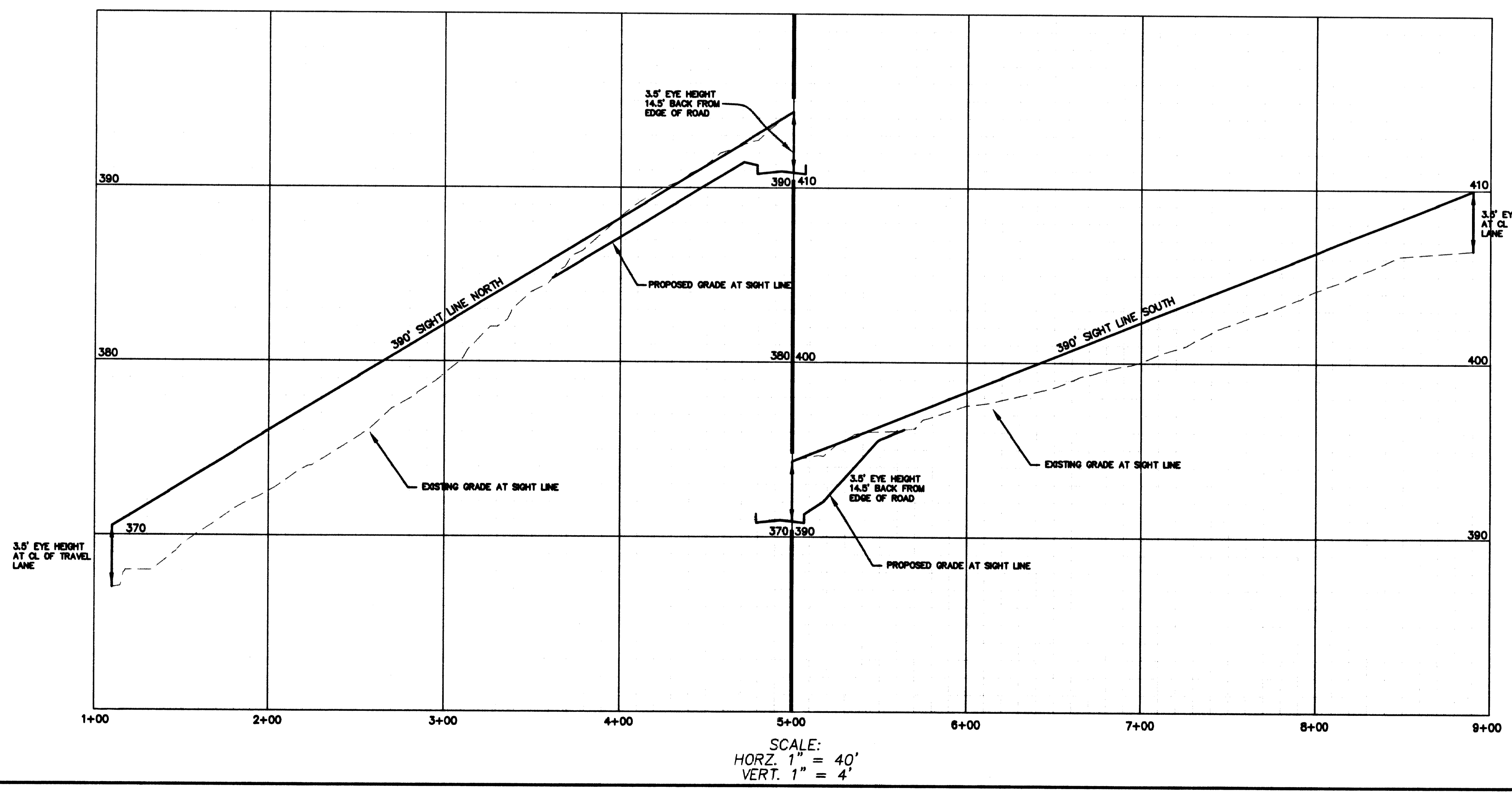
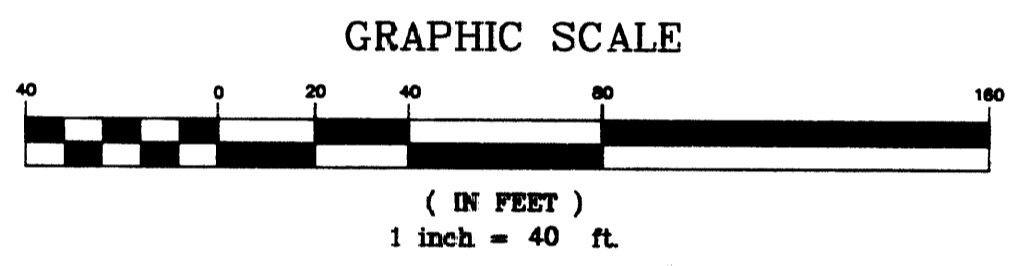
DRAWING NUMBER  
 Vol 72

DRAWING NUMBER

P:\CORPORATE\117\117-04\117-04-1S.DWG 07/27/07 C:\P14\PM.LIS



ISD = 1.47 Vmajor tg  
 ISD = INTERSECTION SIGHT DISTANCE (FT)  
 Vmajor = DESIGN SPEED MAJOR ROAD (MPH)  
 tg = TIME GAP FOR MINOR ROAD(S)  
 ISD = 1.47(35)(7.5) = 385.87 FT  
 USE 390 FT FOR DESIGN PURPOSES



SCALE:  
 HORZ. 1" = 40'  
 VERT. 1" = 4'

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, including any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.  
 For Section 8-25c of the Connecticut General Statutes, as amended, approved subdivision maps or plans if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Island Wetlands Agency  
 [Signature] 7-3-07  
 DATE  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature]  
 Date: 7-10-07  
 Expiration Date:

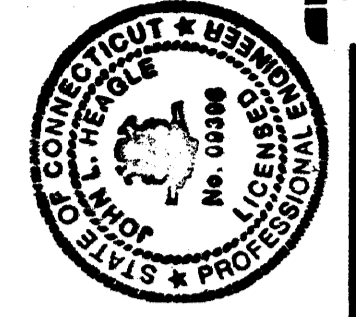
Received for Record  
 7-17-07 11:05 AM

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN MEGSON & HEAGLE 81 BARKIN ROAD GLASTONBURY, CT 06033

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

REV 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV 5-29-07 TEMP. QUL-DE-SAC  
 REV 12-27-06 TOWN STAFF COMMENTS  
 MAP NO. 117-04-1SL

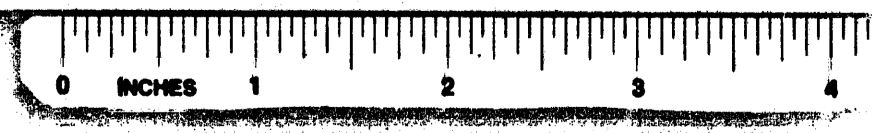
CHK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 2 OF 2



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN E. HEAGLE  
 P.E. # 9398

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 BARKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-869-0897

SIGHT LINE DEMONSTRATION MAP  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

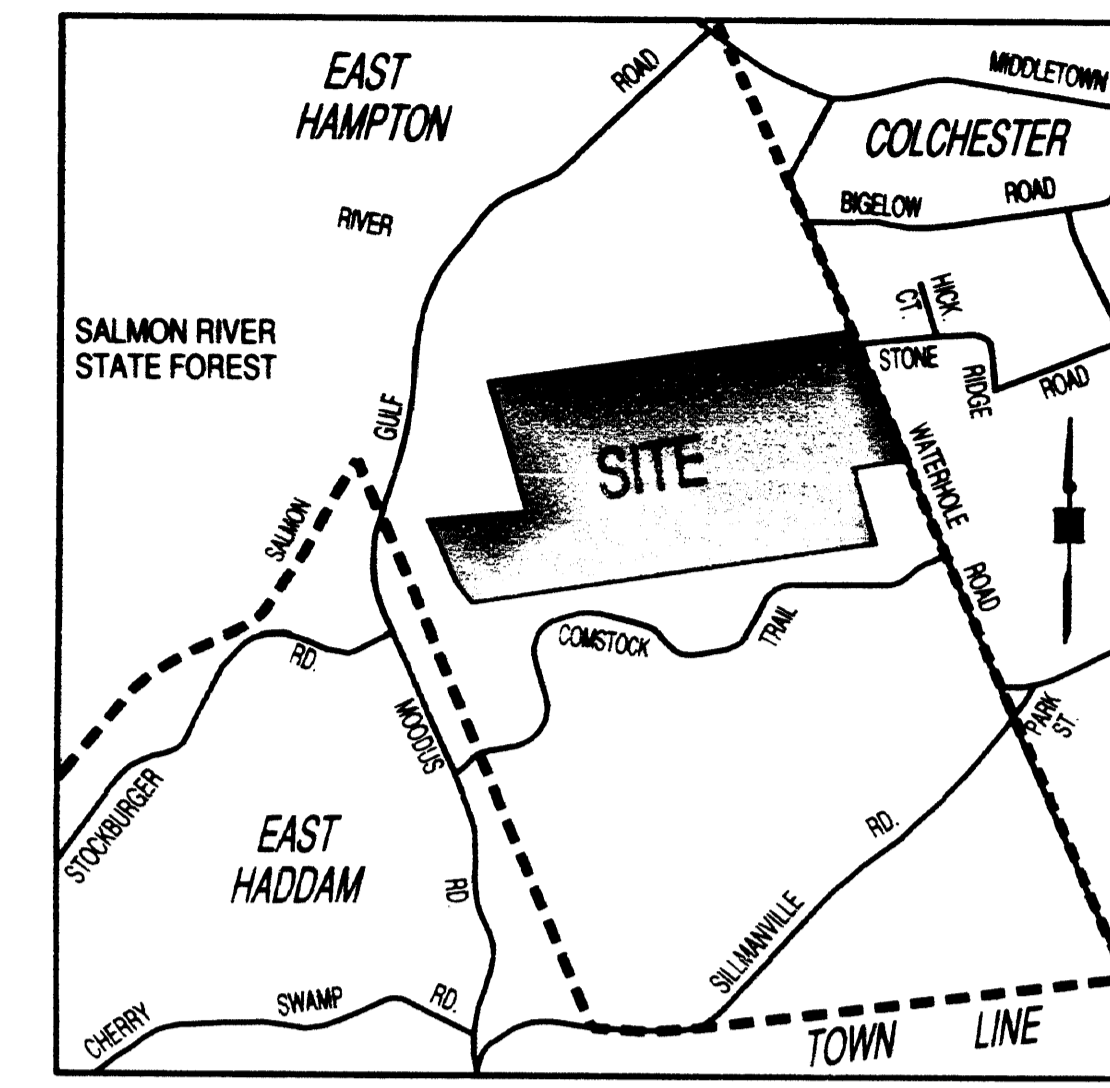


DWG. NO. 061157-001 (1/14/07)  
 BK 72 PG 18  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

DRAWING NUMBER  
 Page 18  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

DRAWING NUMBER  
 Vol 72  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA

DRAWING NUMBER  
 PLAN HOLD CORPORATION • IRVINE, CALIFORNIA



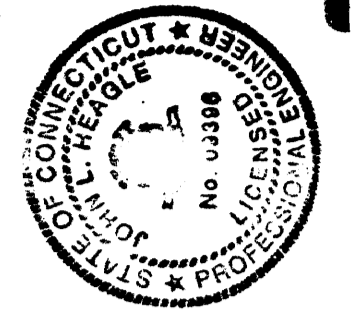
LOCATION MAP  
 SCALE: 1"=2000'

TOTAL PARCEL AREA = 201.038 AC  
 TOTAL LOTS AS SHOWN = 57 LOTS  
 OVERALL DENSITY = 0.28 UNITS/AC.  
 OPEN SPACE AREA = 9.4 AC (AREA 1)  
 107.29 AC (AREA 2)  
 116.69 AC (TOTAL) 58.04% OPEN SPACE  
 CONSERVATION EASEMENT AREA = 16.92 AC

- SOILS LEGEND**
- 3 - RIDGEBURY, LOCESTER AND WHITMAN SOILS, EXTREMELY STONY
  - 51B - SUTTON FINE SANDY LOAM, 2 TO 8 PERCENT SLOPES, VERY STONY
  - 51C - SUTTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY
  - 58C - OLDCASTER GRAVELLY SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY
  - 58D - OLDCASTER GRAVELLY SANDY LOAM, 15 TO 35 PERCENT SLOPES, EXTREMELY STONY
  - 60B - CANTON AND CHARLTON SOILS, 3 TO 8 PERCENT SLOPES
  - 60C - CANTON AND CHARLTON SOILS, 8 TO 15 PERCENT SLOPES
  - 61B - CANTON AND CHARLTON SOILS, 3 TO 8 PERCENT SLOPES, VERY STONY
  - 61C - CANTON AND CHARLTON SOILS, 8 TO 15 PERCENT SLOPES, VERY STONY
  - 62C - CANTON AND CHARLTON SOILS, 15 TO 35 PERCENT SLOPES, EXTREMELY STONY
  - 73C - CHARLTON-CHAFFIELD COMPLEX, 3 TO 15 PERCENT SLOPES, VERY ROCKY
  - 73E - CHARLTON-CHAFFIELD COMPLEX, 15 TO 45 PERCENT SLOPES, VERY ROCKY
- SOIL BOUNDARY - - - - -

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25c of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Wetlands Agency  
 [Signature] DATE 7-3-07  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature] DATE 7-17-07  
 Expiration Date: \_\_\_\_\_



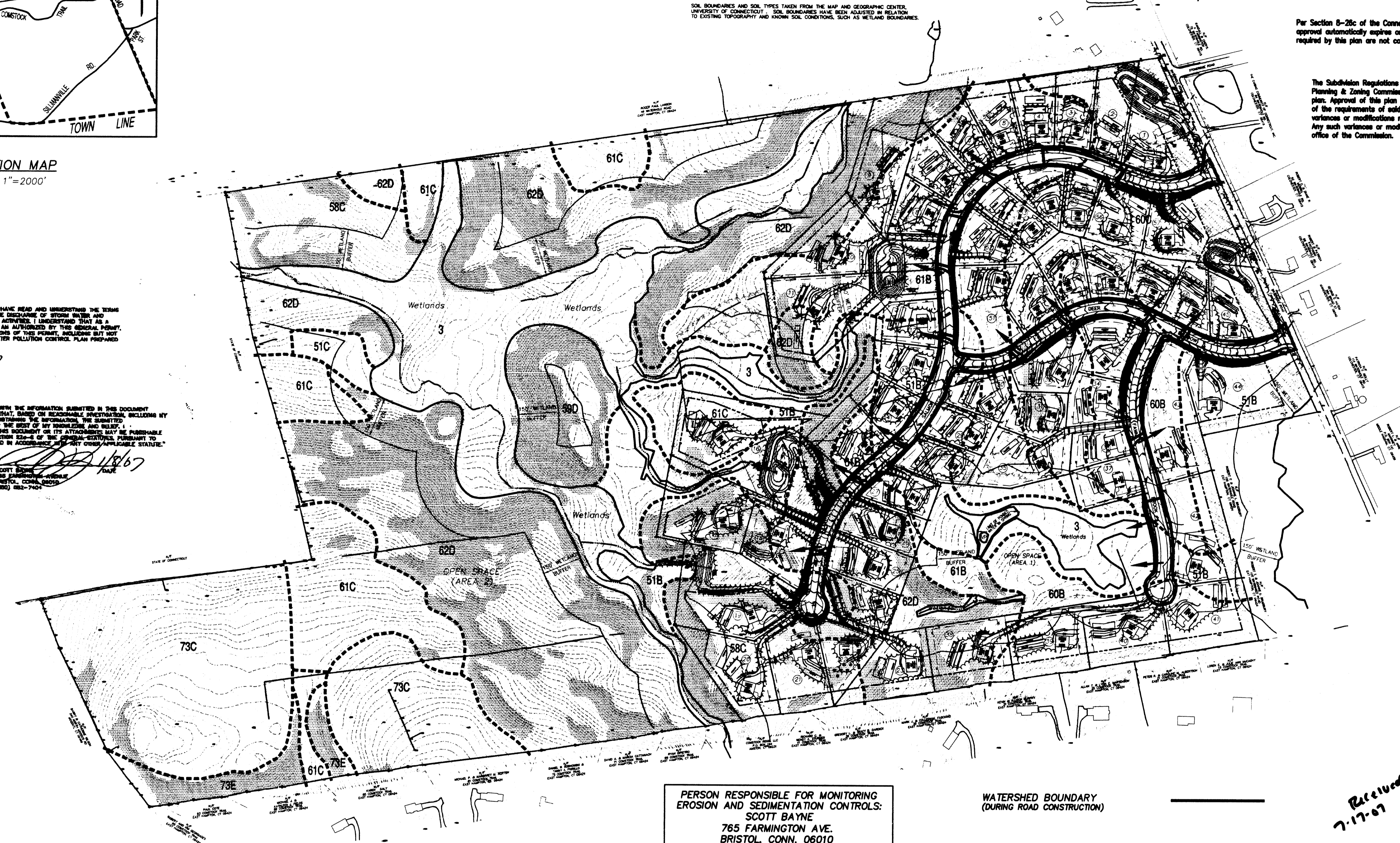
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9396

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commissioner.

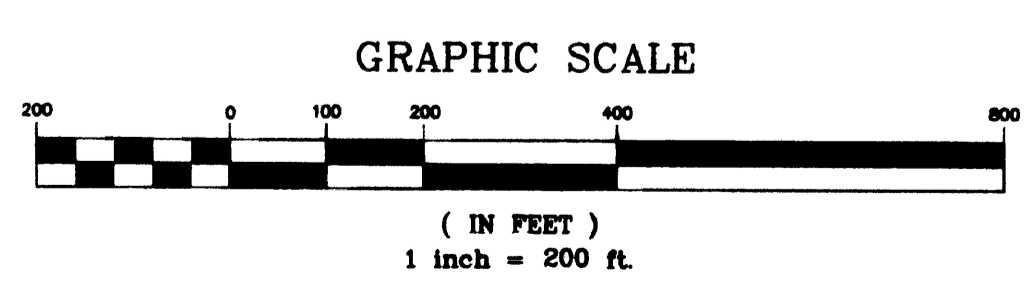
"I CERTIFY UNDER PENALTY OF THE LAW THAT I HAVE READ AND UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL PERMIT FOR THE DISCHARGE OF STORM WATER AND CERTAINING WETLANDS FROM CONSTRUCTION ACTIVITIES. I UNDERSTAND THAT AS A CONTRACTOR OR SUBCONTRACTOR AT THE SITE, I AM AUTHORIZED BY THIS GENERAL PERMIT, AND HAVE COMPLIED WITH THE TERMS AND CONDITIONS OF THIS PERMIT, INCLUDING BUT NOT LIMITED TO THE REQUIREMENTS OF THE STORM WATER POLLUTION CONTROL PLAN PREPARED FOR THE SITE."  
 [Signature] DATE 7/16/07  
 765 FARMINGTON AVENUE  
 BRISTOL, CONNECTICUT 06010  
 (860) 582-7404

"I HAVE PERSONALLY EXAMINED AND AM FAMILIAR WITH THE INFORMATION SUBMITTED IN THIS DOCUMENT AND ALL ATTACHMENTS THERE TO, AND I CERTIFY THAT, BASED ON REASONABLE INVESTIGATION, INCLUDING MY INSPECTION OF THE ACCORDANCE COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I UNDERSTAND THAT A FALSE STATEMENT MADE IN THIS DOCUMENT OR ITS ATTACHMENTS MAY BE PUNISHABLE AS A CRIMINAL OFFENSE IN ACCORDANCE WITH SECTION 53a-41 OF THE CONNECTICUT GENERAL STATUTES, SECTION 53a-127a OF THE CONNECTICUT GENERAL STATUTES, AND IN ACCORDANCE WITH ANY OTHER APPLICABLE STATUTE."  
 [Signature] DATE 7/16/07  
 JOHN L. HEAGLE, P.E. # 9396  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033  
 (860) 659-0897



PERSON RESPONSIBLE FOR MONITORING EROSION AND SEDIMENTATION CONTROLS:  
 SCOTT BAYNE  
 765 FARMINGTON AVE.  
 BRISTOL, CONN. 06010  
 (860) 582-7404

NOTE: THESE PLANS TO BE USED FOR INSTALLATION OF EROSION CONTROL MEASURES ONLY. ALL OTHER SITE WORK IS SHOWN ELSEWHERE IN THE PLANS.



- WATERSHED BOUNDARY (DURING ROAD CONSTRUCTION) - - - - -
- OUTFLOW FROM WATERSHED ->
- PROPOSED OPEN SPACE [White Box]
- PROPOSED CONSERVATION EASEMENT [Hatched Box]
- EXISTING SLOPES ≥ 25% [Stippled Box]

Received for Record  
 7-17-07 11:06 AM

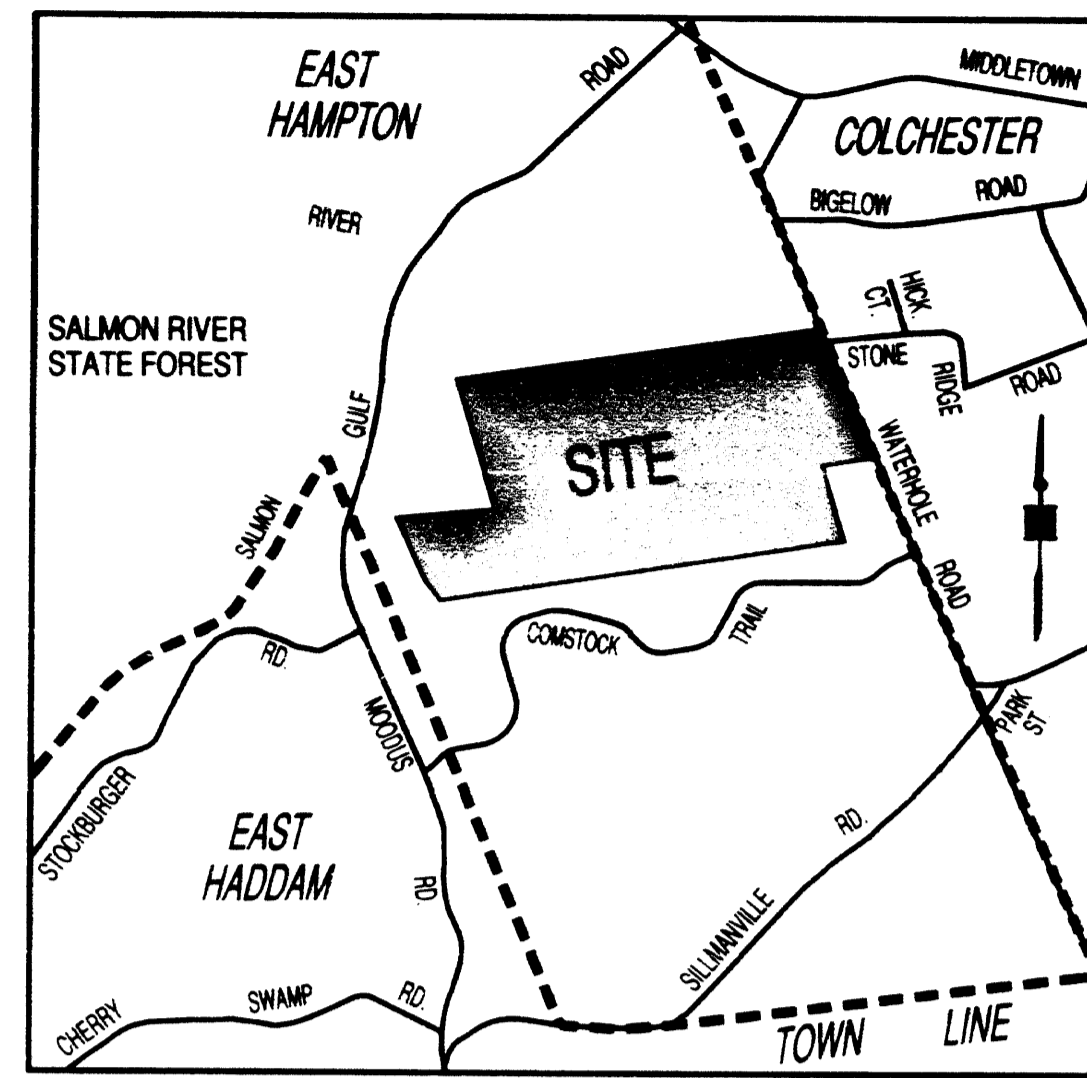
OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

REV: 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV: 7-23-07 TEMP. CON. MAP COMMENTS  
 REV: 12-27-06 TOWN STAFF COMMENTS

STORM WATER POLLUTION CONTROL PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=200'  
 SHEET 1 OF 12  
 MAP NO. 117-04-1E



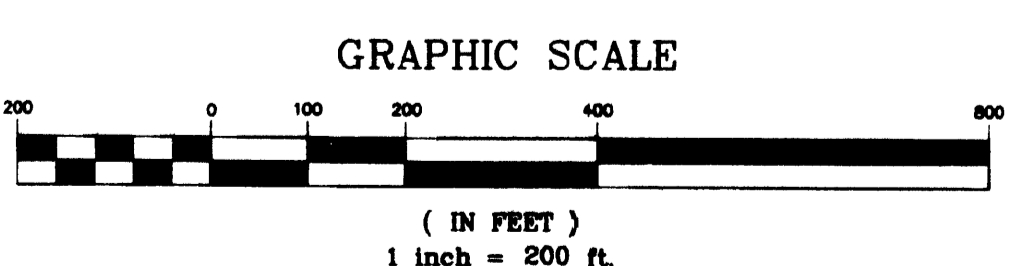


LOCATION MAP  
SCALE: 1"=2000'



PERSON RESPONSIBLE FOR MONITORING  
EROSION AND SEDIMENTATION CONTROLS:  
SCOTT BAYNE  
765 FARMINGTON AVE.  
BRISTOL, CONN. 06010  
(860) 582-7404

NOTE:  
THESE PLANS TO BE USED FOR INSTALLATION OF  
EROSION CONTROL MEASURES ONLY. ALL OTHER  
SITE WORK IS SHOWN ELSEWHERE IN THE PLANS.



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
Chairman: John L. Heagle DATE: 7-3-07  
Approved by the East Hampton Planning & Zoning Commission  
Final Approval: John L. Heagle Chairman  
Date: 7-10-07  
Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 9398

MEGSON & HEAGLE  
ENGINEERS & LAND SURVEYORS, LLC  
61 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860) 669-0887

STORM WATER POLLUTION CONTROL PLAN - PHASE MAP  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=200'  
SHEET 2 OF 12  
MAP NO. 117-04-1E

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

Received for Rec. #  
7-17-07 11:07 AM

REV: 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV: 3-25-07 TEMP. GUL-DE-SAC  
REV: 12-27-06 TOWN STAFF COMMENTS



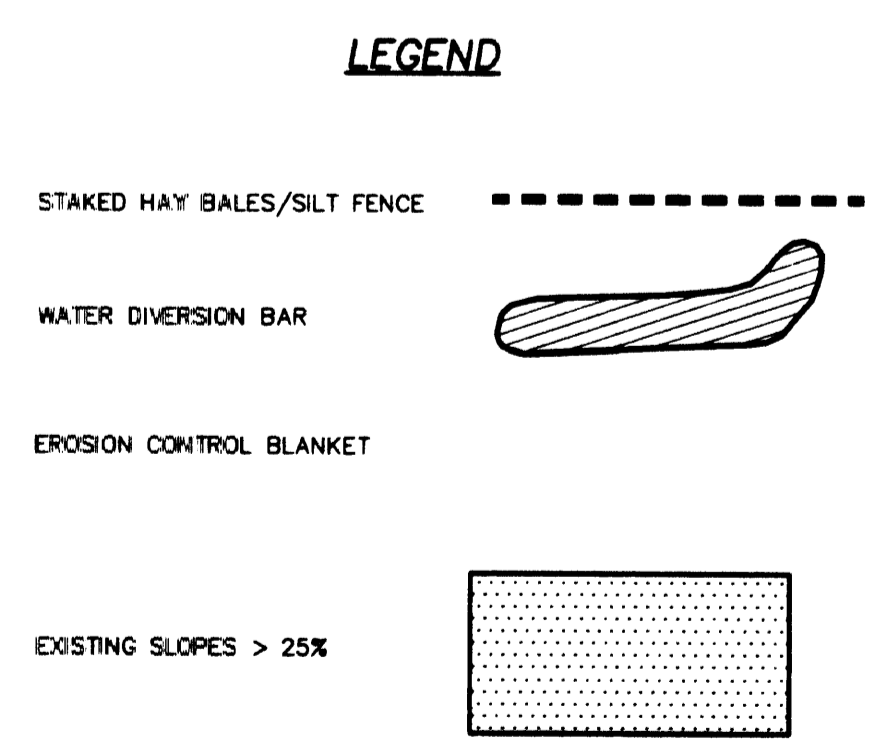
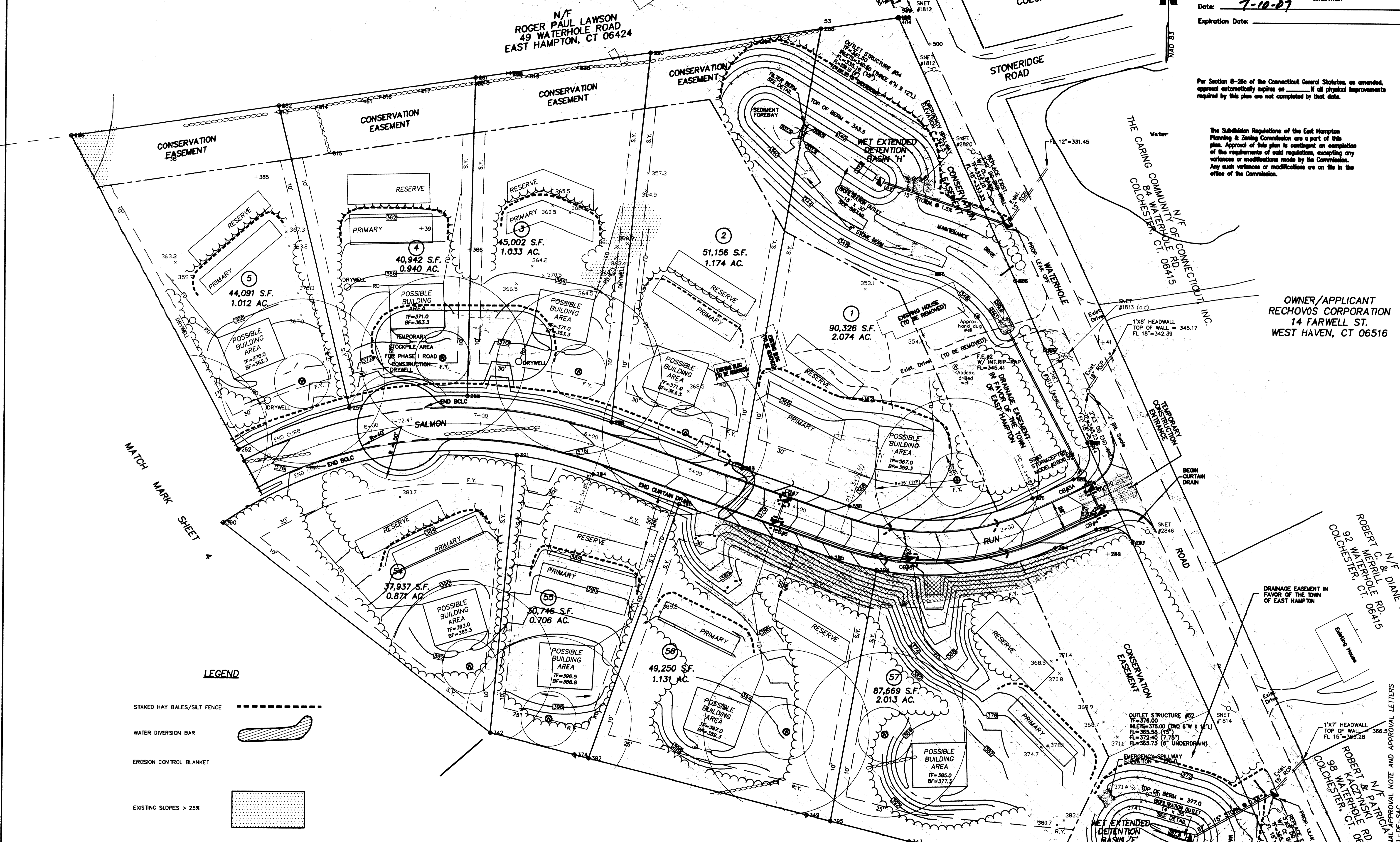
DRAWING NUMBER  
Page 20

DRAWING NUMBER  
Page 20

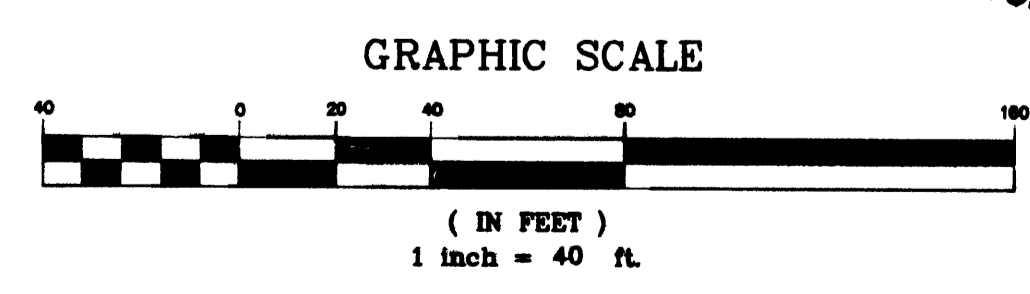
DRAWING NUMBER  
Vol 72

DRAWING NUMBER

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

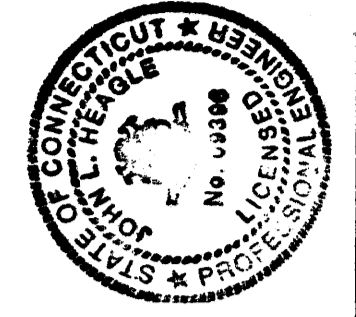


**MAINTENANCE NOTE:**  
INSPECTIONS MUST BE CONDUCTED BY A THIRD PARTY INSPECTOR IN ALL AREAS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY STORM EVENT 0.10 INCHES OR GREATER. ADDITIONALLY, MONTHLY INSPECTIONS OF STABILIZED AREAS MUST BE CONDUCTED FOR AT LEAST THREE MONTHS FOLLOWING STABILIZATION. MAINTENANCE LOGS ARE TO BE SUBMITTED BY THE THIRD PARTY INSPECTOR TO THE TOWN OF EAST HAMPTON ON A MONTHLY BASIS.  
SPECIFIC REQUESTS BY TOWN OF EAST HAMPTON STAFF FOR ADDITIONAL EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED IN A TIMELY FASHION BY THE DEVELOPER.



N/F RANDALL & CHERYL A. FARRINGTON  
72 WATERHOLE RD.  
COLCHESTER, CT. 06415

Approved by the East Hampton Inland Wetlands Agency  
Date: 7-3-07  
Approved by the East Hampton Planning & Zoning Commission  
Final Approval: [Signature]  
Date: 7-10-07  
Expiration Date:



Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
[Signature]

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
61 FRANKLIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860) 659-0687

STORM WATER POLLUTION CONTROL PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 3 OF 12  
MAP NO. 117-04-1E

THIS MAP PREPARED BY ORIGINAL DRAWING ON POLY-FILM OR LINEN MEGSON & HEAGLE 61 FRANKLIN ROAD GLASTONBURY, CT 06033

Received for Record  
7-17-07 11:05 AM

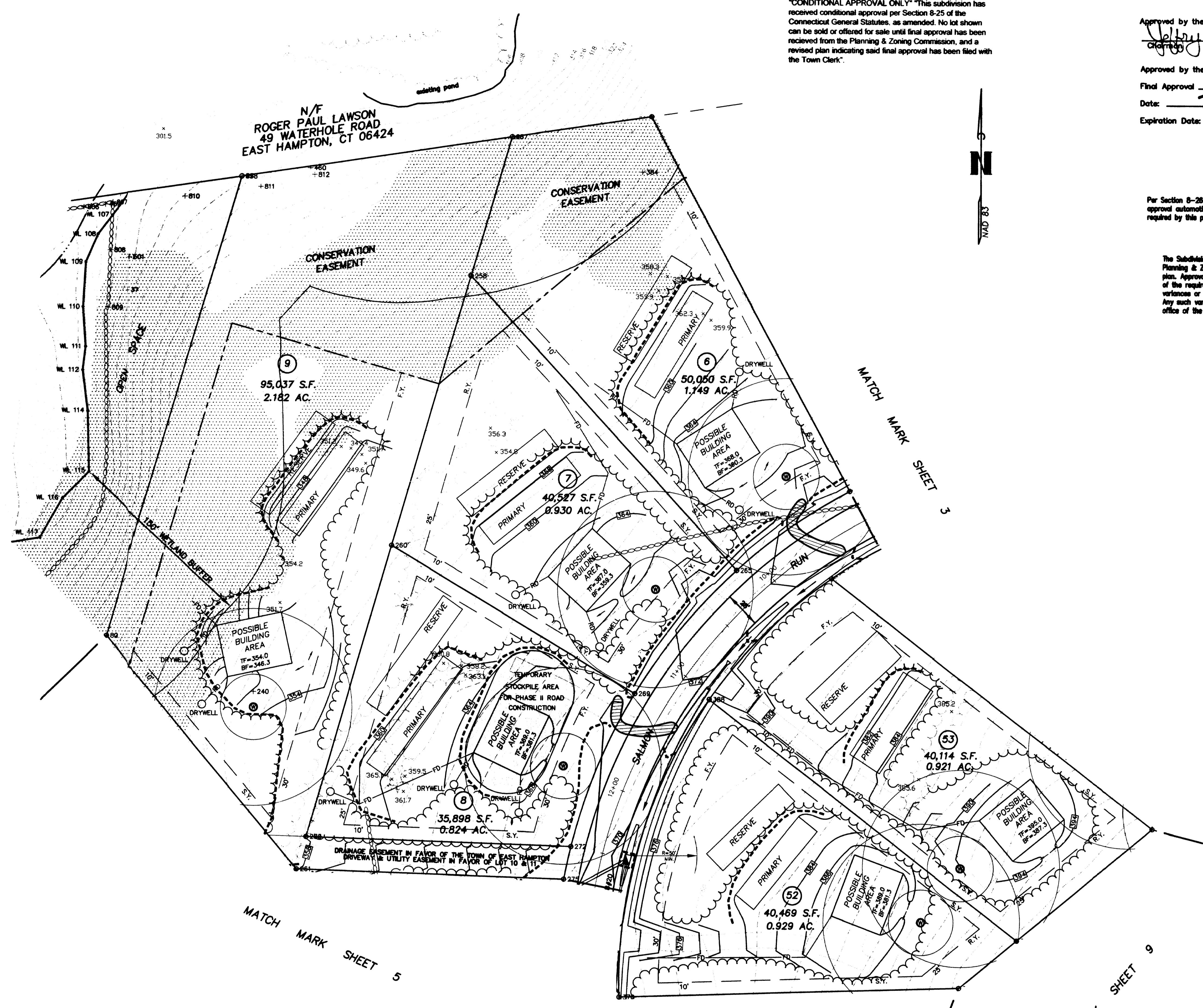


DRAWING NUMBER  
Page 21  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER (DATE)

DRAWING NUMBER  
Page 21  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER (DATE)

DRAWING NUMBER  
Vol 72  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER (DATE)

DRAWING NUMBER  
Vol 72  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER (DATE)



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
*John L. Heagle* DATE 7-3-07  
 Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Charles R. ...* Chairman  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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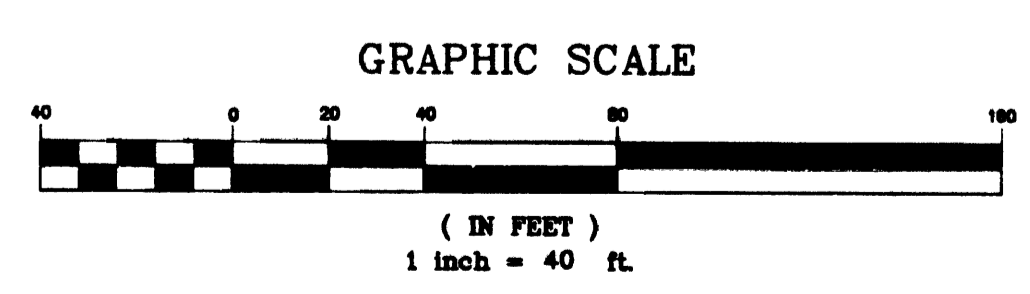
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 9396

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 61 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

STORM WATER POLLUTION CONTROL PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

CK. BY: WWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 4 OF 12  
 MAP NO. 117-04-1E

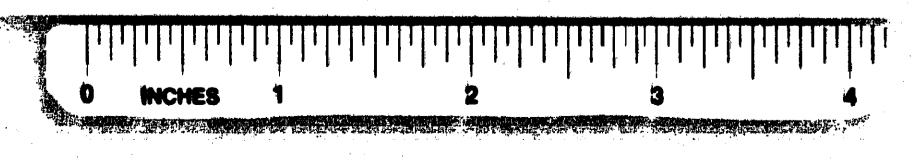
MAINTENANCE NOTE:  
 INSPECTIONS MUST BE CONDUCTED BY A THIRD PARTY INSPECTOR IN ALL AREAS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY STORM EVENT 0.10 INCHES OR GREATER. ADDITIONALLY, MONTHLY INSPECTIONS OF STABILIZED AREAS MUST BE CONDUCTED FOR AT LEAST THREE MONTHS FOLLOWING STABILIZATION. MAINTENANCE LOGS ARE TO BE SUBMITTED BY THE THIRD PARTY INSPECTOR TO THE TOWN OF EAST HAMPTON ON A MONTHLY BASIS.  
 SPECIFIC REQUESTS BY TOWN OF EAST HAMPTON STAFF FOR ADDITIONAL EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED IN A TIMELY FASHION BY THE DEVELOPER.



Retrieved for Record  
 7-17-07 11:09 AM

THIS MAP PRODUCED BY ORIGINAL DRAWING ON PLOTTING FILM OR LINE IN MEGSON & HEAGLE 61 RANKIN ROAD GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS



PLAN HOLD CORPORATION • FARM, CALIFORNIA  
 REGISTRATION NUMBER 07348  
 DATE: 01/15/2007 1:58:14 PM  
 BY: 72  
 PLOT: 22

DRAWING NUMBER  
 Page 22

DRAWING NUMBER  
 Vol 12

DRAWING NUMBER

**MAINTENANCE NOTE:**  
 INSPECTIONS MUST BE CONDUCTED BY A THIRD PARTY INSPECTOR IN ALL AREAS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY STORM EVENT 0.10 INCHES OR GREATER. ADDITIONALLY, MONTHLY INSPECTIONS OF STABILIZED AREAS MUST BE CONDUCTED FOR AT LEAST THREE MONTHS FOLLOWING STABILIZATION. MAINTENANCE LOGS ARE TO BE SUBMITTED BY THE THIRD PARTY INSPECTOR TO THE TOWN OF EAST HAMPTON ON A MONTHLY BASIS.  
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Approved by the East Hampton Island Wetlands Agency  
*[Signature]* 7-3-07  
 DATE

Final Approval *[Signature]*  
 Date: 7-10-07  
 Chairman

Expiration Date: \_\_\_\_\_

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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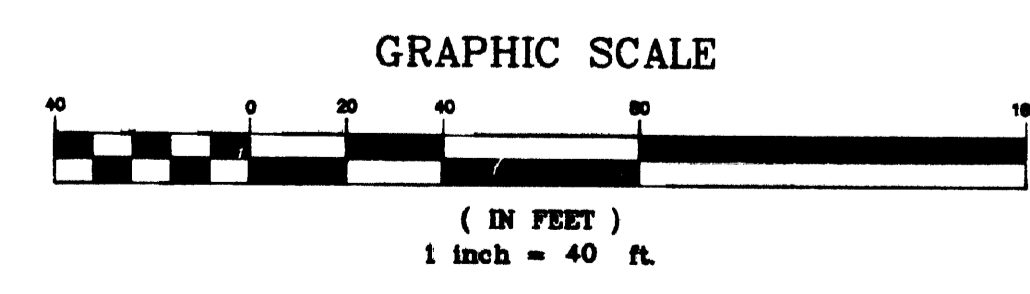
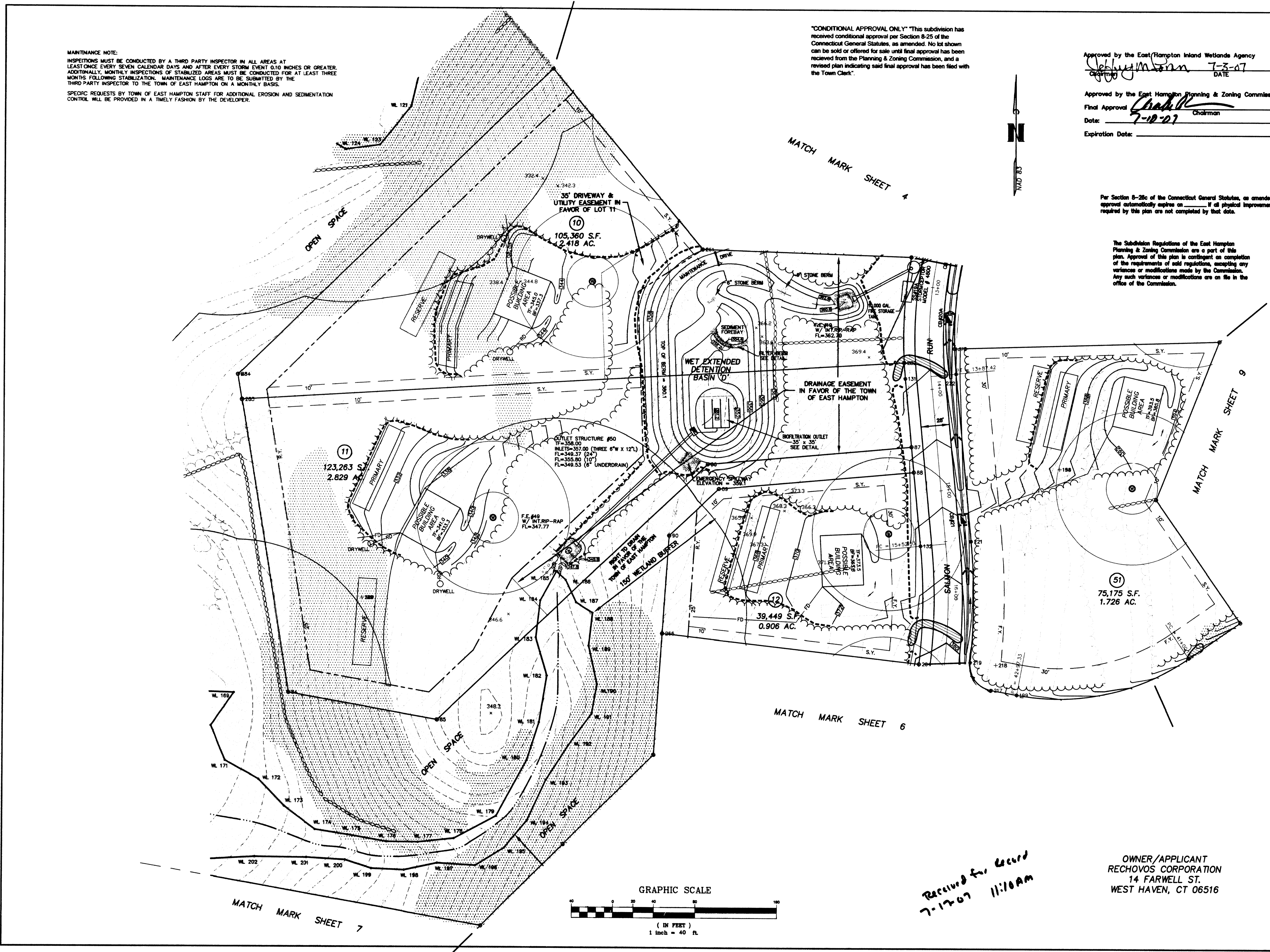
I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 6396

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-658-0687

STORM WATER POLLUTION CONTROL PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

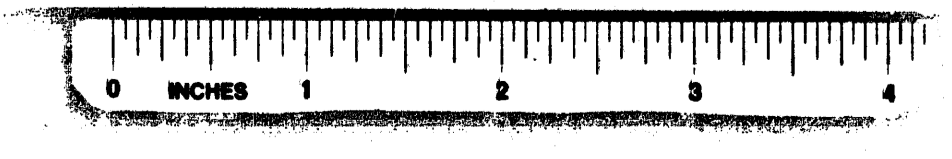
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 12-22-07 TOWN, CUL-DE-SAC  
 REV. 12-27-08 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=40'  
 SHEET 5 OF 12  
 MAP NO. 117-04-1E



*Received for Record  
 7-17-07 11:00AM*

OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516





DRAWING NUMBER  
PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
RECORD BY NUMBER 07348

DRAWING NUMBER  
Page 23  
PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
RECORD BY NUMBER 07348

DRAWING NUMBER  
Vol 72  
PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
RECORD BY NUMBER 07348

DATE: 0111072001 Type: 100  
By: 72  
PLAN HOLD CORPORATION - IRVINE, CALIFORNIA  
RECORD BY NUMBER 07348

P:\COMPLETED\DATA\KANSAS\KANSAS\SUBDIVISION\104\_111.dwg 8/20/07 9:48:10 AM LUT

**MAINTENANCE NOTE:**  
INSPECTIONS MUST BE CONDUCTED BY A THIRD PARTY INSPECTOR IN ALL AREAS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY STORM EVENT 0.10 INCHES OR GREATER. ADDITIONALLY, MONTHLY INSPECTIONS OF STABILIZED AREAS MUST BE CONDUCTED FOR AT LEAST THREE MONTHS FOLLOWING STABILIZATION. MAINTENANCE LOGS ARE TO BE SUBMITTED BY THE THIRD PARTY INSPECTOR TO THE TOWN OF EAST HAMPTON ON A MONTHLY BASIS.  
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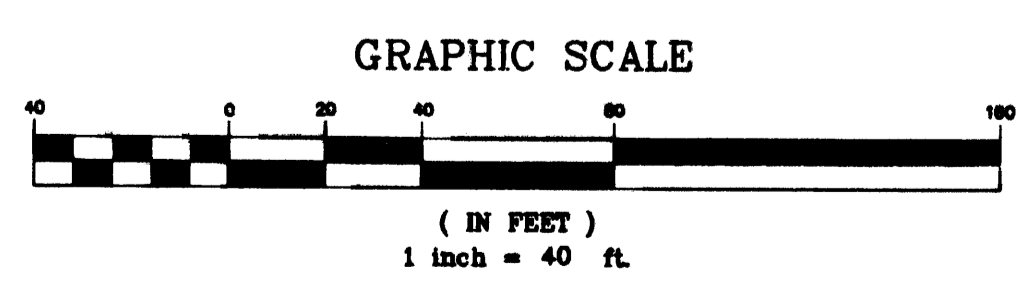
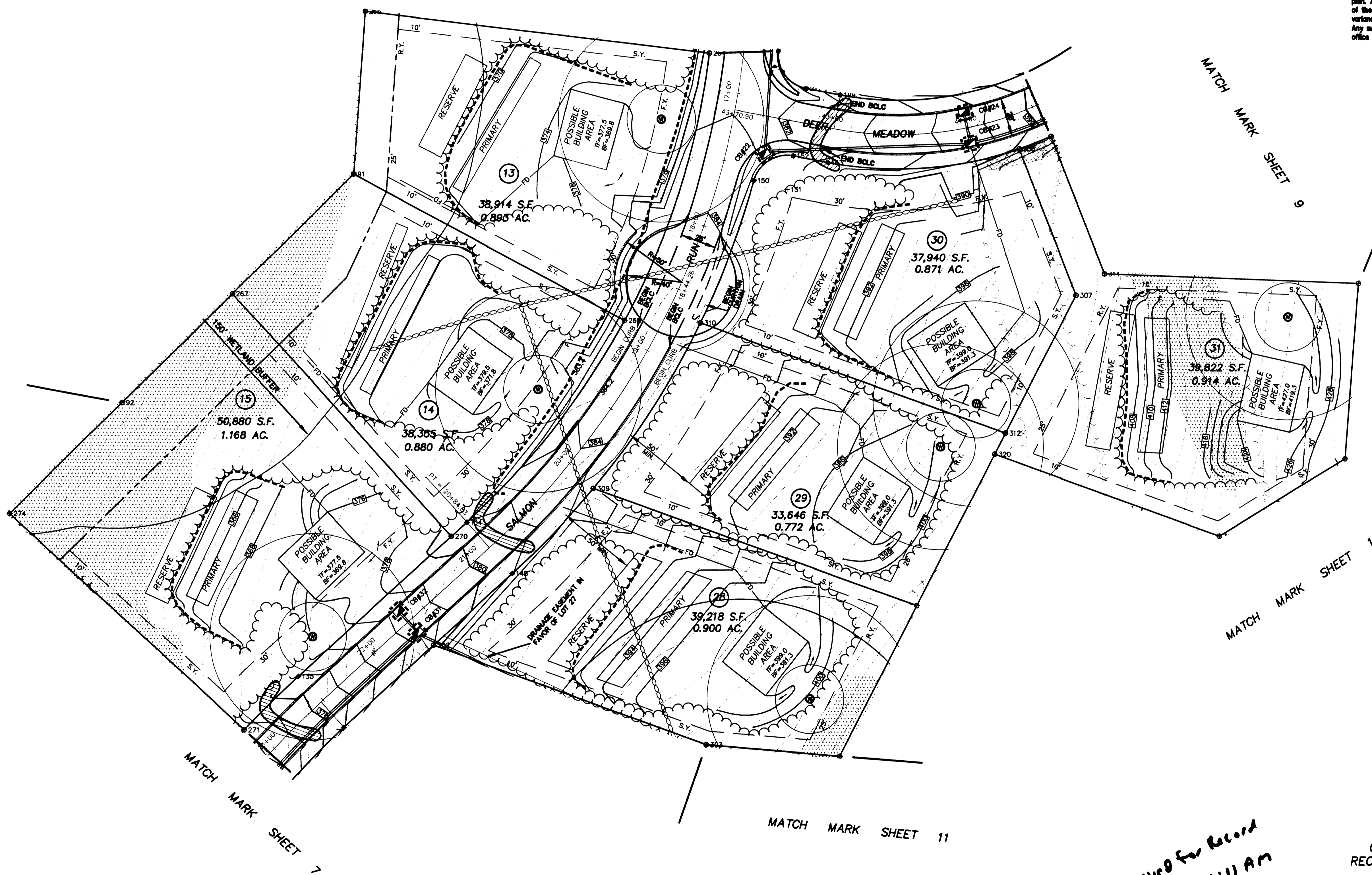
"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
7-3-07  
DATE  
Approved by the East Hampton Planning & Zoning Commission  
Final Approval  
Date: 7-10-07  
Expiration Date:

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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MATCH MARK SHEET 5



MATCH MARK SHEET 9

MATCH MARK SHEET 10

MATCH MARK SHEET 11

Received for Record  
7-17-07 11:11 AM

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
MEGSON & HEAGLE  
81 RANKIN ROAD  
GLASTONBURY, CT 06033

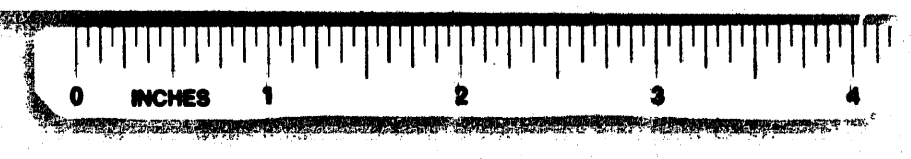
6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV: 3-29-07 TEMP. GUL-DF-SAC  
REV: 12-27-06 TOWN STAFF COMMENTS

OK BY: MWF  
DRW BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 6 OF 12  
MAP NO. 117-04-1E

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

STORM WATER POLLUTION CONTROL PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

I HEREBY BELIEVE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 8398

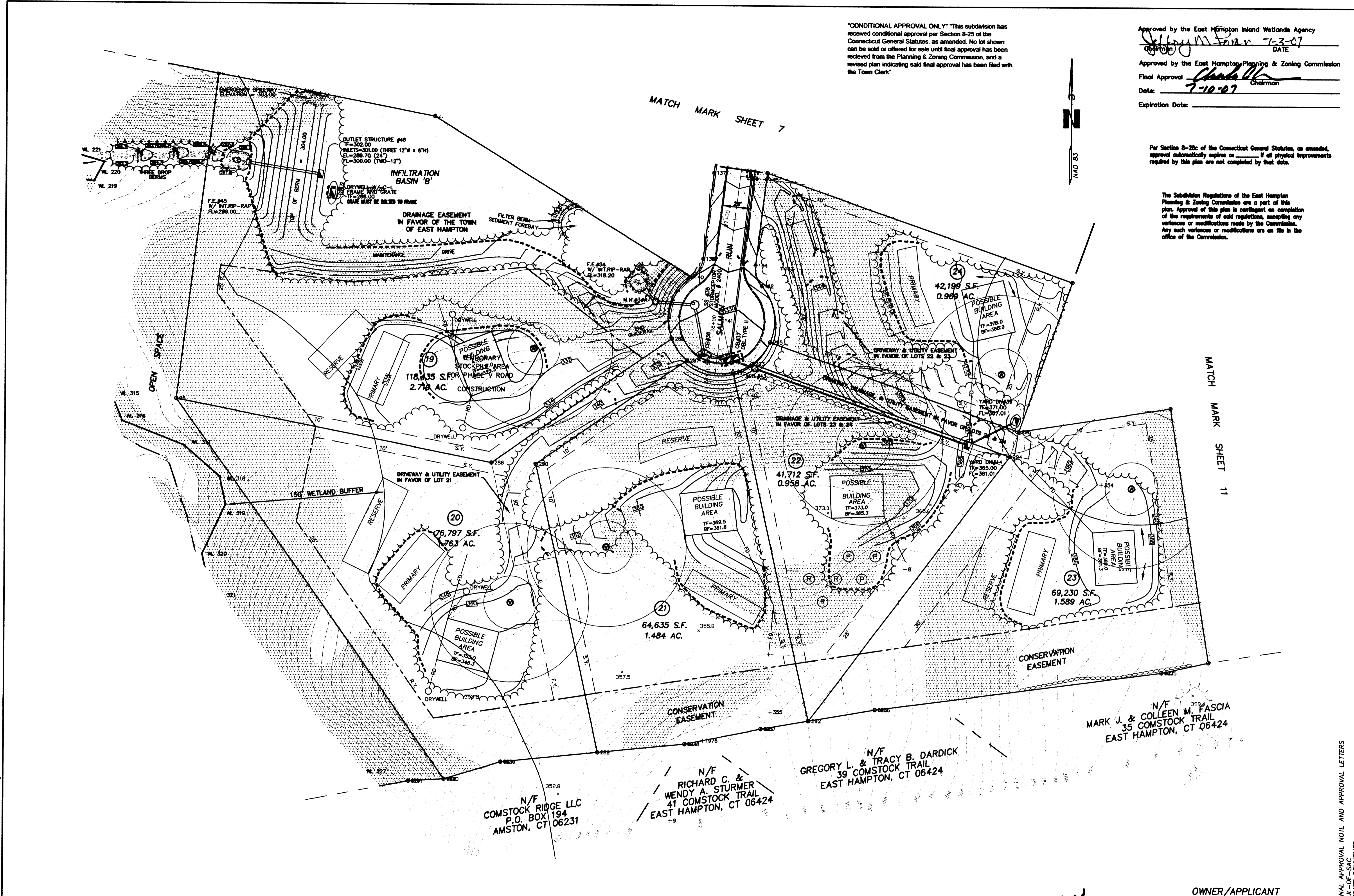


DRAWING NUMBER  
PLANFIELD CORPORATION • FINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

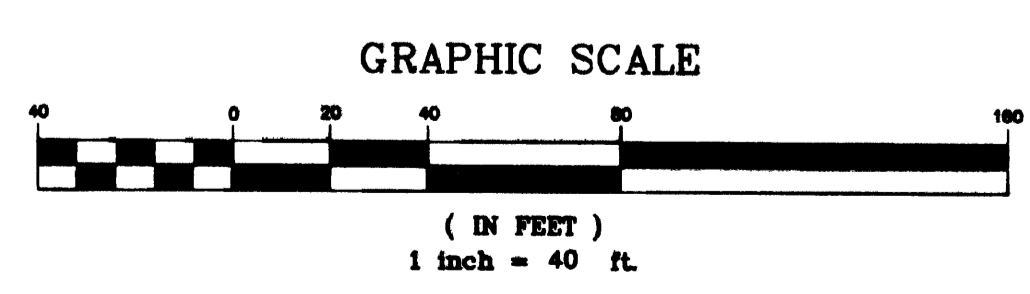
DRAWING NUMBER  
Page 25  
PLANFIELD CORPORATION • FINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
Vol 12  
PLANFIELD CORPORATION • FINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DATE: 01/10/2007 Type: MAP  
BY: 72  
PLANFIELD CORPORATION • FINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER



**MAINTENANCE NOTE:**  
INSPECTIONS MUST BE CONDUCTED BY A THIRD PARTY INSPECTOR IN ALL AREAS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY STORM EVENT 0.10 INCHES OR GREATER. ADDITIONALLY, MONTHLY INSPECTIONS OF STABILIZED AREAS MUST BE CONDUCTED FOR AT LEAST THREE MONTHS FOLLOWING STABILIZATION. MAINTENANCE LOGS ARE TO BE SUBMITTED BY THE THIRD PARTY INSPECTOR TO THE TOWN OF EAST HAMPTON ON A MONTHLY BASIS.  
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Approved by the East Hampton Inland Wetlands Agency  
Date: 7-3-07  
Approved by the East Hampton Planning & Zoning Commission  
Final Approval: [Signature] Chairman  
Date: 7-10-07  
Expiration Date:

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I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 9398

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
BY: RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE: (860)-669-0867

STORM WATER POLLUTION CONTROL PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

N/F  
MARK J. & COLLEEN M. FASCIA  
35 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

N/F  
GREGORY L. & TRACY B. DARDICK  
39 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

N/F  
COMSTOCK RIDGE LLC  
P.O. BOX 194  
AMSTON, CT 06231

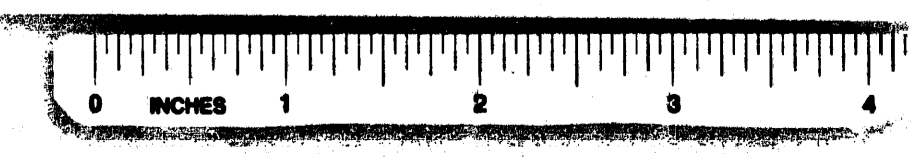
N/F  
RICHARD C. & WENDY A. STURMER  
41 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

Received for Record  
7-17-07 11:13AM

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
MEGSON & HEAGLE  
51 PARK ROAD  
GLASTONBURY, CT 06033

REV: 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV: 3-25-07 TEMP. CUL-DE-SAC  
REV: 12-27-06 TOWN STAFF COMMENTS  
CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 8 OF 12  
MAP NO. 117-04-1E



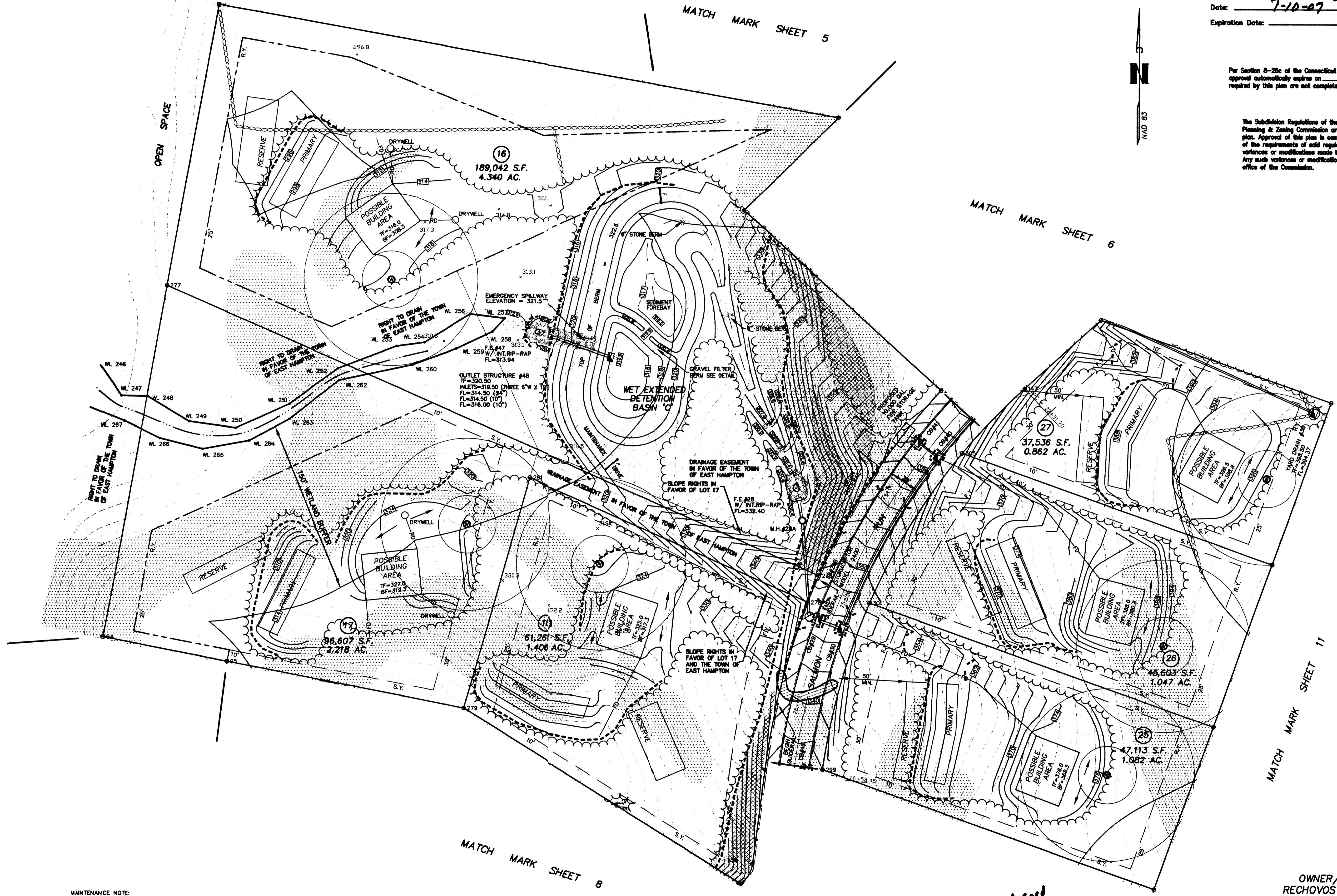
DRAWING NUMBER  
PLAN/NO. 0344

DRAWING NUMBER  
Page 24

DRAWING NUMBER  
Vol 12

NO. 24  
DATE: 11/14/07

PLAN/NO. 0344  
DATE: 11/14/07  
BY: J.M.B.



"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

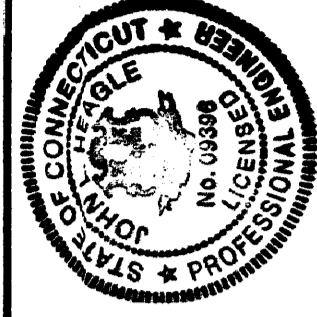
Approved by the East Hampton Inland Wetlands Agency  
*John M. Bran* 7-3-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *John L. L'Orange*  
 Date: 7-10-07 Chairman  
 Expiration Date: \_\_\_\_\_



Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L'ORANGE  
 P.E. # 5386

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 61 HANLIN ROAD  
 GLASTONBURY, CONN 06033  
 PHONE (860)-659-0887

STORM WATER POLLUTION CONTROL PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

ADDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 MR. GUL-DE-SAC  
 TOWN STAFF COMMENTS

CK. BY: MWF  
 DRW. BY: SAM

OWNER/APPLICANT  
 RECHOVOS CORPORATION

MAINTENANCE NOTE:

MATCH MARK SHEET 8

MATCH MARK SHEET 5

MATCH MARK SHEET 6

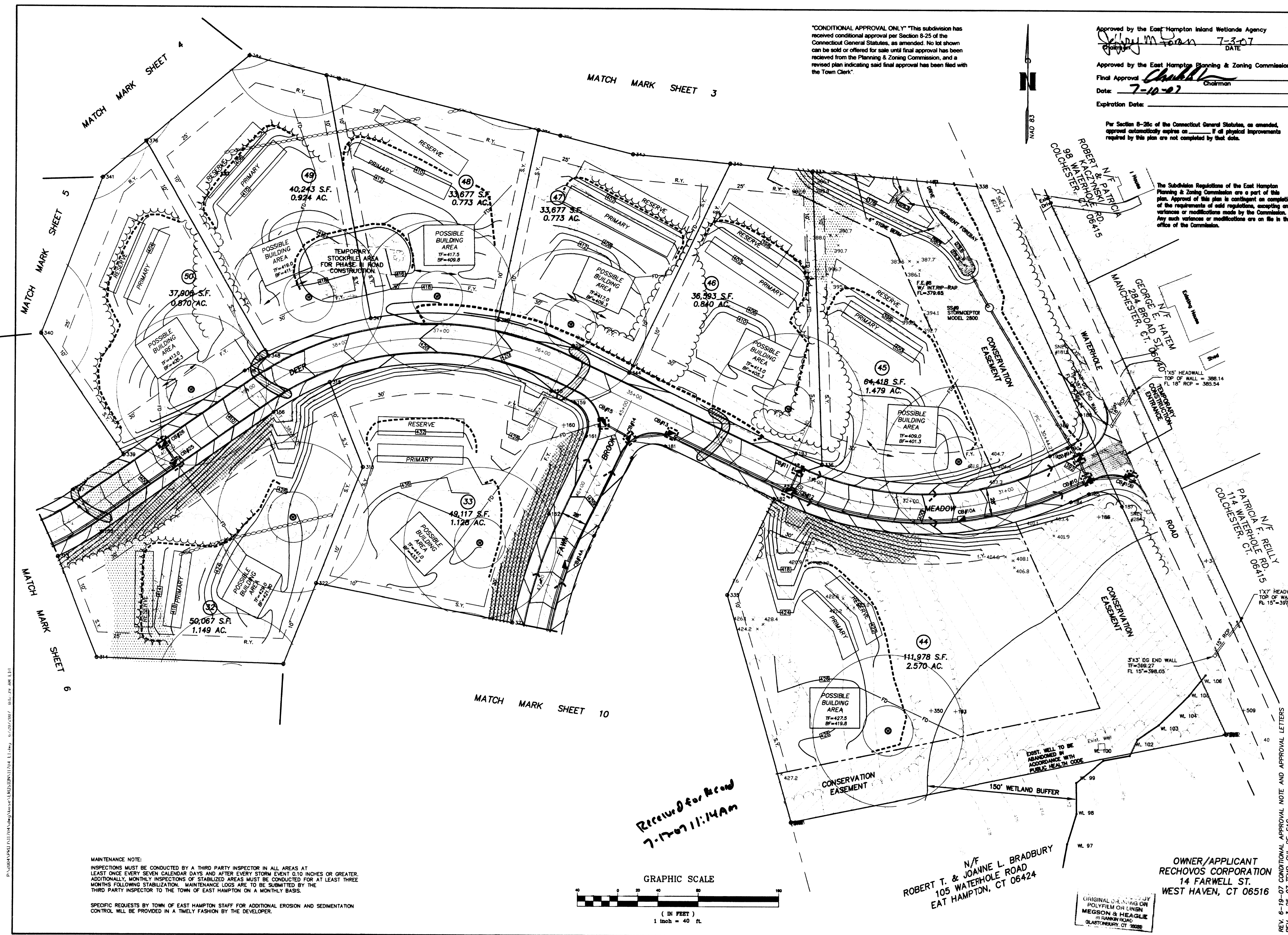
MATCH MARK SHEET 11

DRAWING NUMBER  
PLAN/HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL

DRAWING NUMBER  
**Page 26**  
PLAN/HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL

DRAWING NUMBER  
**Vol 72**  
PLAN/HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL

DATE: 03/12/2008 11:41 AM  
PK 72 PG 26  
PLAN/HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL

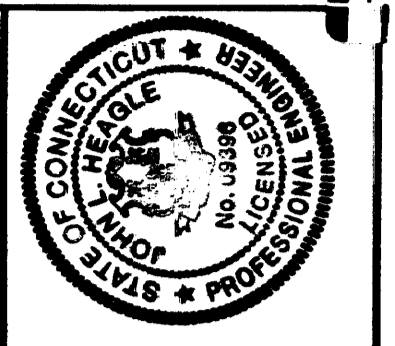


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Approved by the East Hampton Wetlands Agency  
*[Signature]* DATE 7-3-07  
Approved by the East Hampton Planning & Zoning Commission  
Final Approval *[Signature]* Chairman  
Date: 7-10-07  
Expiration Date:

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I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 1398

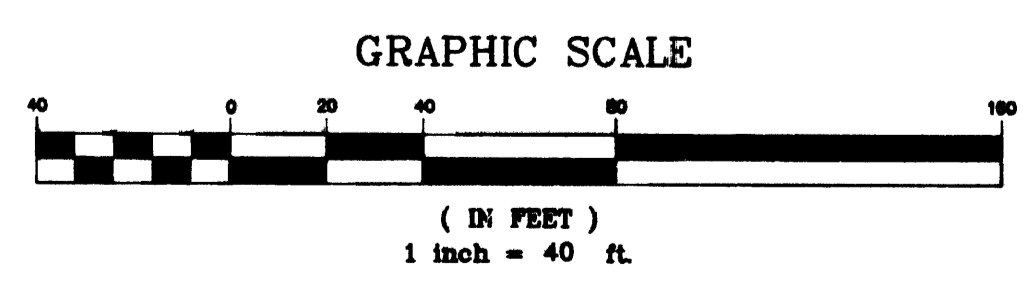
MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860) 668-0687

STORM WATER POLLUTION CONTROL PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 9 OF 12  
MAP NO. 117-04-1E

MAINTENANCE NOTE:  
INSPECTIONS MUST BE CONDUCTED BY A THIRD PARTY INSPECTOR IN ALL AREAS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER EVERY STORM EVENT 0.10 INCHES OR GREATER. ADDITIONALLY, MONTHLY INSPECTIONS OF STABILIZED AREAS MUST BE CONDUCTED FOR AT LEAST THREE MONTHS FOLLOWING STABILIZATION. MAINTENANCE LOGS ARE TO BE SUBMITTED BY THE THIRD PARTY INSPECTOR TO THE TOWN OF EAST HAMPTON ON A MONTHLY BASIS.

SPECIFIC REQUESTS BY TOWN OF EAST HAMPTON STAFF FOR ADDITIONAL EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED IN A TIMELY FASHION BY THE DEVELOPER.



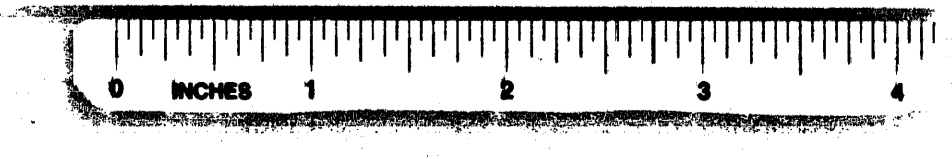
Received for Record  
7-17-07 11:14AM

N/F  
ROBERT T. & JOANNE L. BRADBURY  
105 WATERHOLE ROAD  
EAT HAMPTON, CT 06424

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

ORIGINAL DRAWING ON POLYFILM OR LINEN  
MEGSON & HEAGLE  
81 RANKIN ROAD  
GLASTONBURY, CT 06033

REV 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV 3-29-07 TEMP. CUL-DE-SAC  
REV 12-27-06 TOWN STAFF COMMENTS



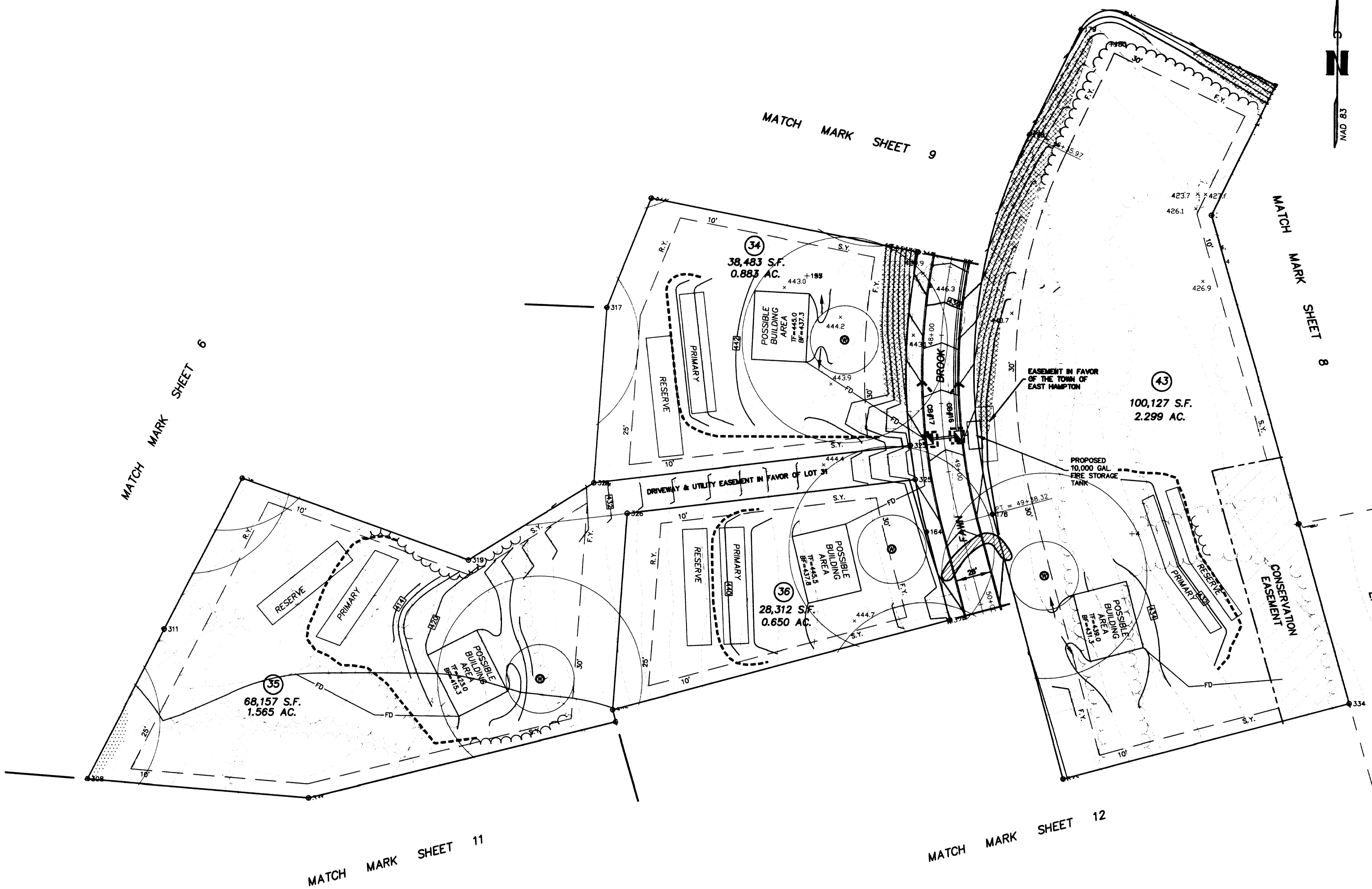
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PLAN HOLD CORPORATION - BAKE, CALIFORNIA  
REGISTERED NUMBER 07049

DRAWING NUMBER  
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Approved by the East Hampton Island Wetlands Agency  
Date: 7-3-07

Approved by the East Hampton Planning & Zoning Commission  
Final Approval: [Signature]  
Date: 7-10-07  
Chairman

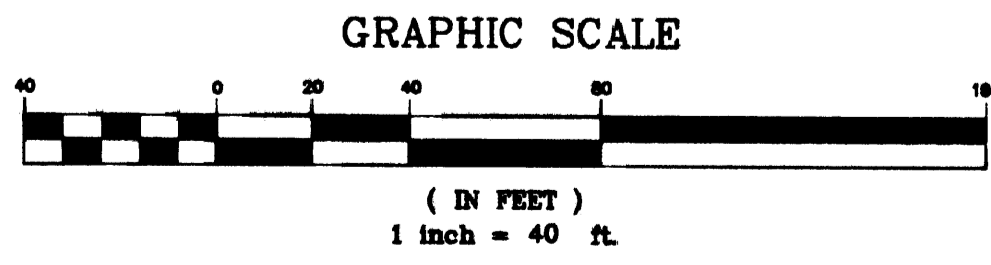
Expiration Date:

Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

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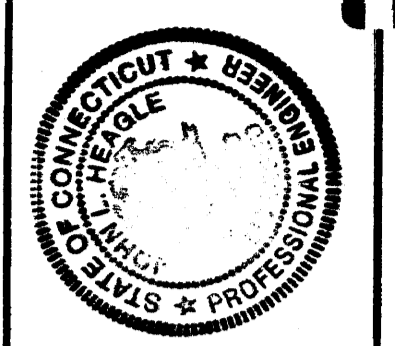
N/E  
L. BRADBURY  
ROBERT T. & JOANNE L. BRADBURY  
105 WHITEHOLE ROAD  
EAST HAMPTON, CT 06424

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THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLY FILM OR LINEN  
MEGSON & HEAGLE  
81 RANKIN ROAD  
GLASTONBURY, CT 06033

Received for Record  
7-17-07 11:15 AM



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
[Signature]  
JOHN L. HEAGLE  
P.E. # 9398

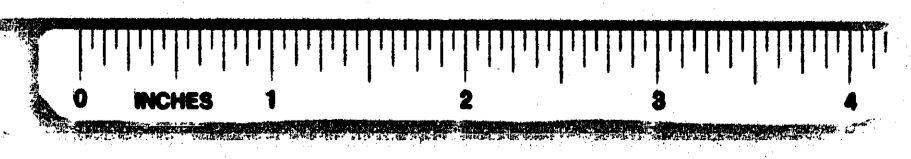
MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0687

STORM WATER POLLUTION CONTROL PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 10 OF 12  
MAP NO. 117-04-1E

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

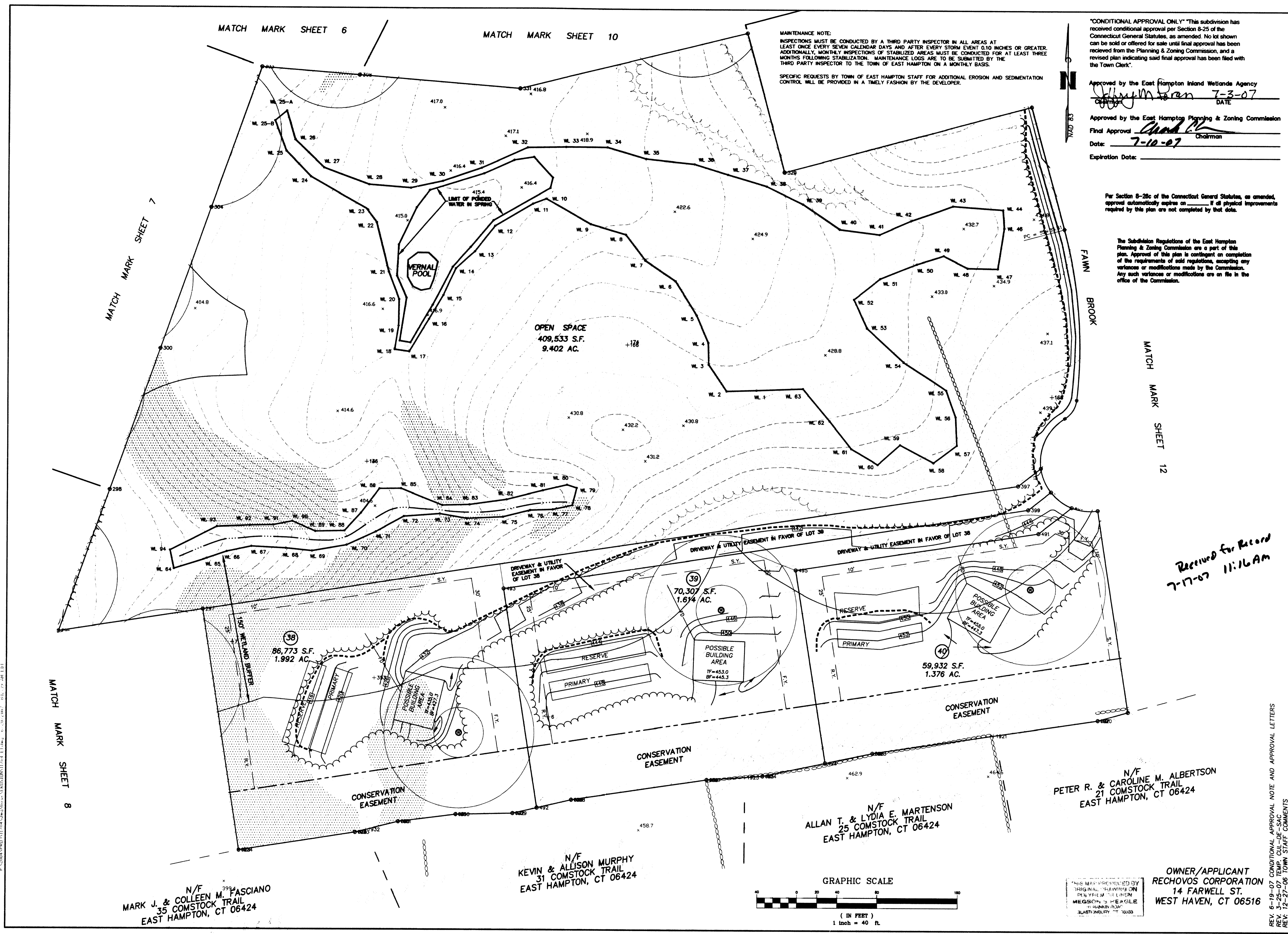


DRAWING NUMBER  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER 01/04

DRAWING NUMBER  
Page 28  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER 01/04

DRAWING NUMBER  
Vol 12  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER 01/04

DRAWING NUMBER  
0011020001 Type: PMP  
By 72  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REVISION BY NUMBER 01/04



DRAWING NUMBER  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED NUMBER 0704

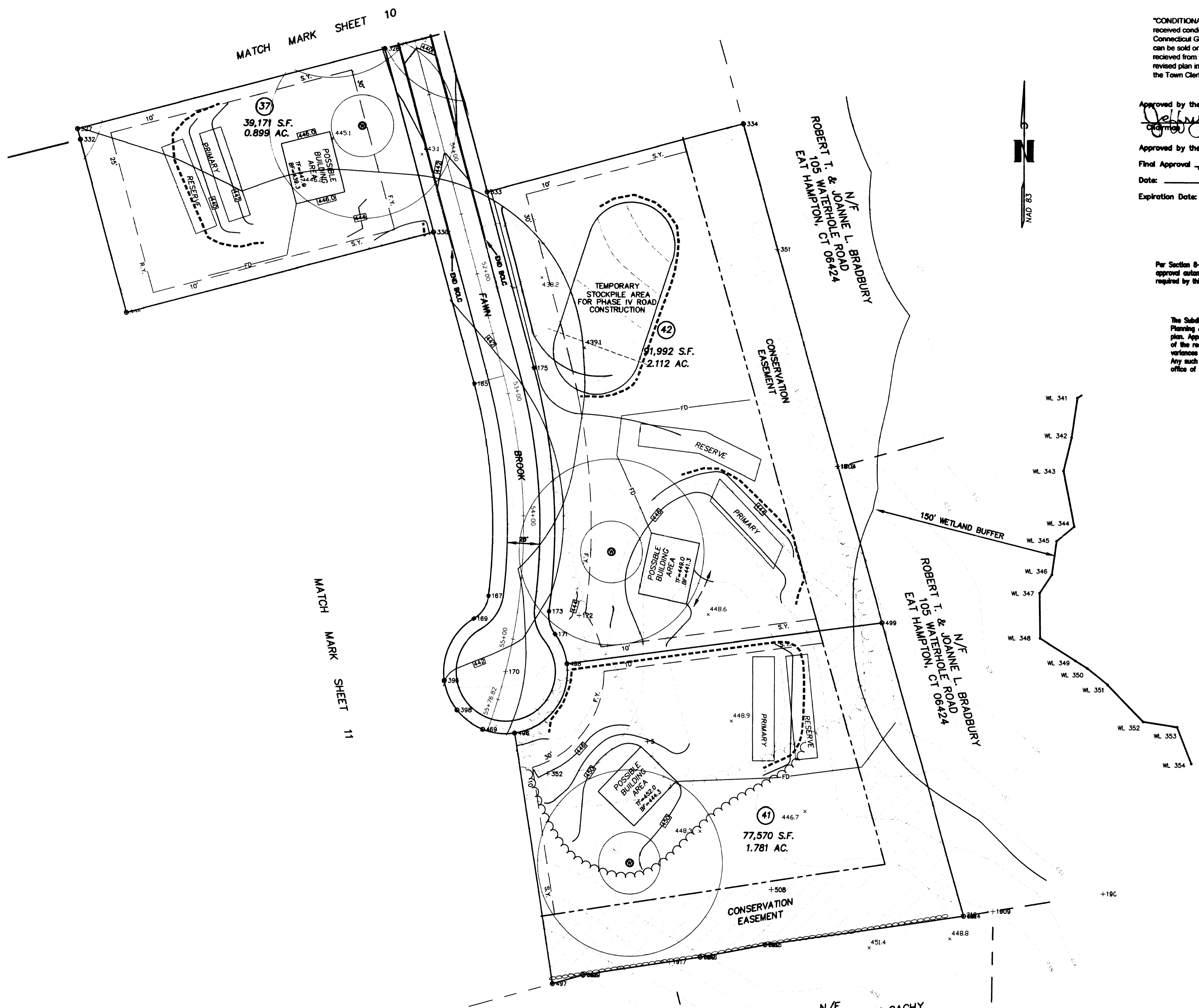
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Page 29  
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REGISTERED NUMBER 0704

DRAWING NUMBER  
Vol 72  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED NUMBER 0704

DRAWING NUMBER  
001-117-04-1E  
REV. 7-29-07  
REV. 12-27-06  
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA  
REGISTERED NUMBER 0704

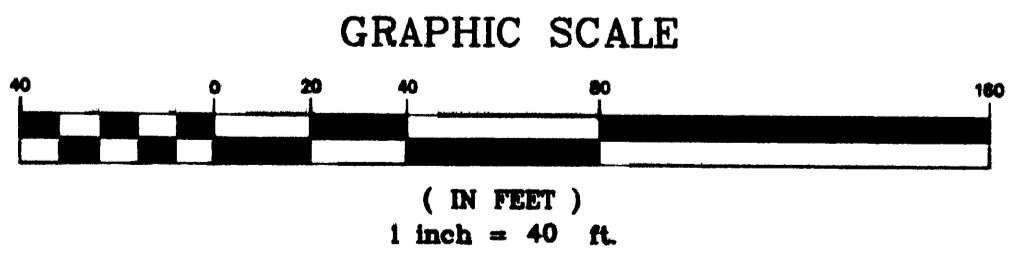
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N/F  
PETER R. & CAROLINE M. ALBERTSON  
21 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424

N/F  
LOREN E. & JULIE ANN McCAGHY  
15 COMSTOCK TRAIL  
EAST HAMPTON, CT 06424



THIS MAP PREPARED BY  
ORIGINAL DRAWING ON  
POLYFILM OR LITHO  
MEGSON & HEAGLE  
81 HANKIN ROAD  
GLASTONBURY, CT 06033

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Approved by the East Hampton Island Wetlands Agency  
Jeffrey M. Pan 7-3-07  
Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
Final Approval: [Signature] 7-10-07  
Chairman Date

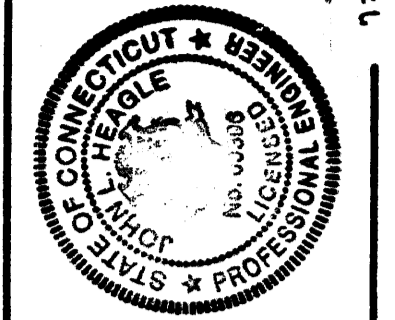
Expiration Date: \_\_\_\_\_

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Received for Record  
7-17-07 11:17 AM

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
[Signature]  
JOHN L. HEAGLE  
P.E. # 0398

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 HANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

STORM WATER POLLUTION CONTROL PLAN  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-29-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=40'  
SHEET 12 OF 12  
MAP NO. 117-04-1E



DRAWING NUMBER Page 30

DRAWING NUMBER Page 30

DRAWING NUMBER Vol 72

DRAWING NUMBER Vol 72

GENERAL NOTES

ALL CONSTRUCTION METHODS TO CONFORM TO THE TOWN OF EAST HAMPTON STANDARD SPECIFICATIONS. THE LOCATION OF ALL EXISTING UTILITIES SHOWN IS APPROXIMATE...

HOUSE SITE DEVELOPMENT HOUSES AND DRIVES SHOWN ARE INTENDED TO SHOW LOT FEASIBILITY AND MAY BE CONSTRUCTED IN A DIFFERENT LOCATION...

TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON-SITE REGRADING...

GENERAL THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION...

LAND GRADING THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE...

- 1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH TO OBTAIN PLANNED GRADES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING BASIC CRITERIA:
A) THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations...

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on 7-10-07 if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Inland Wetlands Agency [Signature] 7-3-07 DATE
Approved by the East Hampton Planning & Zoning Commission [Signature]
Final Approval [Signature] Chairman
Date: 7-10-07
Expiration Date:

TOPSOILING

- GENERAL:
1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH AND MAINTENANCE OF VEGETATION.
2. REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS, AND CONSTRUCTION DEBRIS.
3. APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE.

EROSION CHECKS

- GENERAL:
1. TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAPLES AND BURNED THROUGH THE BALES AND INTO THE GROUND, OR SEDIMENT FILTER FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.
2. BALED HAY EROSION BARRIERS AND SEDIMENT FILTER FENCES SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING CONSTRUCTION.

WINDBLOWN SEDIMENT

- GENERAL:
1. ALL WINDBLOWN SEDIMENTS SHALL BE CONTROLLED AT ALL TIMES. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING DUST CONTROL AS OFTEN AS NEEDED TO PREVENT ANY WINDBLOWN SEDIMENTS FROM LEAVING THE SITE.
2. WATER IS ACCEPTABLE BUT MUST BE APPLIED OFTEN IN HOT, DRY WEATHER.
3. CRUSHED STONE OR COARSE GRAVEL CAN ALSO BE USED.

PERSON RESPONSIBLE FOR IMPLEMENTING, MONITORING, AND MAINTAINING EROSION AND SEDIMENTATION CONTROLS.

NAME: SCOTT BAYNE
ADDRESS: 765 FARMINGTON AVENUE BRISTOL, CONN. 06010
PHONE: (860) 582-7404

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TEMPORARY VEGETATIVE COVER

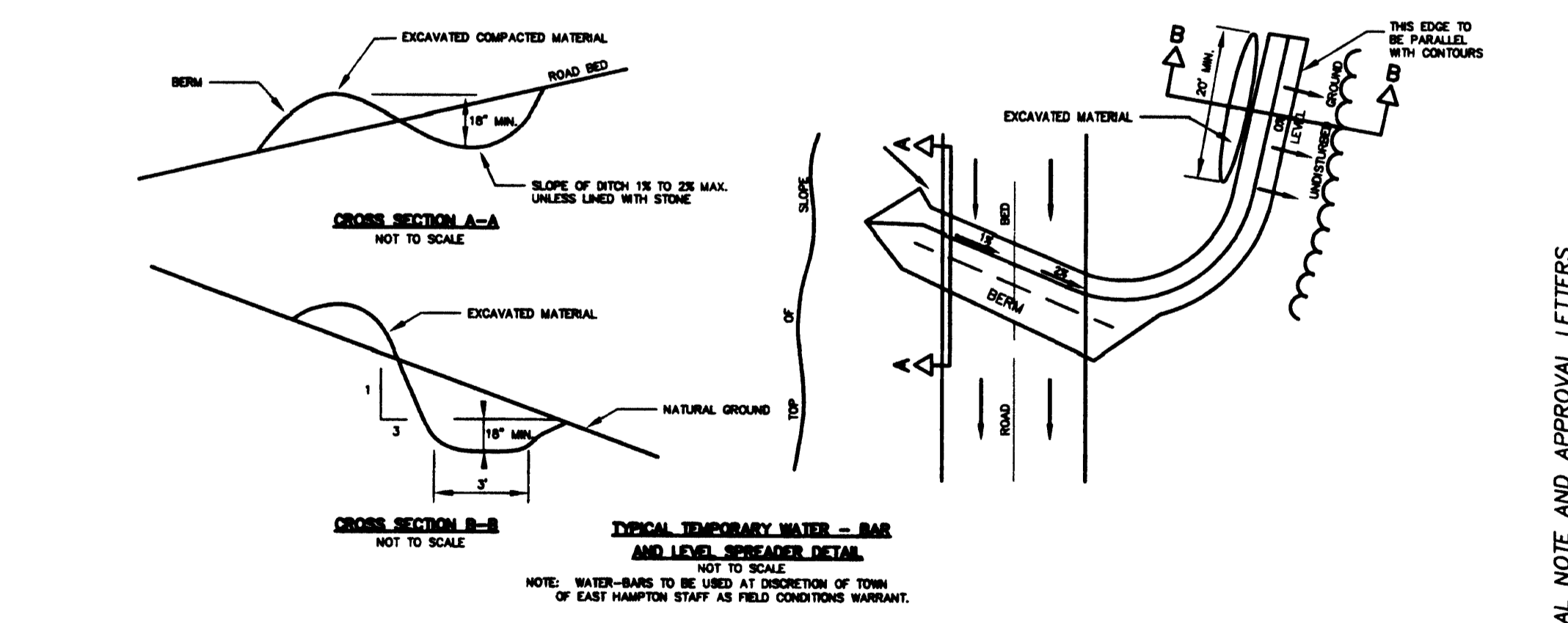
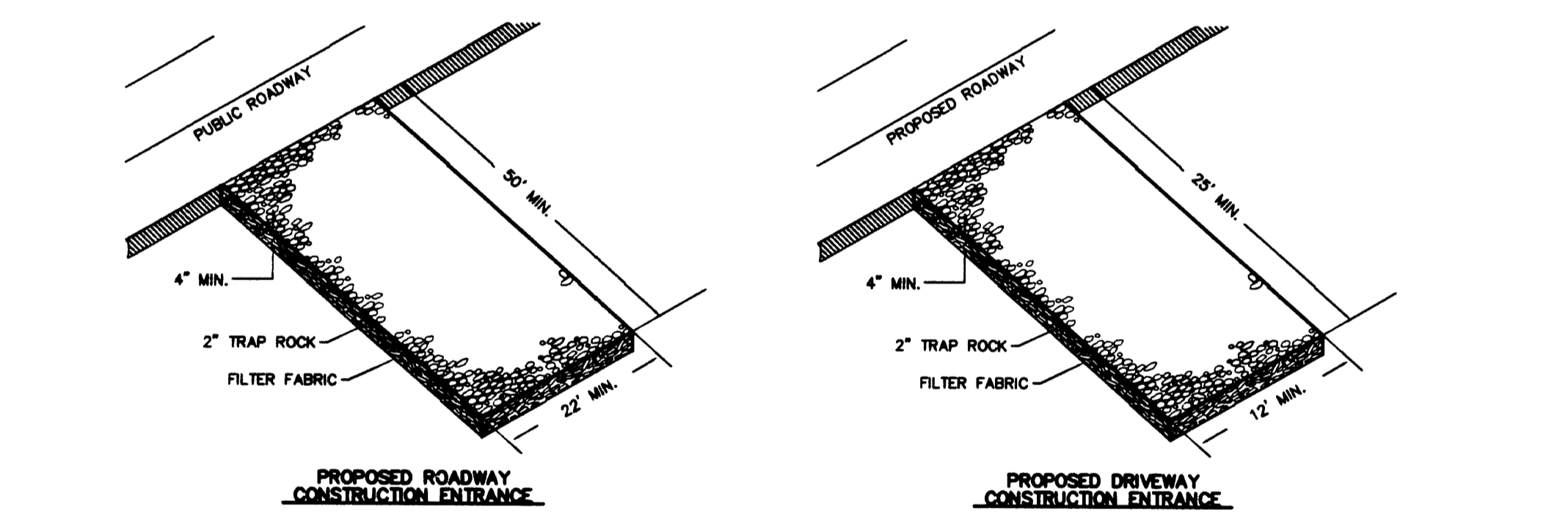
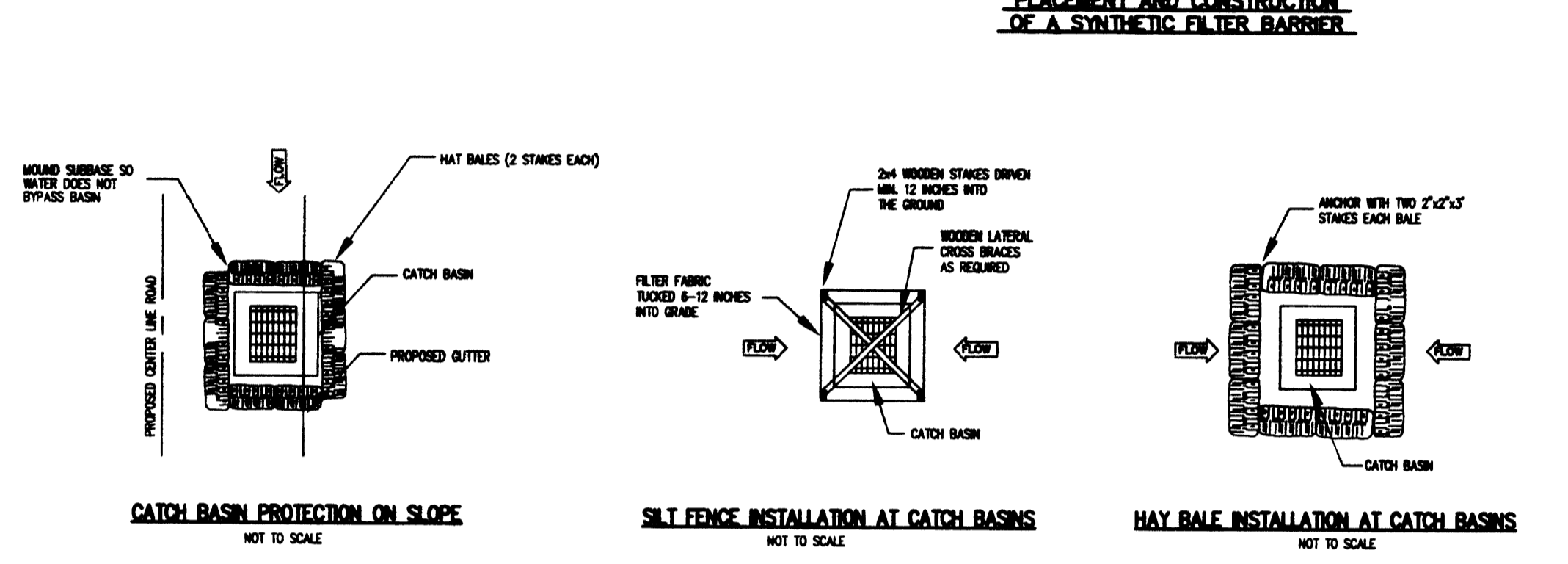
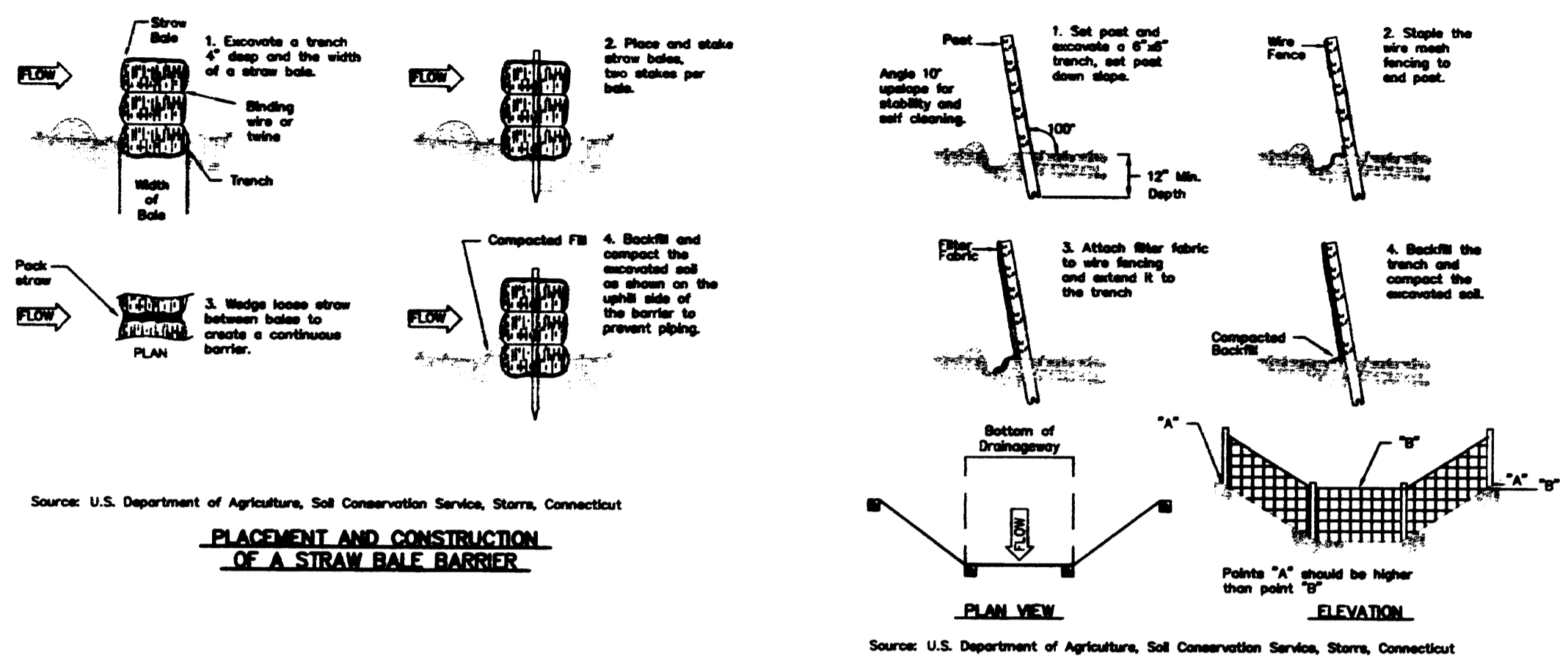
- GENERAL:
1. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT, AREAS WHERE FINAL GRADING HAS BEEN COMPLETED AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS.
2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF ONE (1) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQUARE FEET).

PERMANENT VEGETATIVE COVER

- GENERAL:
1. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE.
2. SELECT ADAPTED SEED MIXTURE AS FOLLOWS. NOTE RATES AND THE SEEDING DATES.

Table with 3 columns: SEED MIXTURE, LBS./ACRE, LBS./1000 S.F.
SUNNY TO PARTIALLY SUNNY SITES: KENTUCKY BLUEGRASS 96.5 2.27, CREEPING RED FESCUE 96.5 2.27, PERENNIAL RYEGRASS 24.0 0.45, TOTAL 217.0 5.0
SHADY SITES: CREEPING RED FESCUE 197.3 4.54, PERENNIAL RYEGRASS 19.7 0.46, TOTAL 217.0 5.0
DROUGHTY SITES: CREEPING RED FESCUE 144.7 3.33, TALL FESCUE 72.3 1.67, TOTAL 217.0 5.0

- 3. FINAL SEEDING SHALL TAKE PLACE PRIOR TO OCTOBER 1ST AS SEEDING AFTER THIS DATE RUNS A DISTINCT CHANCE OF FAILURE DUE TO ADVERSE WEATHER. ANY AREAS THAT ARE DISTURBED BETWEEN OCTOBER 1ST AND APRIL 1ST SHALL BE STABILIZED BY NON-VEGETATIVE MEANS SUCH AS HEAVY MULCHING WITH A BINDER OR JUTE MATTING WHICH WILL HAVE TO BE REMOVED BEFORE FINAL SEEDING AND THEN REPLACED AFTER FINAL SEEDING.
4. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
5. COVER GRASS AND LEGUME SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).



Received for Record 7-17-07 11:18 AM

THIS MAP PRODUCED BY ORIGINAL DRAWINGS ON POLYFILM OR LINEN MEGSON & HEAGLE 81 RANKIN ROAD GLASTONBURY CT 06033

OWNER/APPLICANT RECHOVOS CORPORATION 14 FARWELL ST. WEST HAVEN, CT 06516



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT. JOHN L. HEAGLE P.E. # 8306

MEGSON & HEAGLE CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD GLASTONBURY, CONN. 06033 PHONE (860)-659-0587

STORM WATER POLLUTION CONTROL NOTES & DETAILS SALMON RUN ESTATES (CONSERVATION SUBDIVISION) PREPARED FOR RECHOVOS CORPORATION EAST HAMPTON, CONN.

CK. BY: MWF
DRW. BY: SAM
DATE: 8-17-06
SCALE: NONE
SHEET 1 OF 5
MAP NO. 117-04-1EN





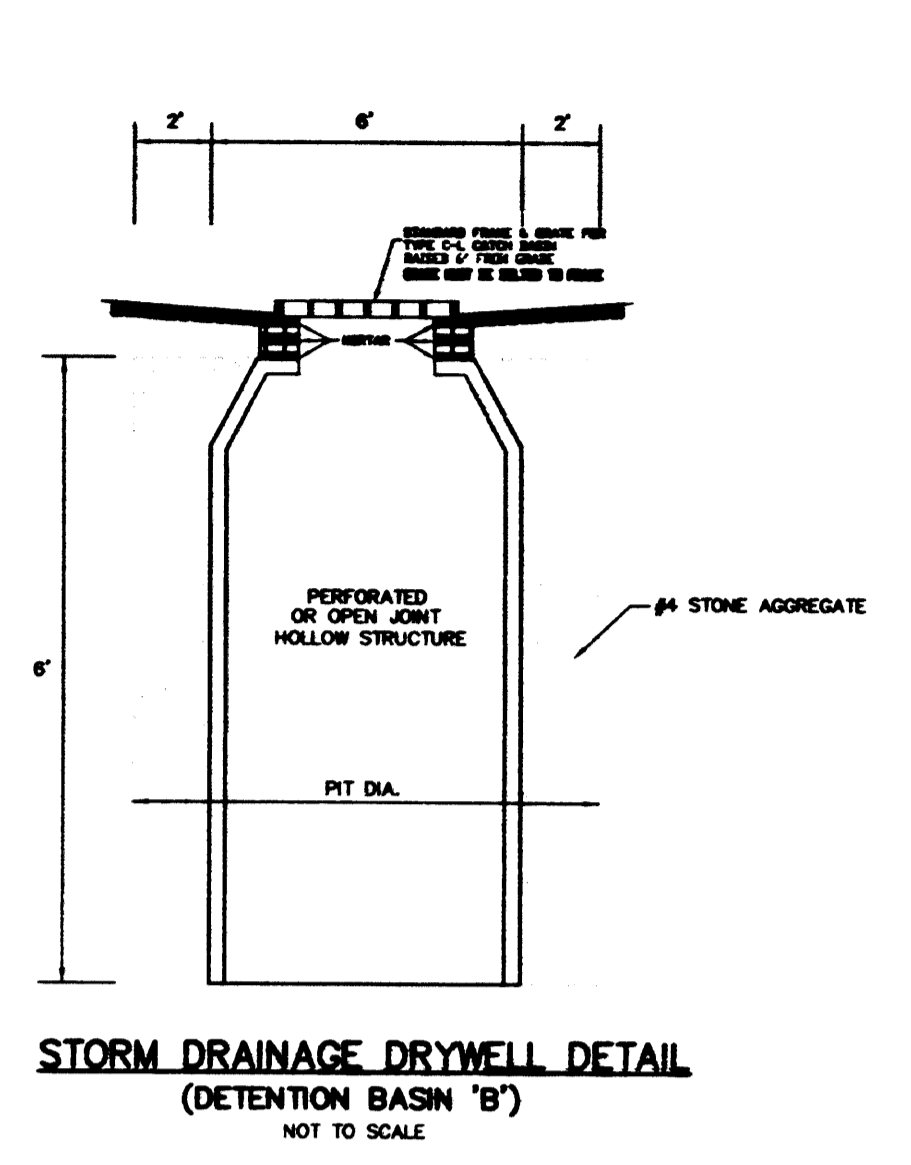
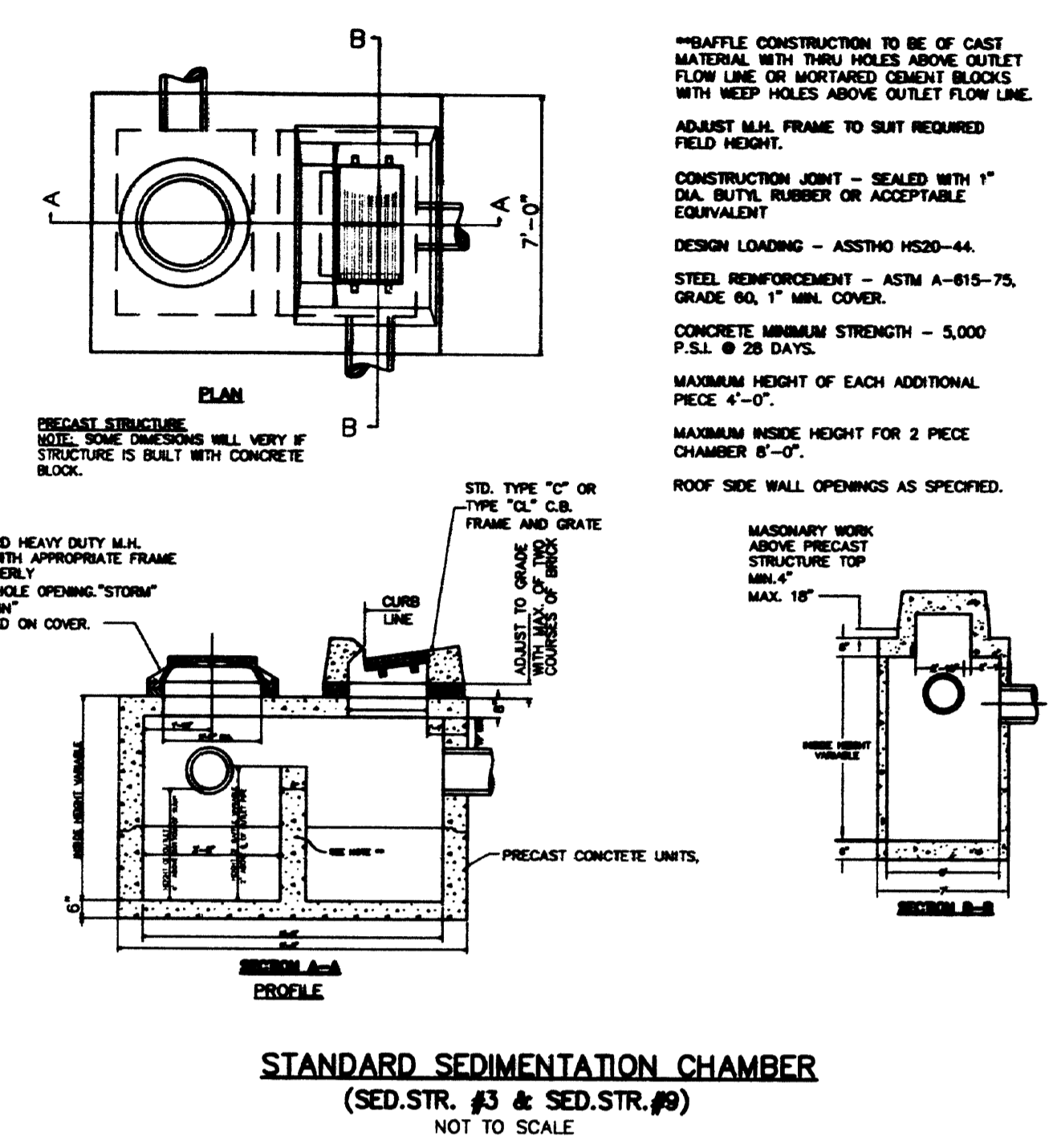
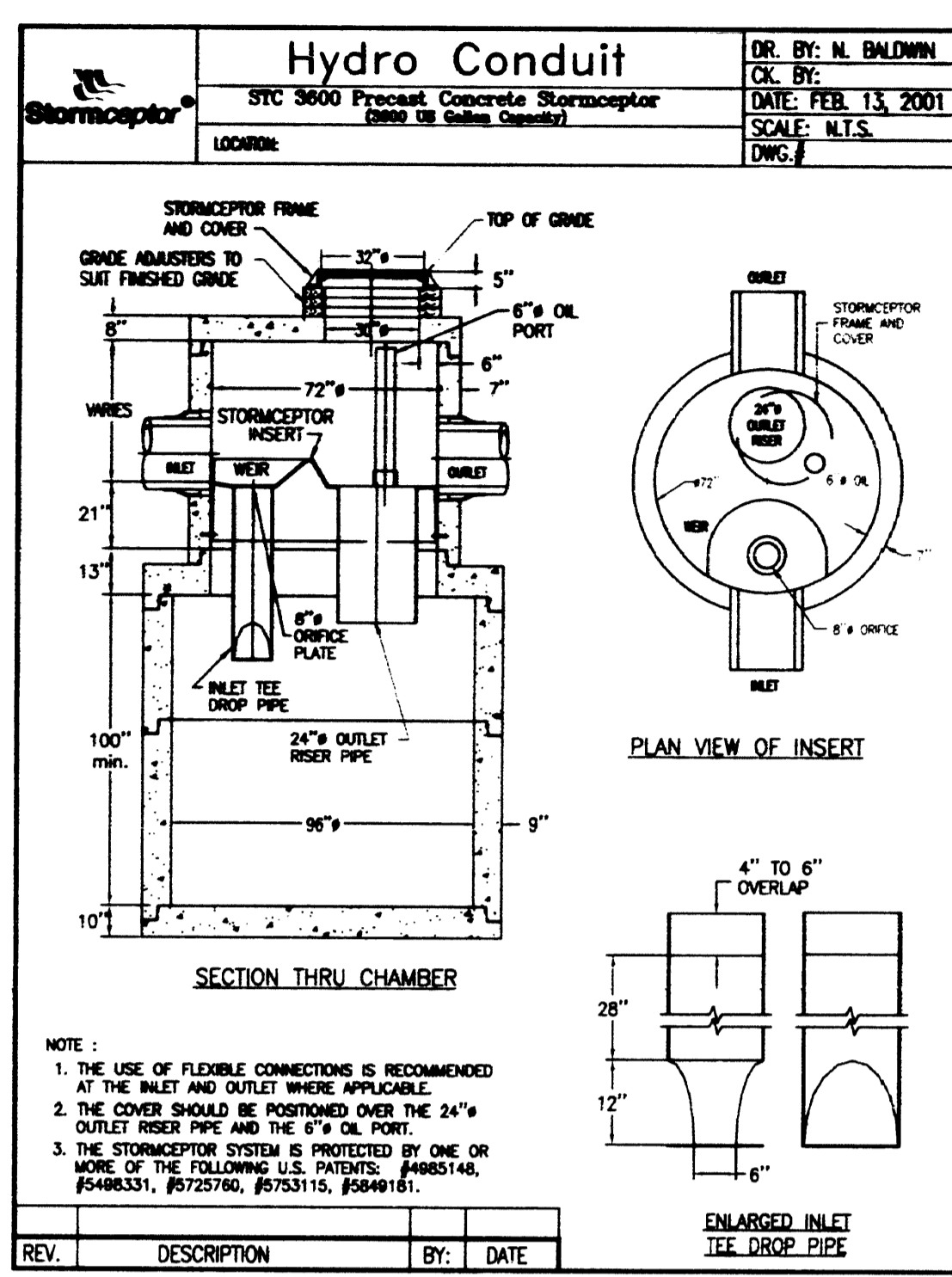
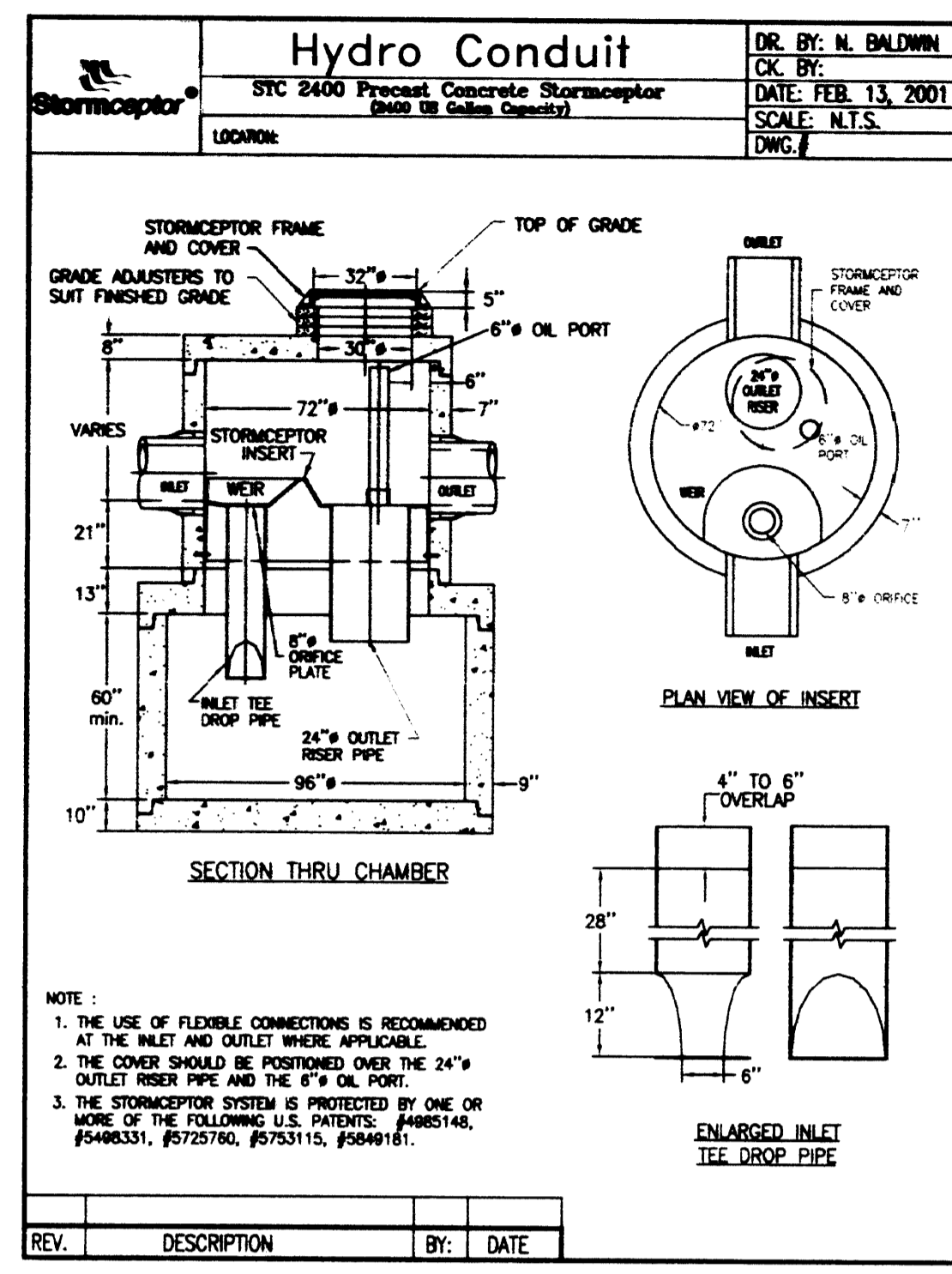


DRAWING NUMBER  
 PLAN HOLD CORPORATION - FINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 1926 32  
 PLAN HOLD CORPORATION - FINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER  
 Vol 72  
 PLAN HOLD CORPORATION - FINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER

PROJECT: SALMON RUN ESTATES (CONSERVATION SUBDIVISION)  
 DOC. NO. 001120060001 Type: MAP  
 BY: 72  
 PLAN HOLD CORPORATION - FINE, CALIFORNIA  
 REGISTERED PROFESSIONAL ENGINEER



Thank you for your interest in North American Green's Performance Controlled erosion control products. Please find enclosed information about North American Green erosion control products.

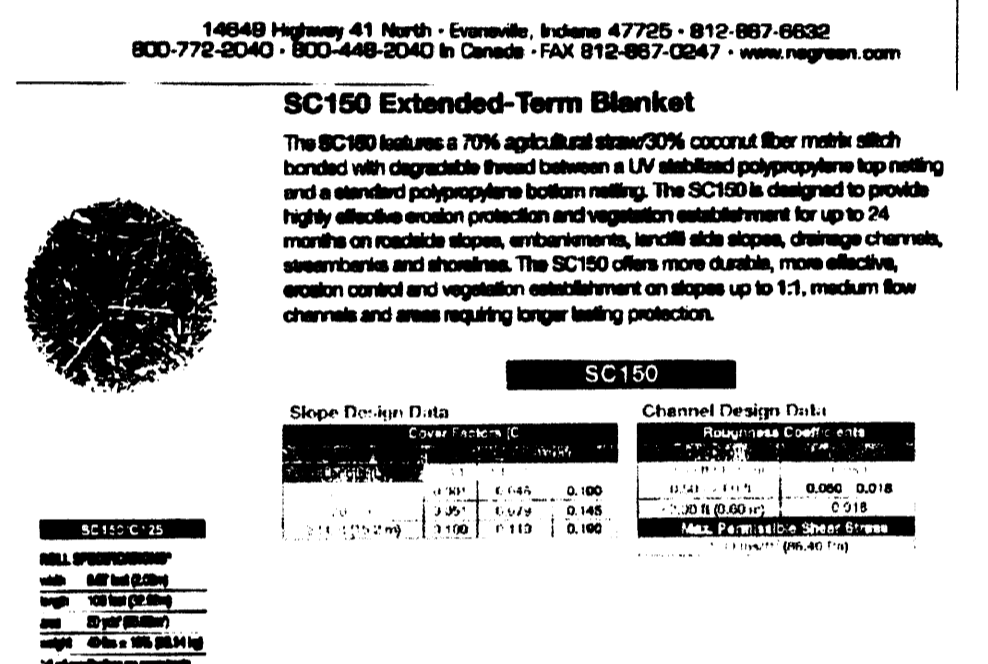
North American Green manufactures the highest quality, most efficient materials available for controlling soil erosion. The standard models of SC150, SC150E, C150, and P150 represent the most advanced types of erosion control materials available. North American Green continues to research and develop new products to provide the performance, durability, and longevity needed for every erosion control application. The following table describes the product types and corresponding setting options available from North American Green.

Product Type	Representative Sample	Typical Uniform (Equivalent)
Short Term Degradable Single Mat	ST5	Lightweight Polypropylene (LW) Quick Degrading Polypropylene (QD) (100% Biodegradable) (20)
Short Term Degradable Double Mat	ST150	Quick Degrading Polypropylene (QD) Lightweight Polypropylene (LW) Double (100% Biodegradable) (20)
Extended Term Degradable	EC150	LW Stable Polypropylene (LW) Double (100% Biodegradable) (20)
Long Term Degradable	CT150	Double 100% Biodegradable (20) UV Stable Polypropylene (20)
Synthetic Turf Reinforcement Mat	P150	Standard LW Stable Polypropylene
Composite Turf Reinforcement Mat	C150	Standard LW Stable Polypropylene

To help you effectively design projects with our line of erosion control products, North American Green offers the Erosion Control Materials Design Software, "ECMS" is a free software package available for computer-estimated quantities of materials for slope erosion protection and channel scour resistance based on design procedures developed by the USDA and FHWA.

Please contact North American Green or your local authorized distributor for further information on our products, pricing, and availability, or to learn more about the ECMS™.

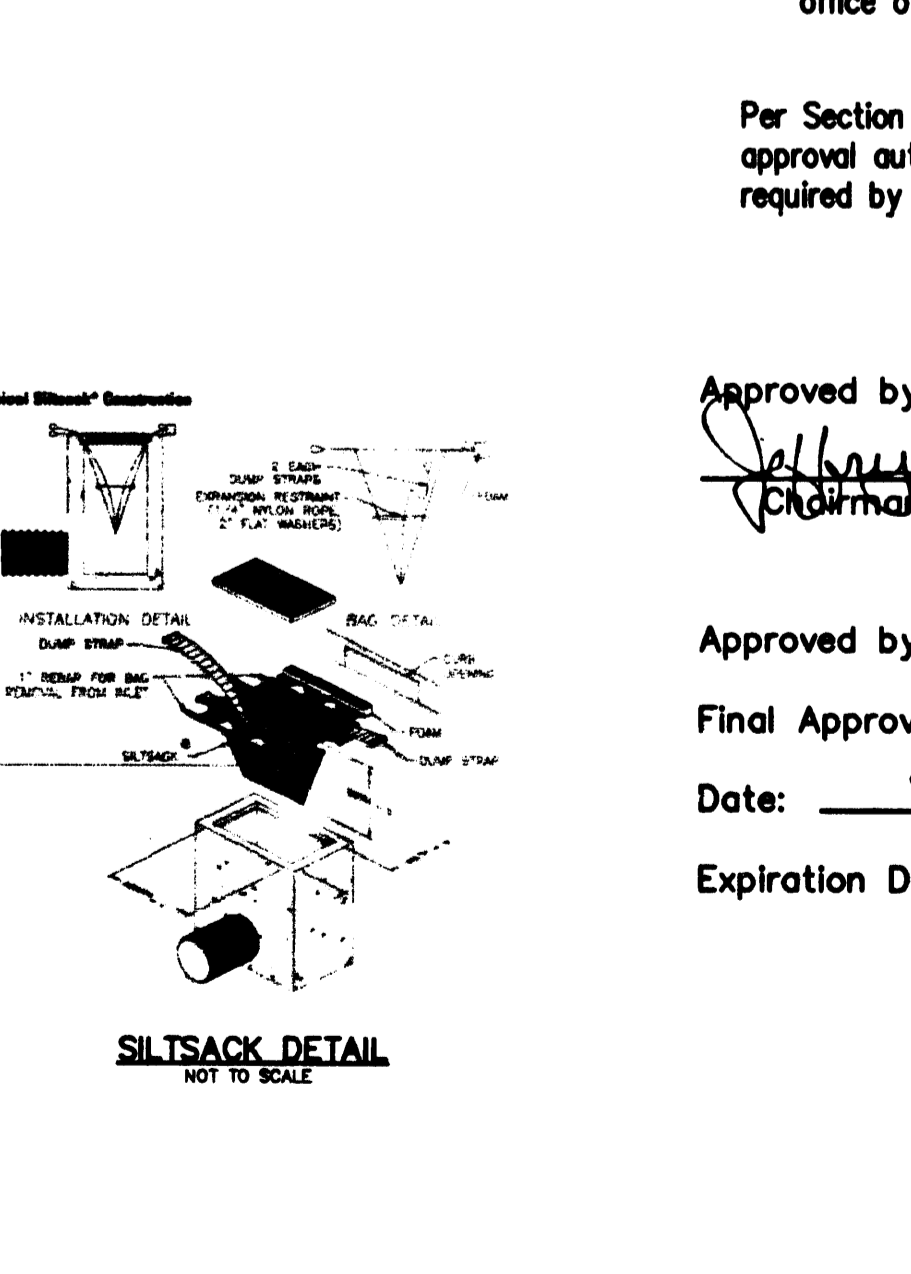
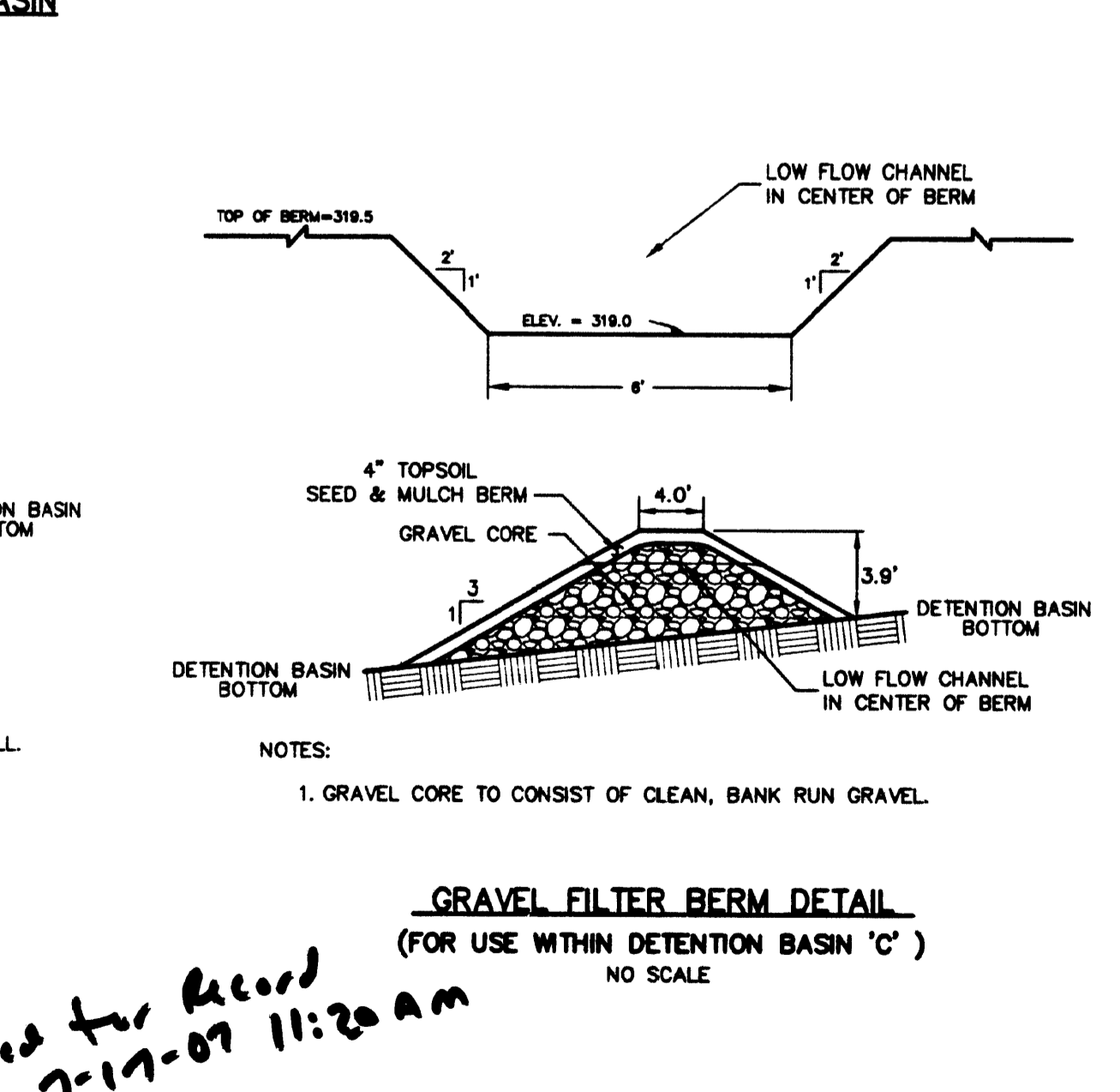
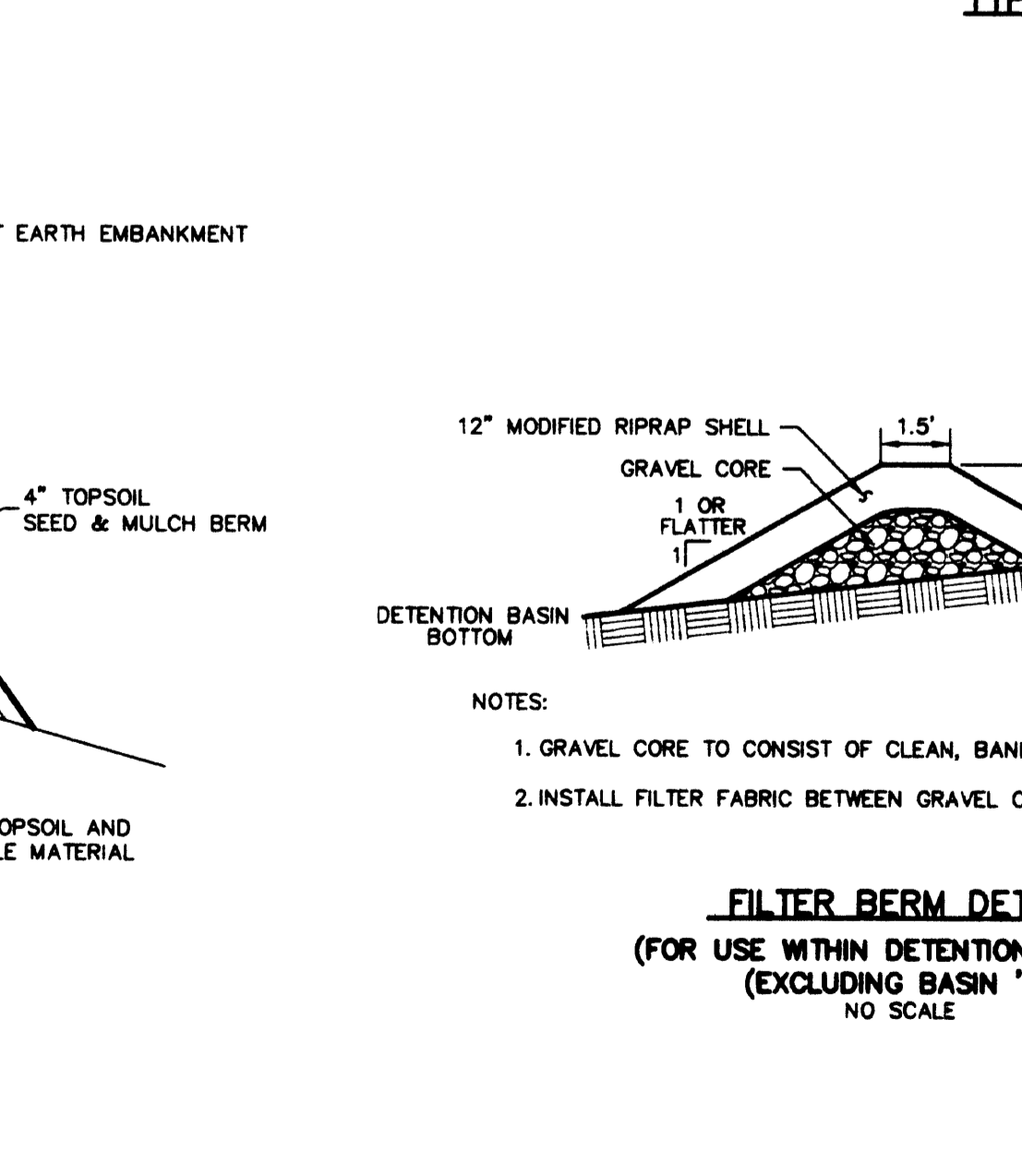
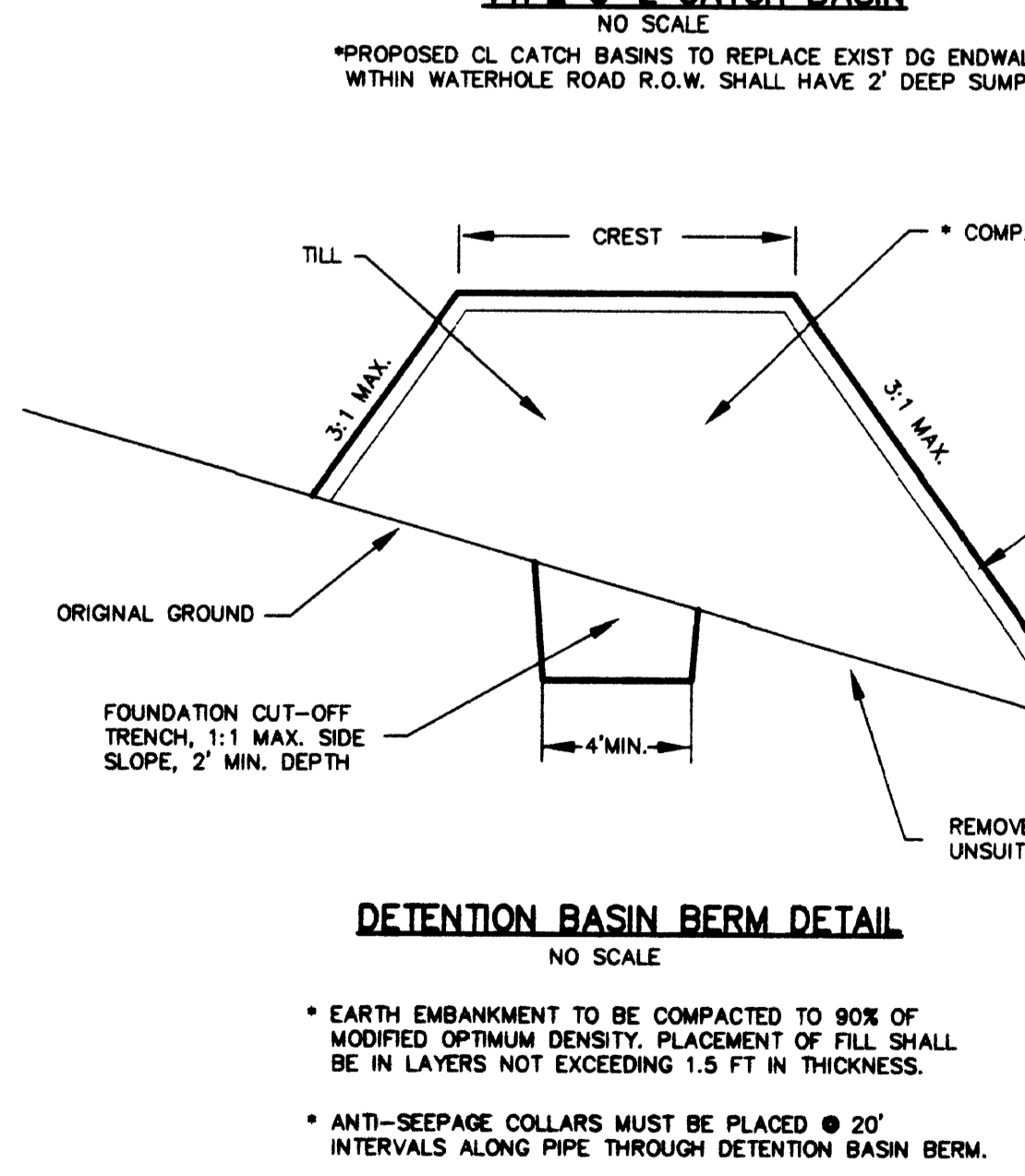
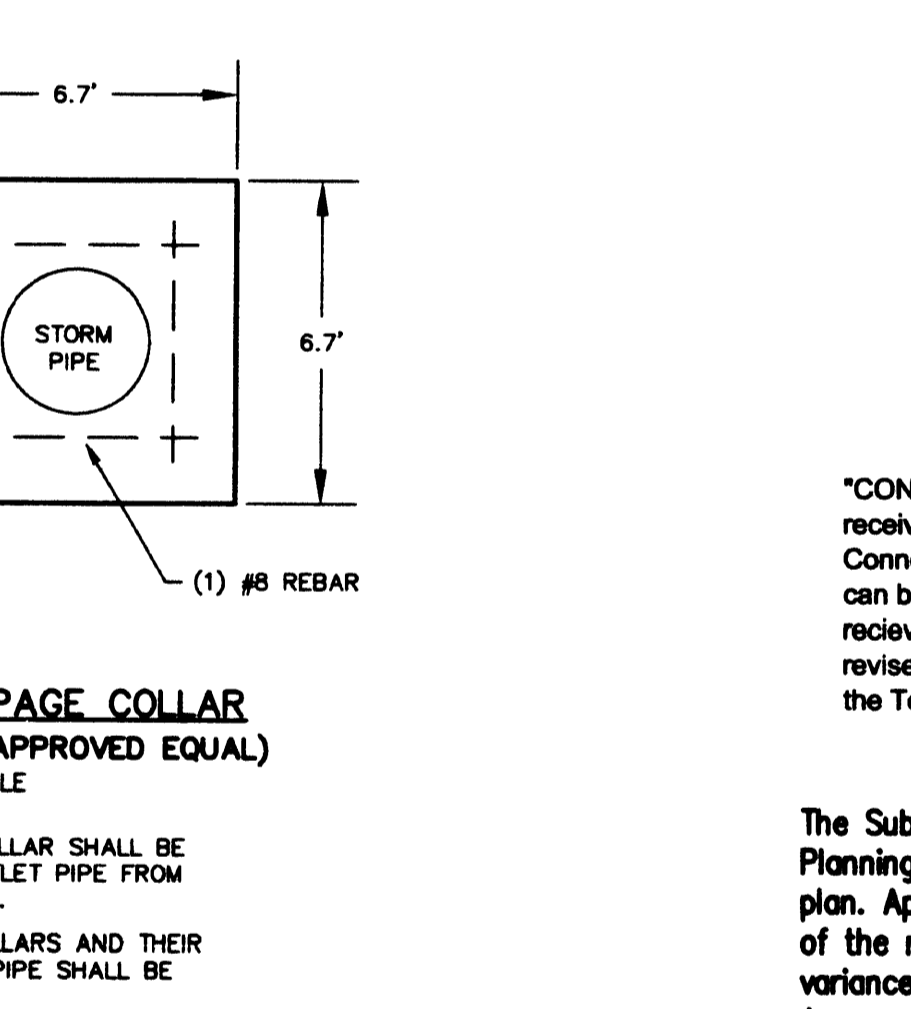
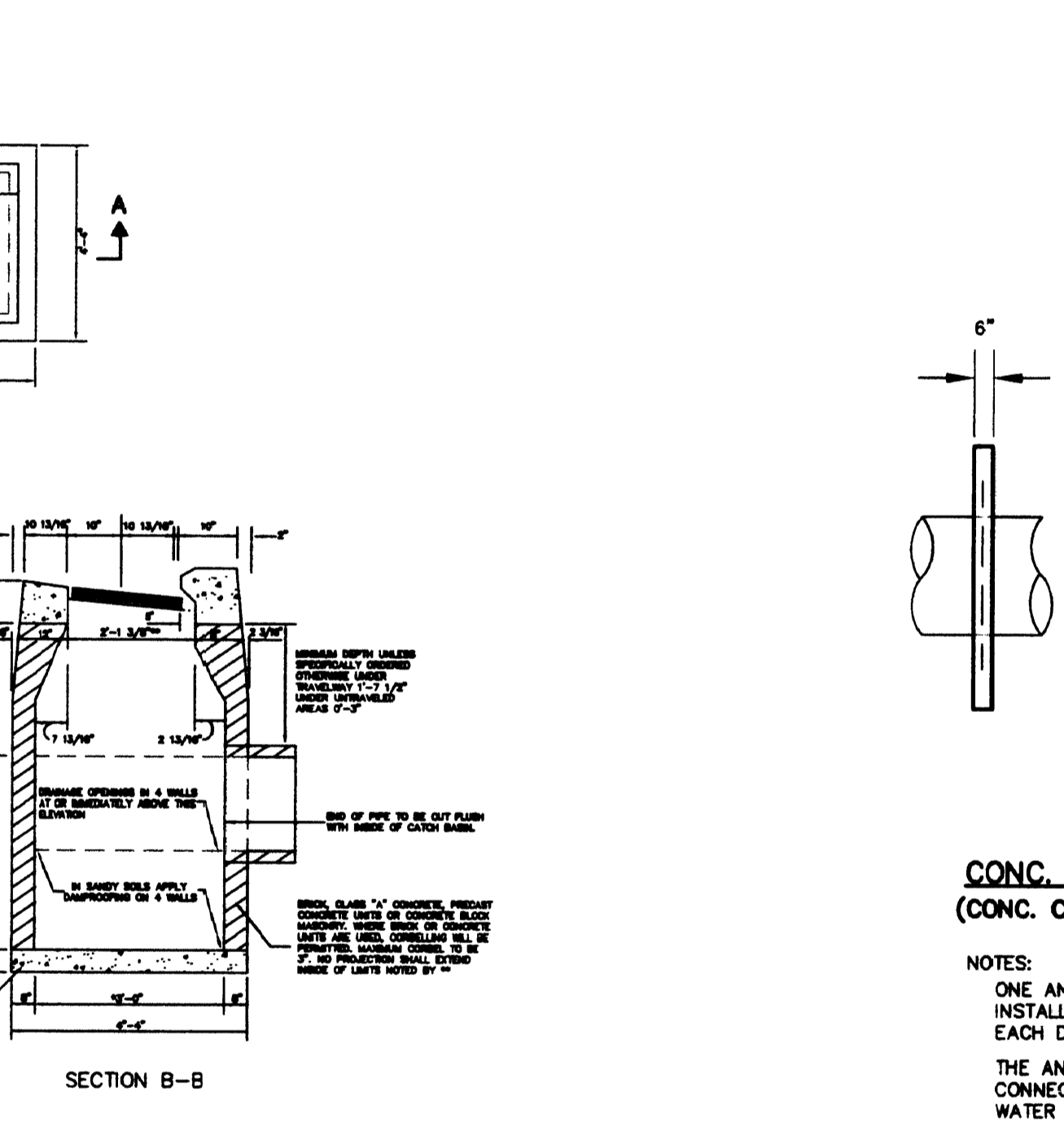
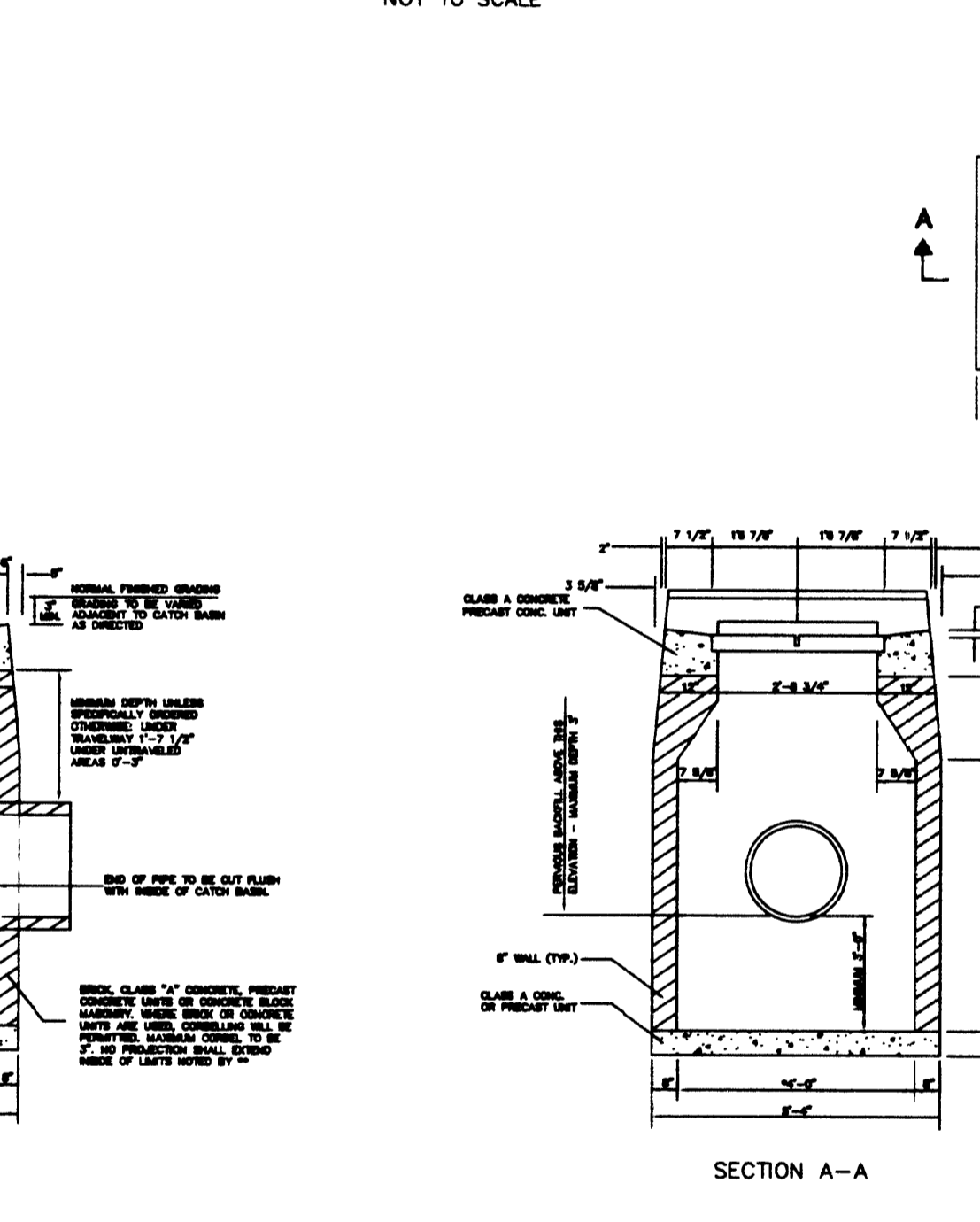
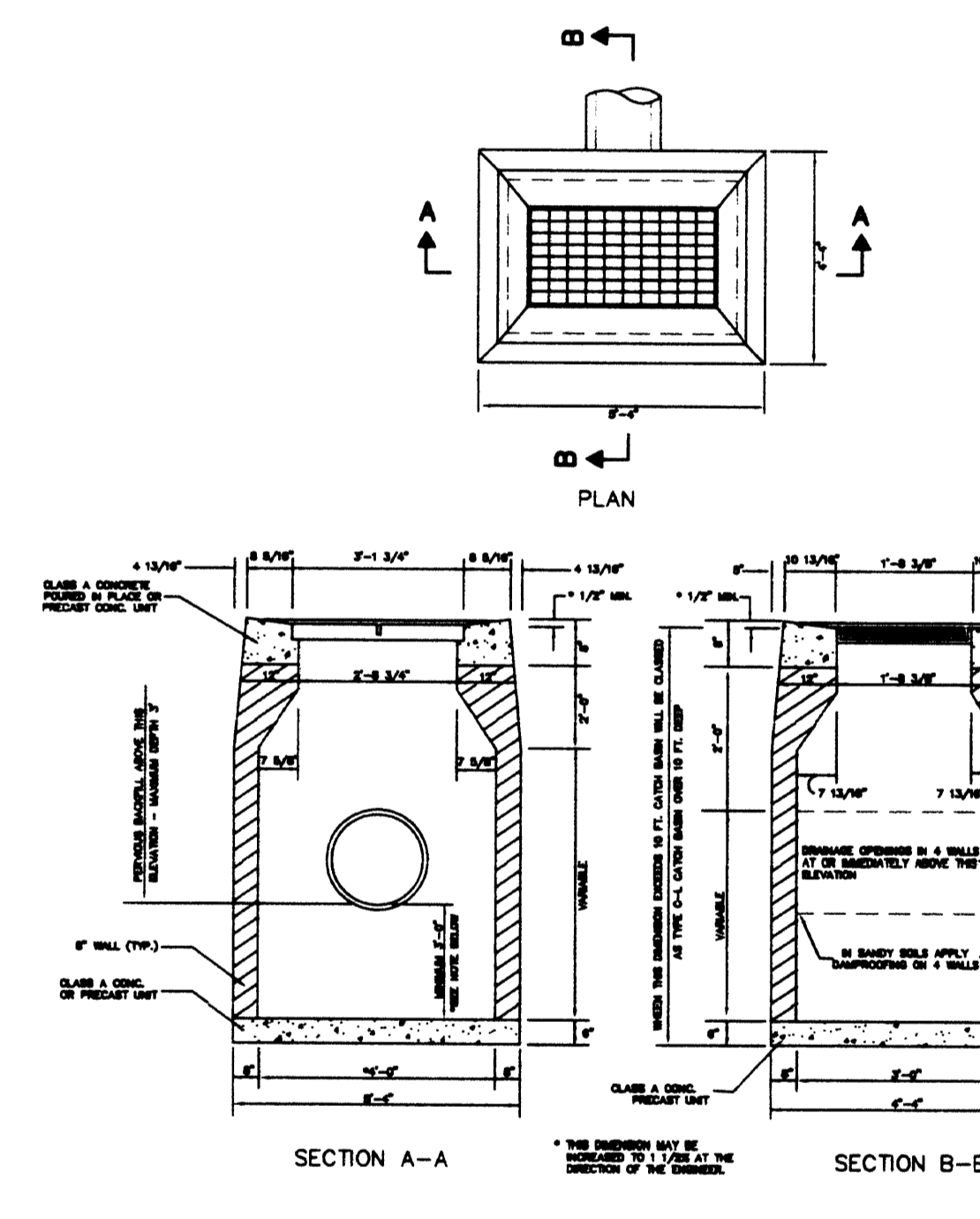
14048 Highway 41 North - Cromwell, CT 06110 - 819-887-0030  
 800-778-2000 - 1-800-200-7266 - FAX 810-887-0047 - www.nagreen.com



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Approved by the East Hampton Inland Wetlands Agency  
 [Signature] 7-3-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature]  
 Date: 7-10-07 Chairman

Expiration Date: \_\_\_\_\_

OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

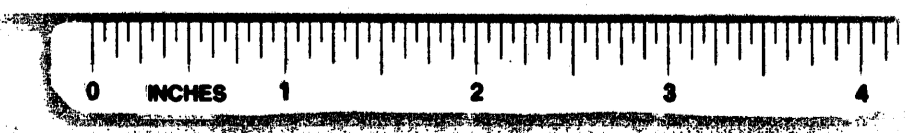


I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 8388

MCGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

STORM WATER POLLUTION CONTROL NOTES & DETAILS  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

CK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: NONE  
 SHEET 3 OF 5  
 MAP NO. 117-04-TEN



Received for Record  
 7-17-07 11:20 am

DRAWING NUMBER

PLANNED CORPORATION - IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER

Page 33

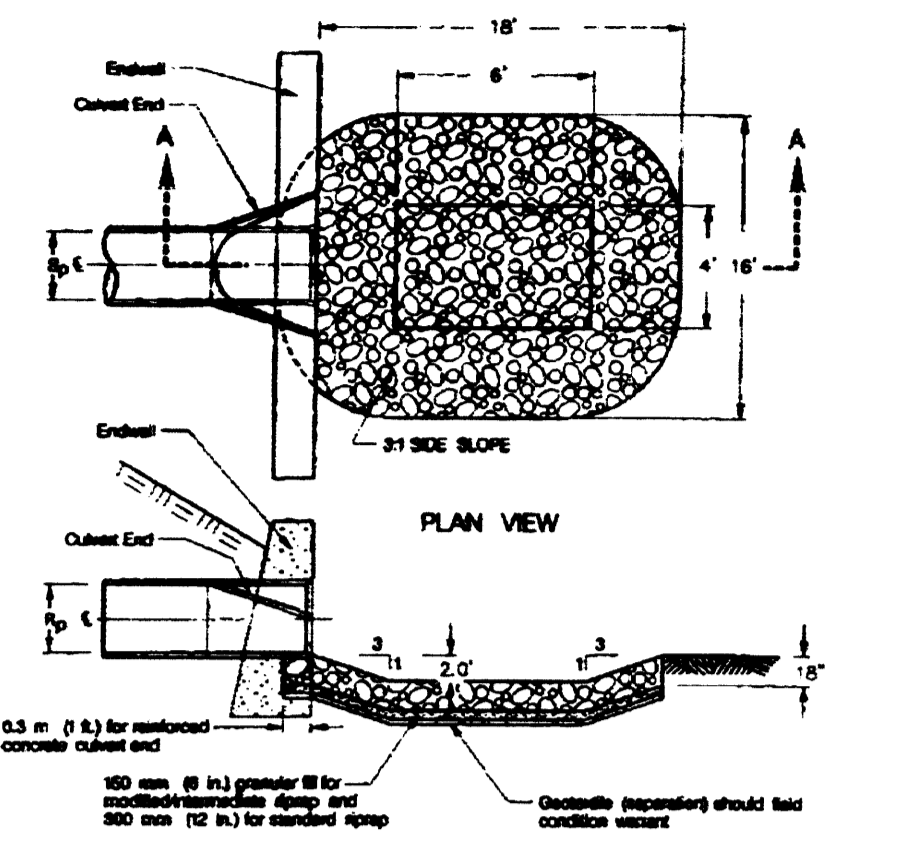
PLANNED CORPORATION - IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DRAWING NUMBER

Vol 12

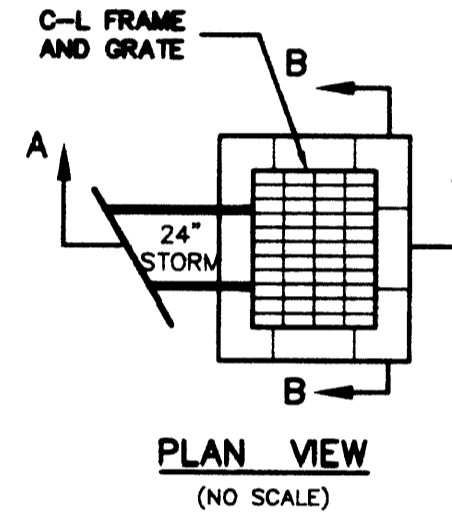
PLANNED CORPORATION - IRVINE, CALIFORNIA  
REGISTERED PROFESSIONAL ENGINEER

DETENTION BASIN 'B'

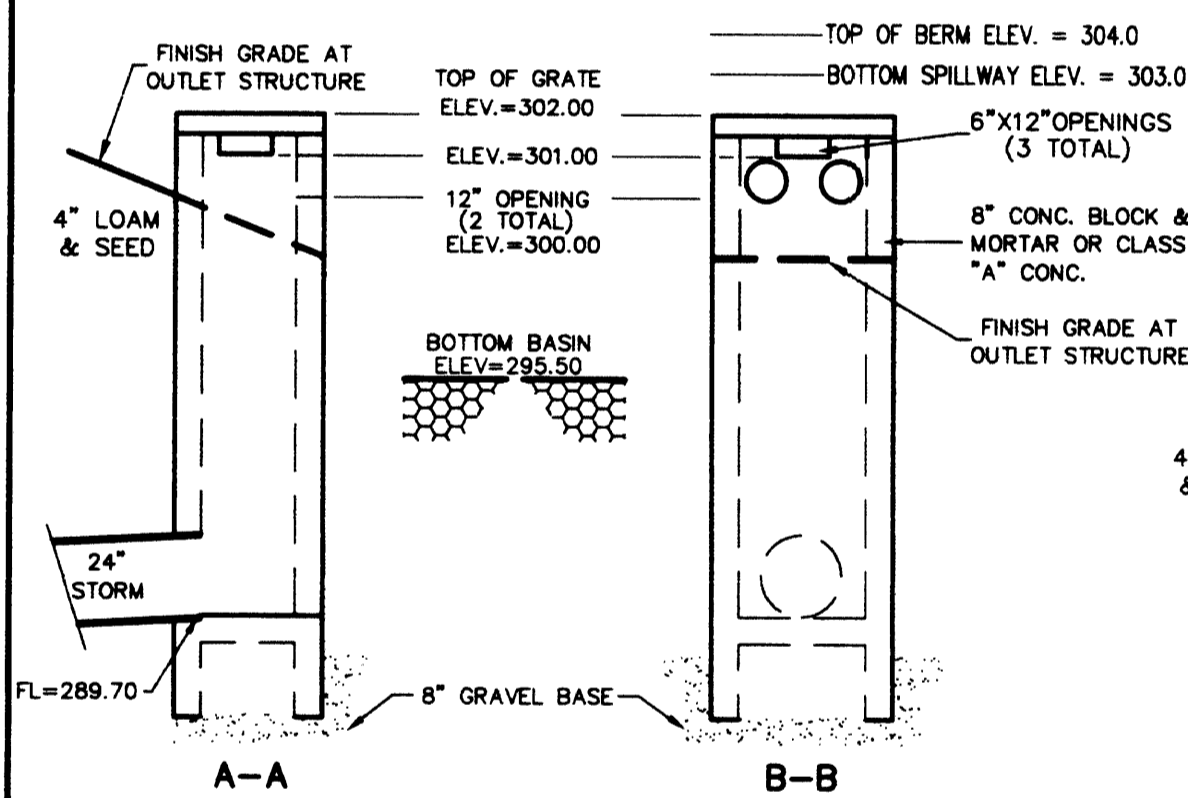


TYPE 2 PREFORMED SCOUR HOLE  
DETENTION BASIN 'B'  
(FLARED END #34 & #45)  
(NO SCALE)

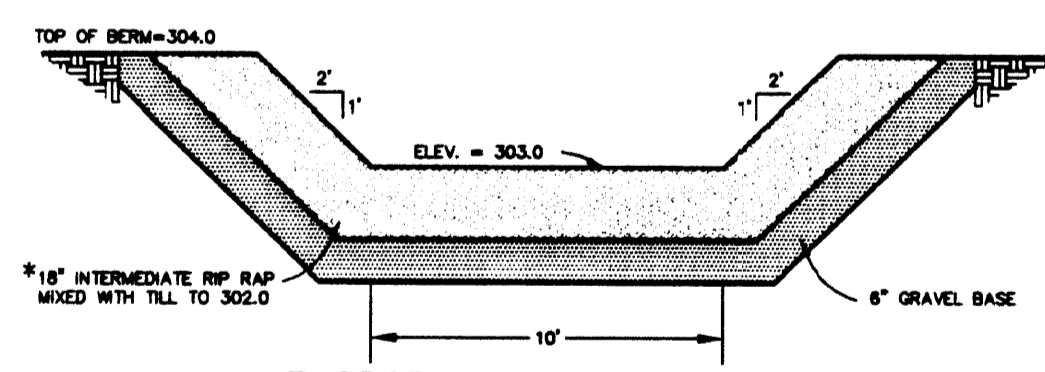
\* SEE TIMBER LEVEL SPREADER DETAIL, STORMWATER POLLUTION CONTROL NOTES AND DETAILS SHEET 5 OF 5.



PLAN VIEW  
(NO SCALE)



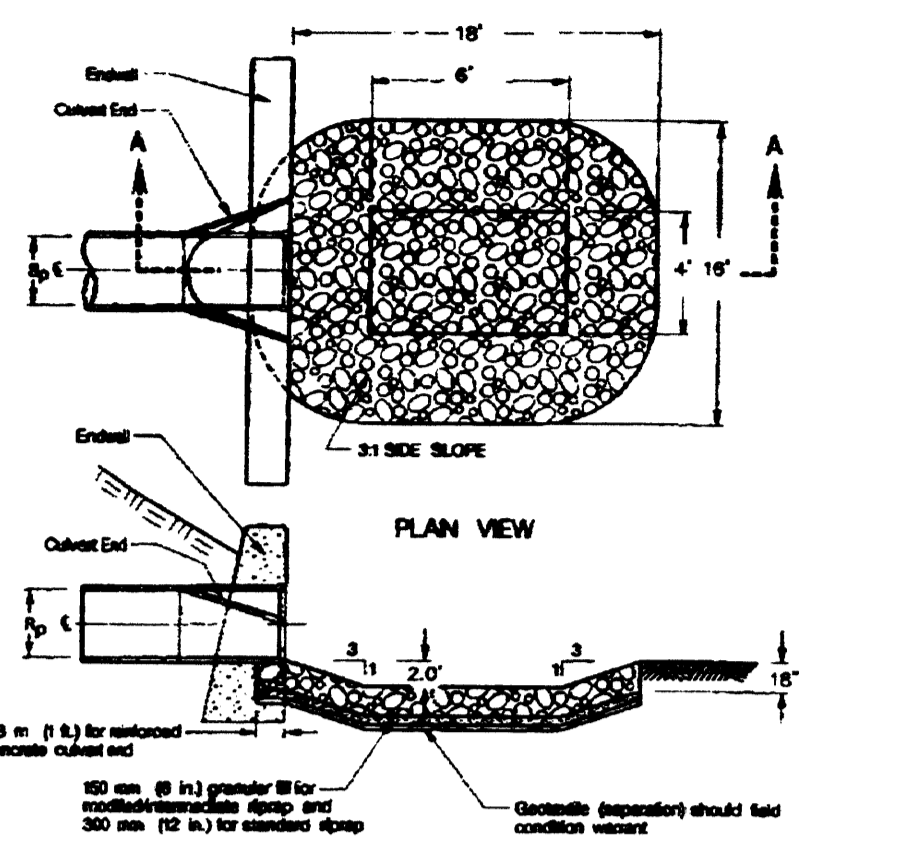
OUTLET STRUCTURE #46  
DETENTION BASIN 'B'  
(NO SCALE)



EMERGENCY SPILLWAY DETAIL  
DETENTION BASIN 'B'  
(NO SCALE)

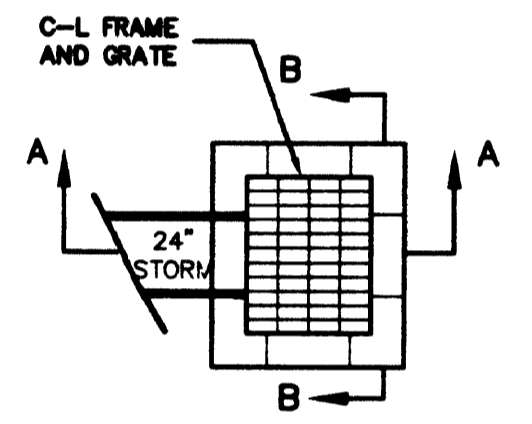
\* INTERMEDIATE RIP RAP SHALL BE MIXED WITH NATIVE TILL TO PREVENT THE FLOW OF WATER THROUGH THE RIP RAP AT ELEVATIONS LESS THAN 302.0

DETENTION BASIN 'C'

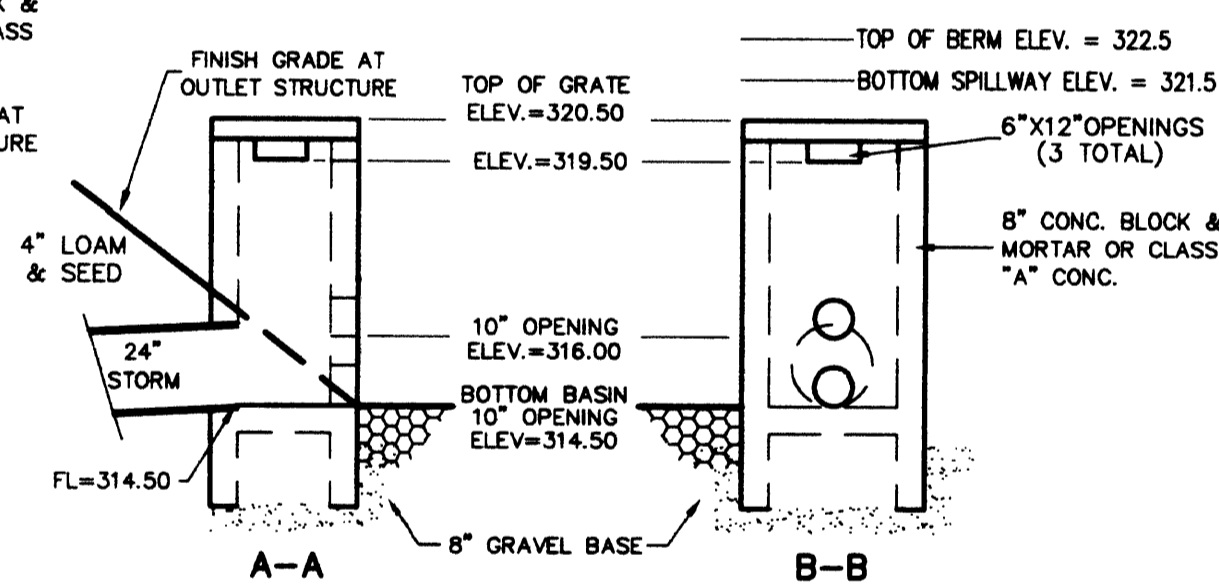


TYPE 2 PREFORMED SCOUR HOLE  
DETENTION BASIN 'C'  
(FLARED END #28 & #47)  
(NO SCALE)

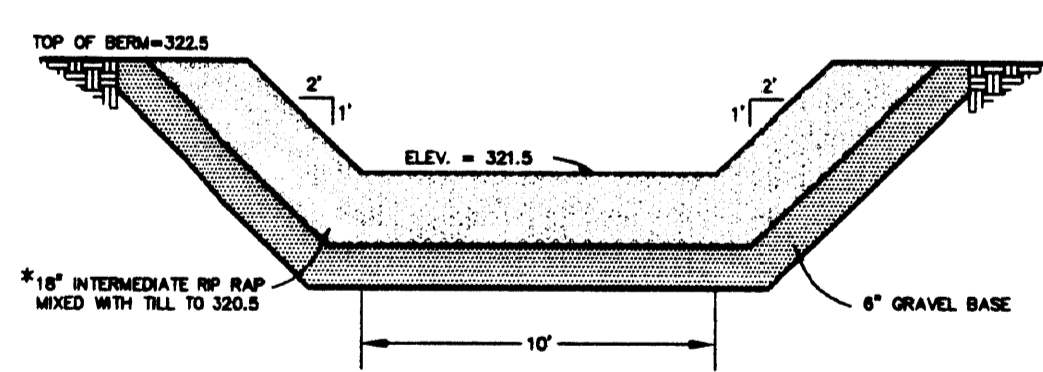
\* SEE TIMBER LEVEL SPREADER DETAIL, STORMWATER POLLUTION CONTROL NOTES AND DETAILS SHEET 5 OF 5.



PLAN VIEW  
(NO SCALE)



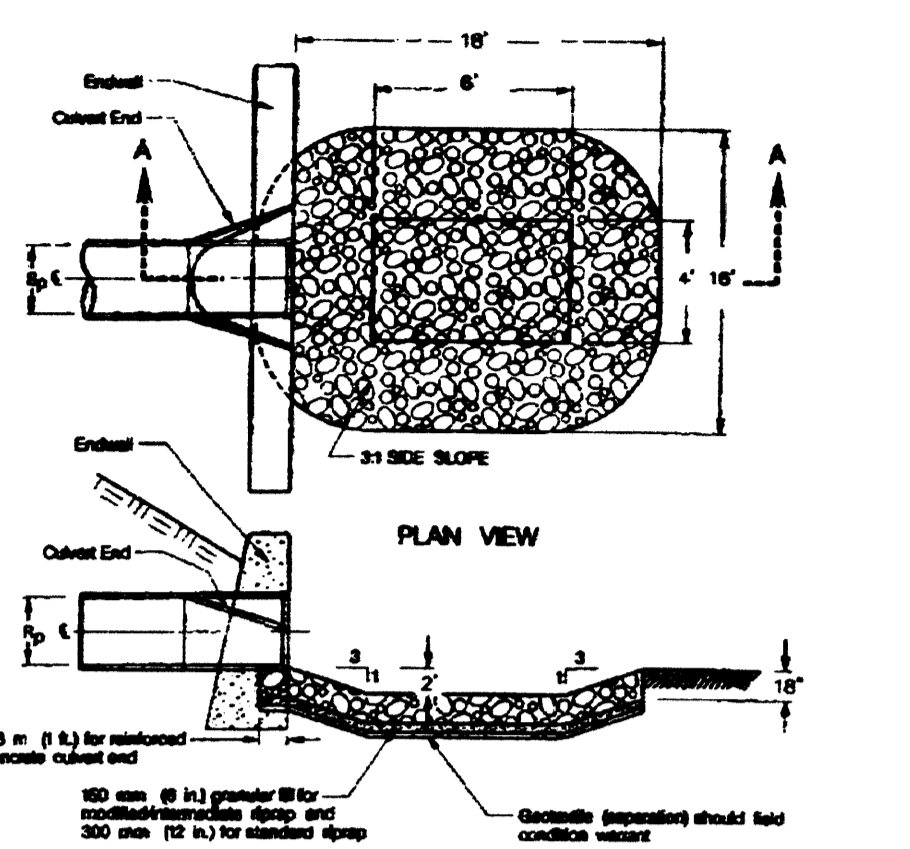
OUTLET STRUCTURE #48  
DETENTION BASIN 'C'  
(NO SCALE)



EMERGENCY SPILLWAY DETAIL  
DETENTION BASIN 'C'  
(NO SCALE)

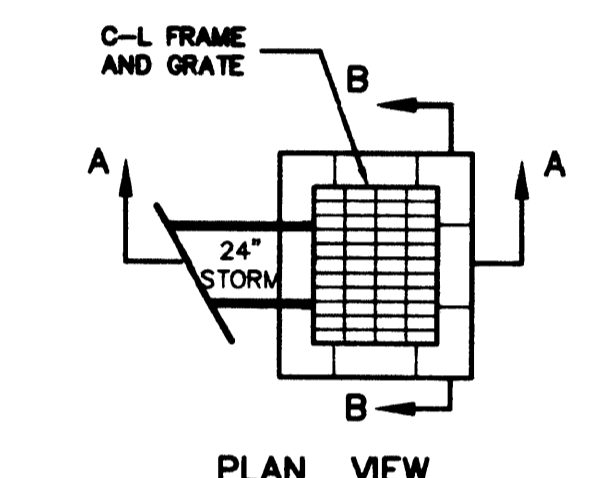
\* INTERMEDIATE RIP RAP SHALL BE MIXED WITH NATIVE TILL TO PREVENT THE FLOW OF WATER THROUGH THE RIP RAP AT ELEVATIONS LESS THAN 320.5

DETENTION BASIN 'D'

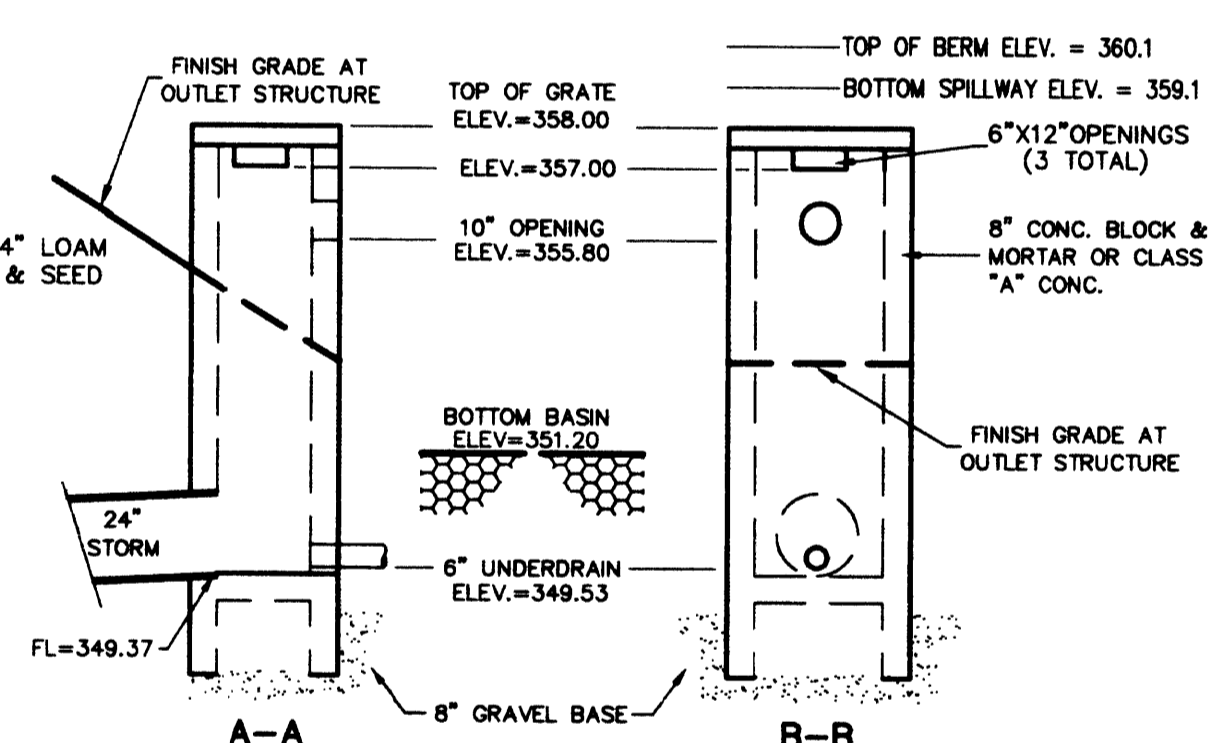


TYPE 2 PREFORMED SCOUR HOLE  
DETENTION BASIN 'D'  
(FLARED END #19 & #49)  
(NO SCALE)

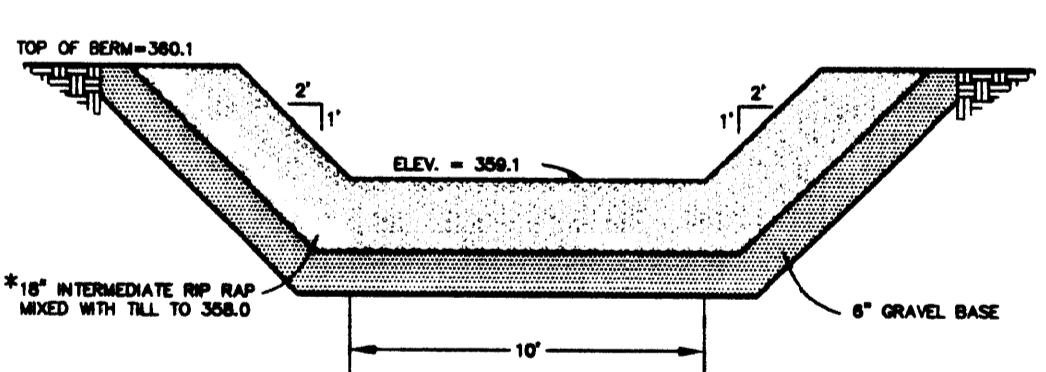
\* SEE TIMBER LEVEL SPREADER DETAIL, STORMWATER POLLUTION CONTROL NOTES AND DETAILS SHEET 5 OF 5.



PLAN VIEW  
(NO SCALE)



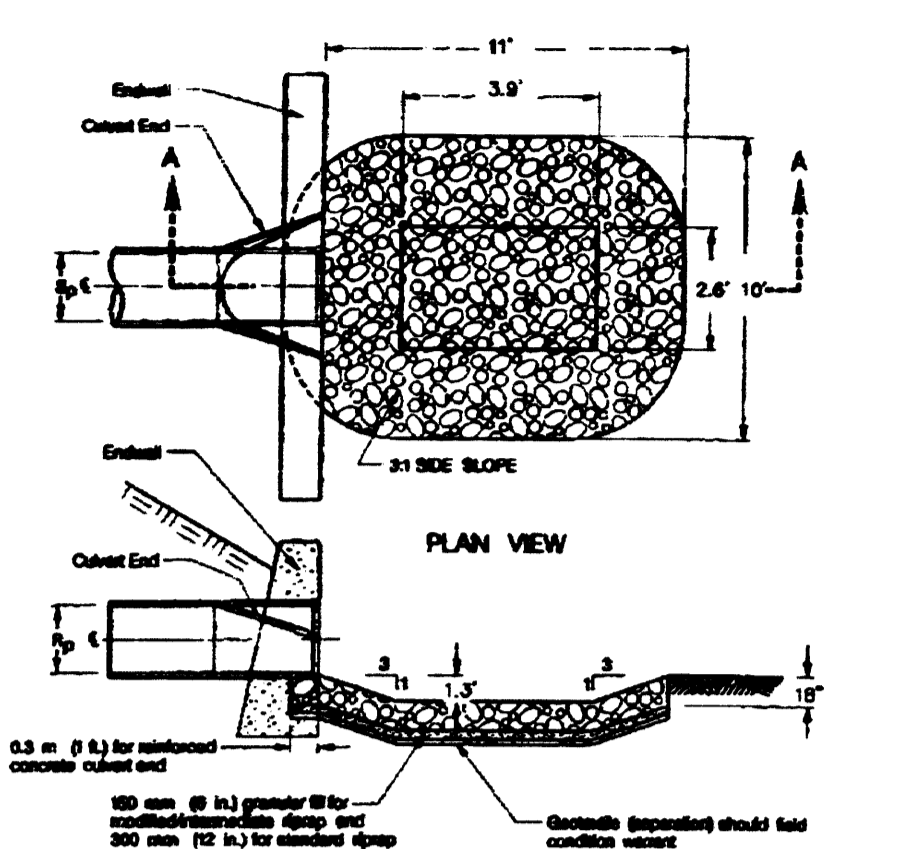
OUTLET STRUCTURE #50  
DETENTION BASIN 'D'  
(NO SCALE)



EMERGENCY SPILLWAY DETAIL  
DETENTION BASIN 'D'  
(NO SCALE)

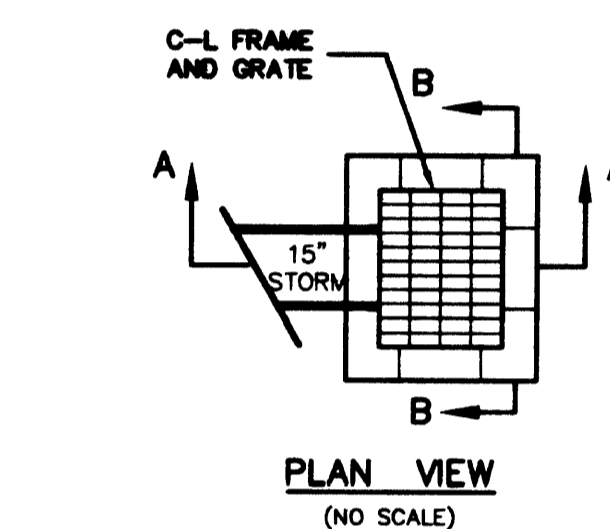
\* INTERMEDIATE RIP RAP SHALL BE MIXED WITH NATIVE TILL TO PREVENT THE FLOW OF WATER THROUGH THE RIP RAP AT ELEVATIONS LESS THAN 358.0

DETENTION BASIN 'F'

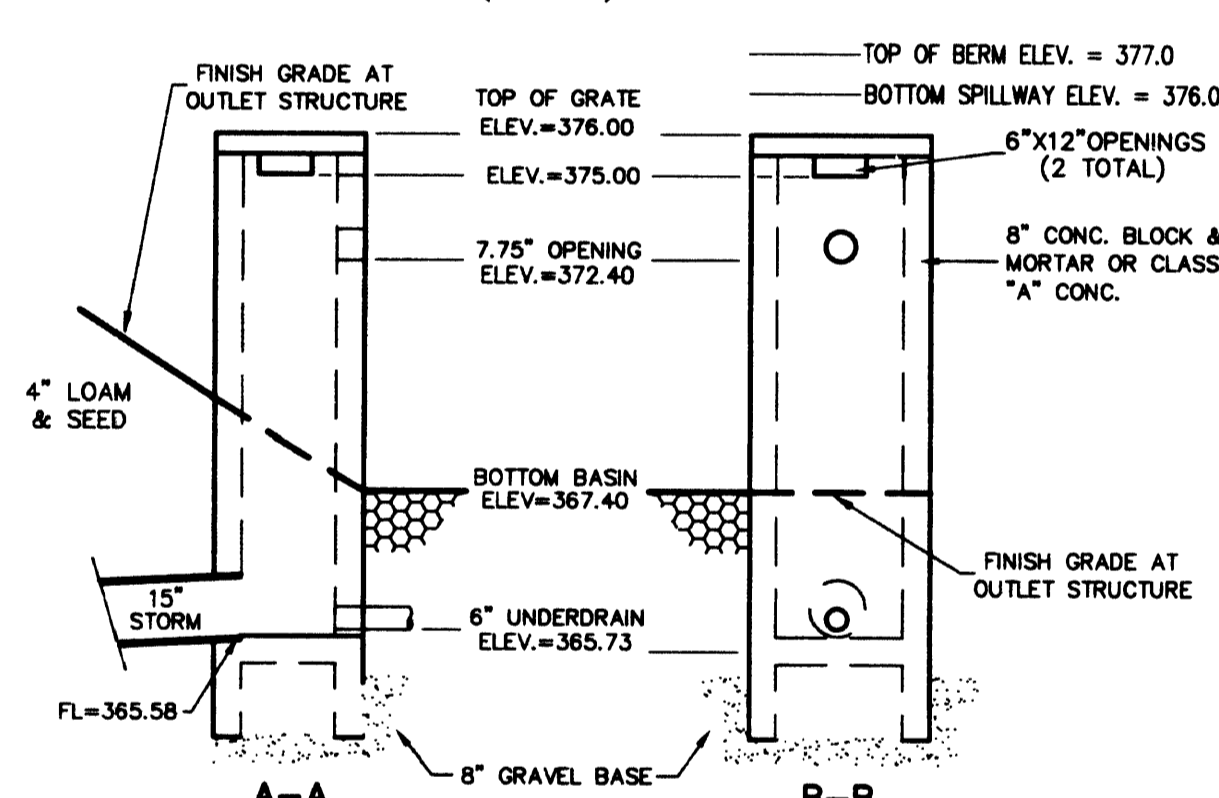


TYPE 2 PREFORMED SCOUR HOLE  
DETENTION BASIN 'F'  
(FLARED END #8)  
(NO SCALE)

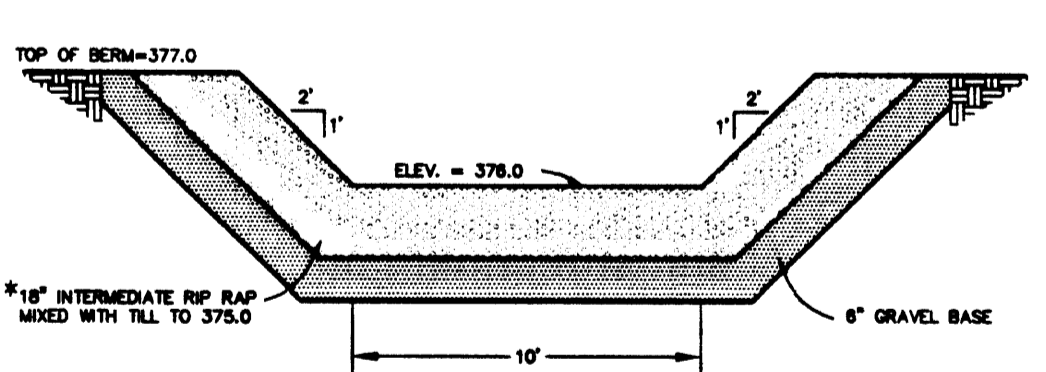
\* SEE TIMBER LEVEL SPREADER DETAIL, STORMWATER POLLUTION CONTROL NOTES AND DETAILS SHEET 5 OF 5.



PLAN VIEW  
(NO SCALE)



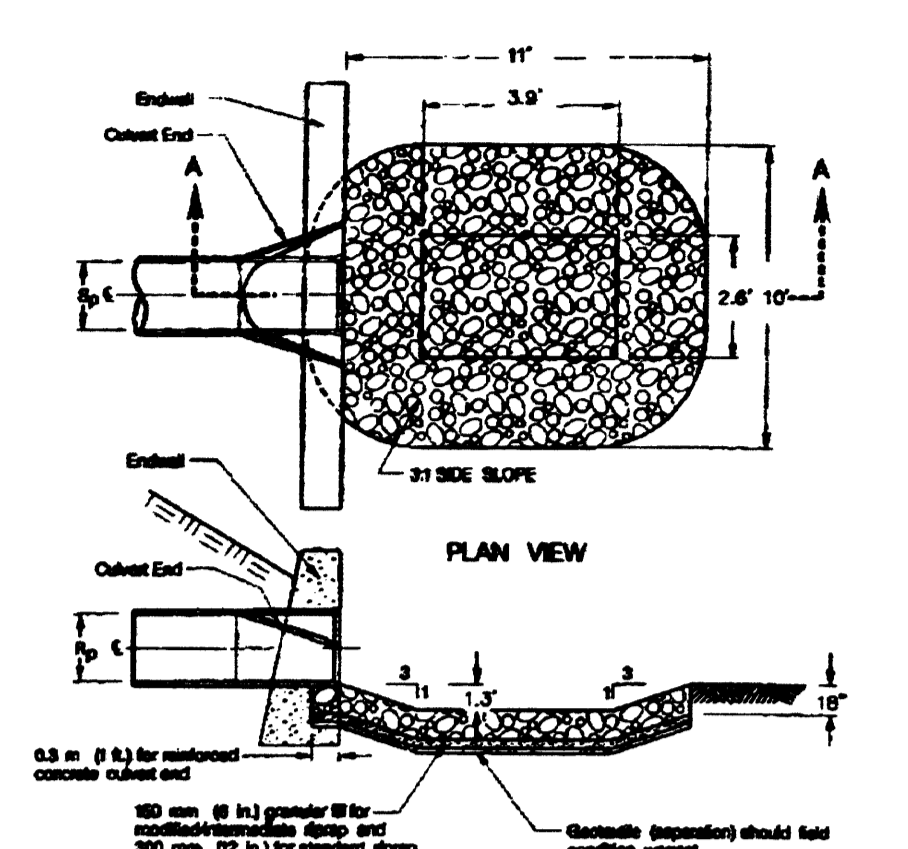
OUTLET STRUCTURE #52  
DETENTION BASIN 'F'  
(NO SCALE)



EMERGENCY SPILLWAY DETAIL  
DETENTION BASIN 'F'  
(NO SCALE)

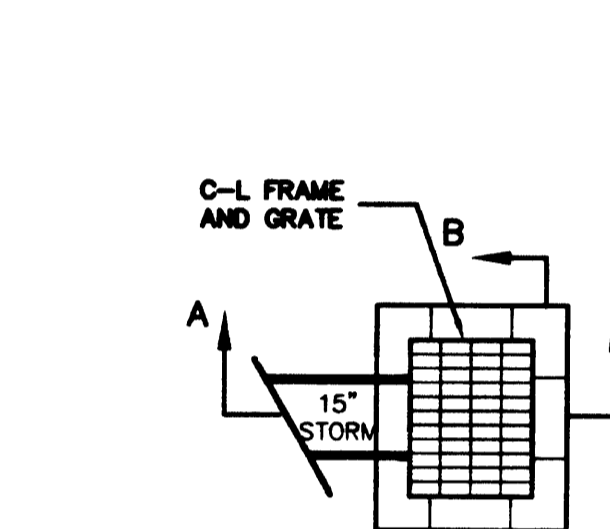
\* INTERMEDIATE RIP RAP SHALL BE MIXED WITH NATIVE TILL TO PREVENT THE FLOW OF WATER THROUGH THE RIP RAP AT ELEVATIONS LESS THAN 375.0

DETENTION BASIN 'H'

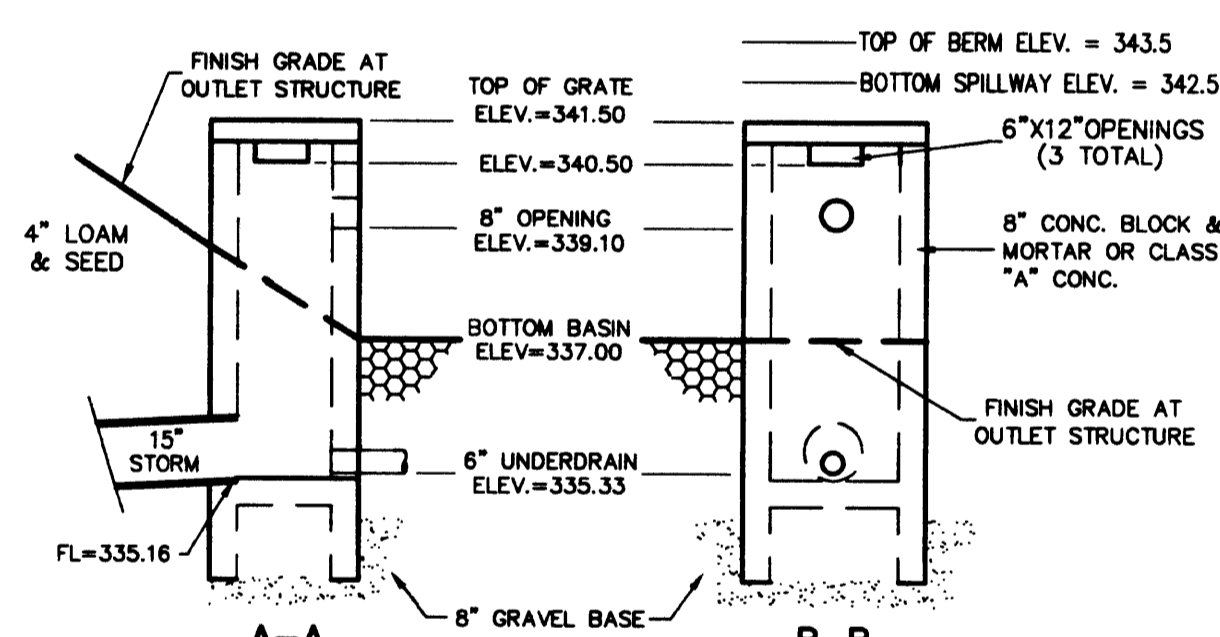


TYPE 2 PREFORMED SCOUR HOLE  
DETENTION BASIN 'H'  
(FLARED END #2)  
(NO SCALE)

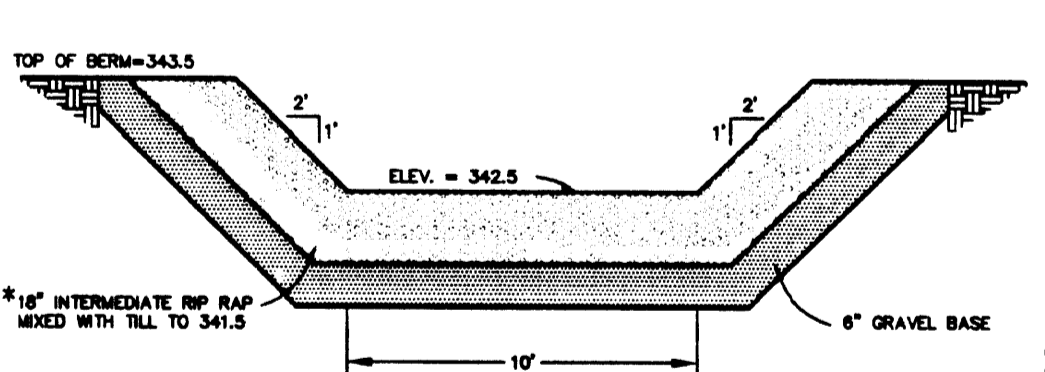
\* SEE TIMBER LEVEL SPREADER DETAIL, STORMWATER POLLUTION CONTROL NOTES AND DETAILS SHEET 5 OF 5.



PLAN VIEW  
(NO SCALE)



OUTLET STRUCTURE #54  
DETENTION BASIN 'H'  
(NO SCALE)



EMERGENCY SPILLWAY DETAIL  
DETENTION BASIN 'H'  
(NO SCALE)

\* INTERMEDIATE RIP RAP SHALL BE MIXED WITH NATIVE TILL TO PREVENT THE FLOW OF WATER THROUGH THE RIP RAP AT ELEVATIONS LESS THAN 341.5

'CONDITIONAL APPROVAL ONLY' This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Received For Review  
7-17-07 11:21 AM

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Inland Wetlands Agency

*[Signature]* DATE 7-3-07

Approved by the East Hampton Planning & Zoning Commission

Final Approval *[Signature]* Chairman

Date: 7-10-07

Expiration Date: \_\_\_\_\_

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN MEGSON & HEAGLE 81 RANKIN ROAD GASTONBURY, CT 06033

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 12-27-06 TOWN STAFF COMMENTS

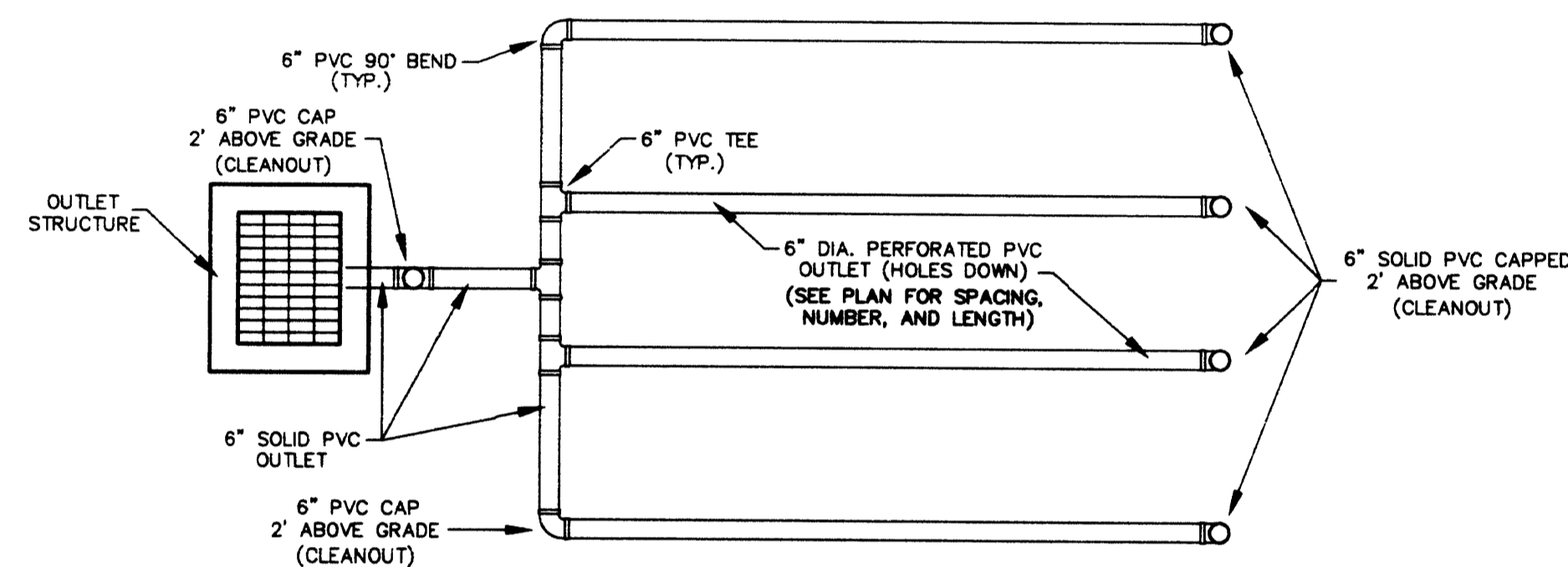
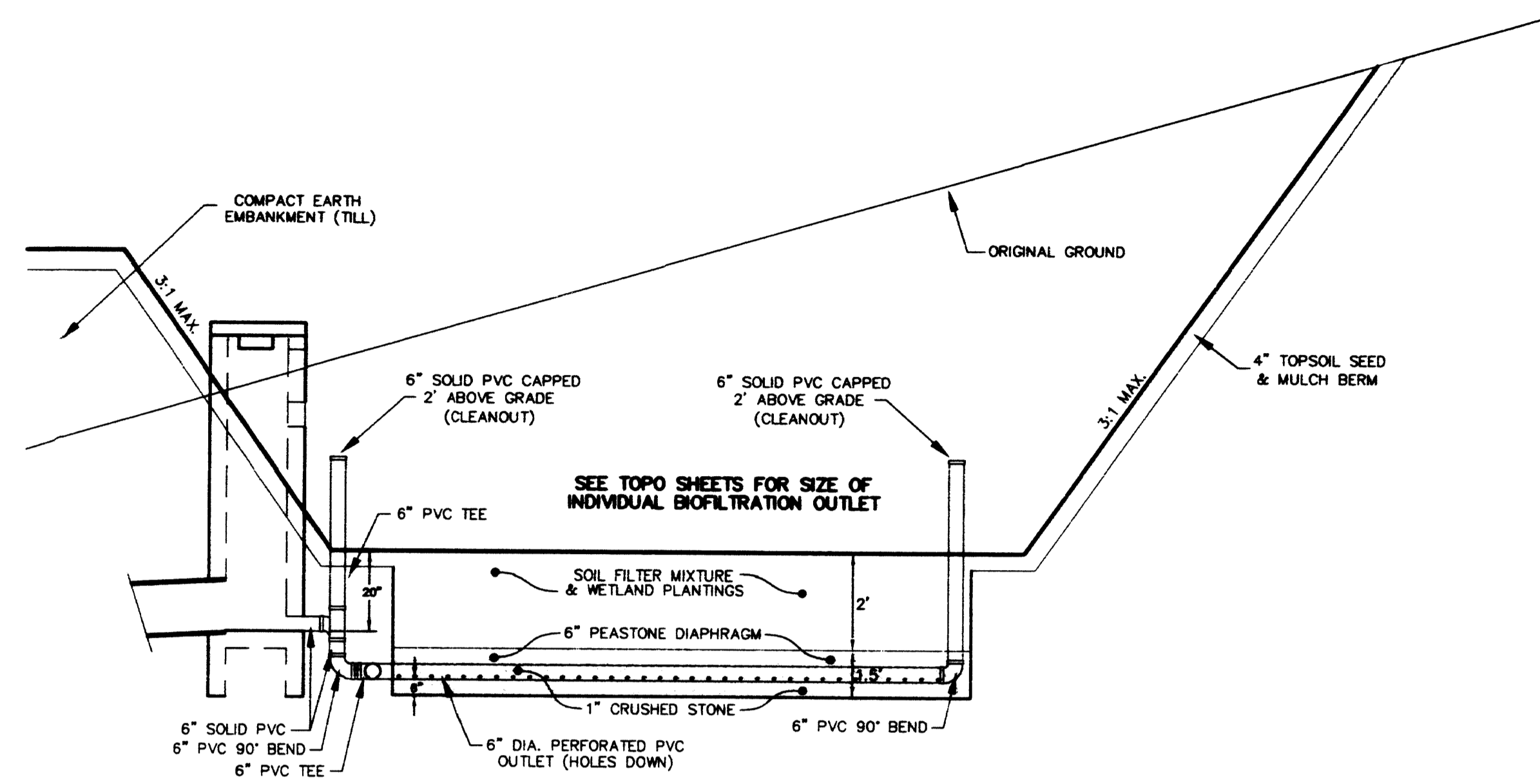
CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 4 OF 5  
MAP NO. 117-04-EN

STORM WATER POLLUTION CONTROL NOTES & DETAILS  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GASTONBURY, CONN. 06033  
PHONE (860)-659-0587

I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
*[Signature]*  
JOHN L. HEAGLE  
P.E. # 9396

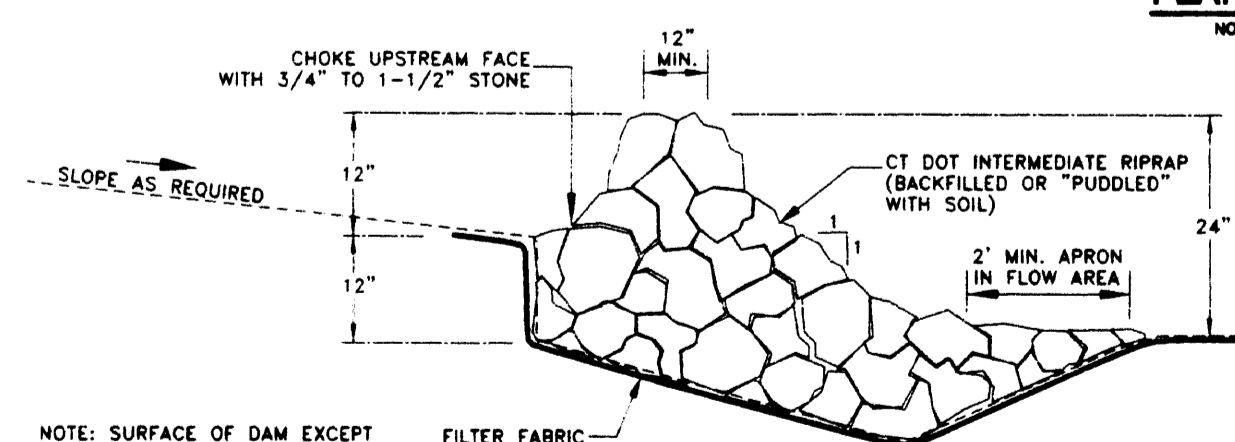
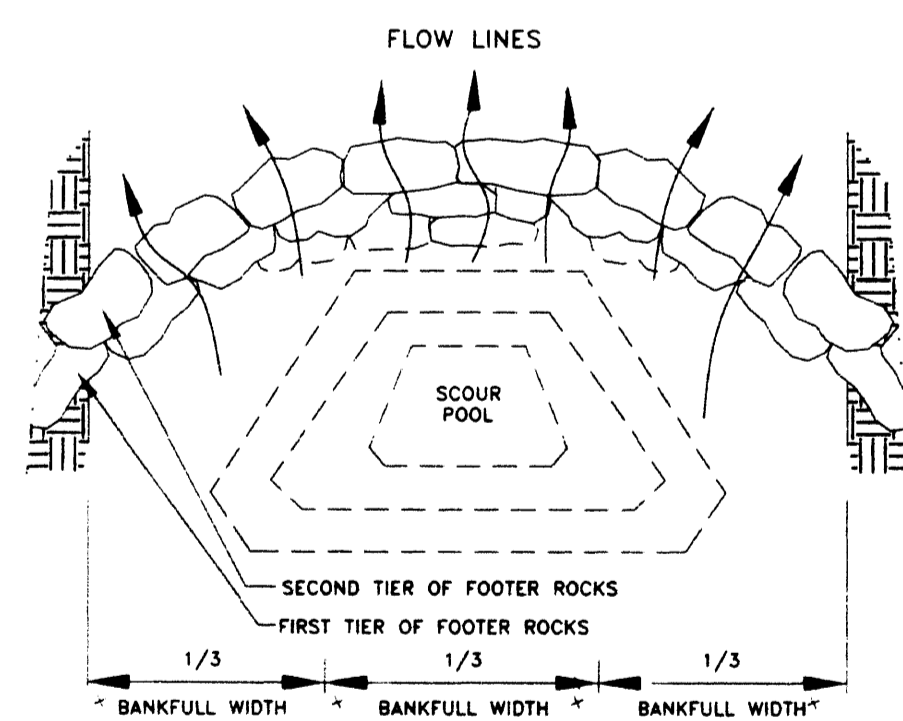




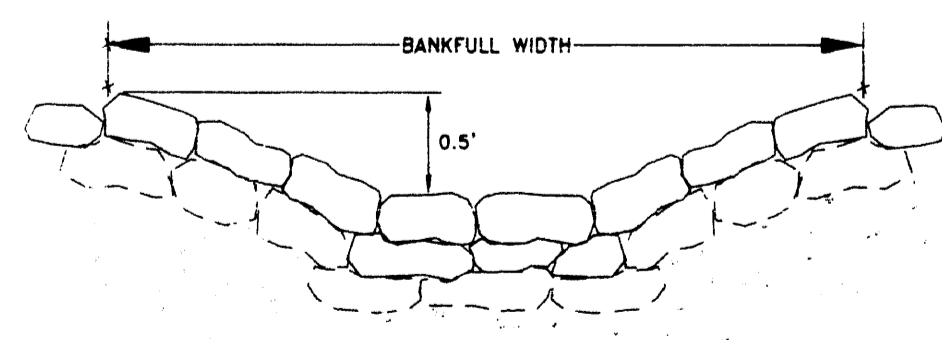
**BIOFILTRATION OUTLET DETAIL**  
NO SCALE

- SOIL FILTER MIXTURE TO CONSIST OF 50% MASON'S SAND, 20% WEEED FREE COMPOST (NO MANURE) AND 30% TOPSOIL W/ < 5% CLAY CONTENT.
- PROVIDE 6" PEASTONE (1/4"-1/2") DIAPHRAGM BETWEEN UNDERDRAIN STONE AND SOIL FILTER MIX
- SEE LANDSCAPE PLAN PROVIDED BY LAN-TECH CONSULTANTS, INC. FOR WETLAND PLANTINGS WITHIN BASIN AREAS.
- INVERT OF 6" SOLID PVC OUTLET AT OUTLET STRUCTURE TO BE 20 INCHES BELOW THE BASIN BOTTOM AS SHOWN.
- INSTALL GEOTEXTILE FABRIC ON ALL EXCAVATED VERTICAL SOIL FACES PRIOR TO INSTALLATION OF STONE AND SOIL FILTER.
- 6" PERFORATED PVC SHALL CONFORM TO THE FOLLOWING LENGTHS TO ENSURE PROPER DRAIN TIME OF EACH BASIN.

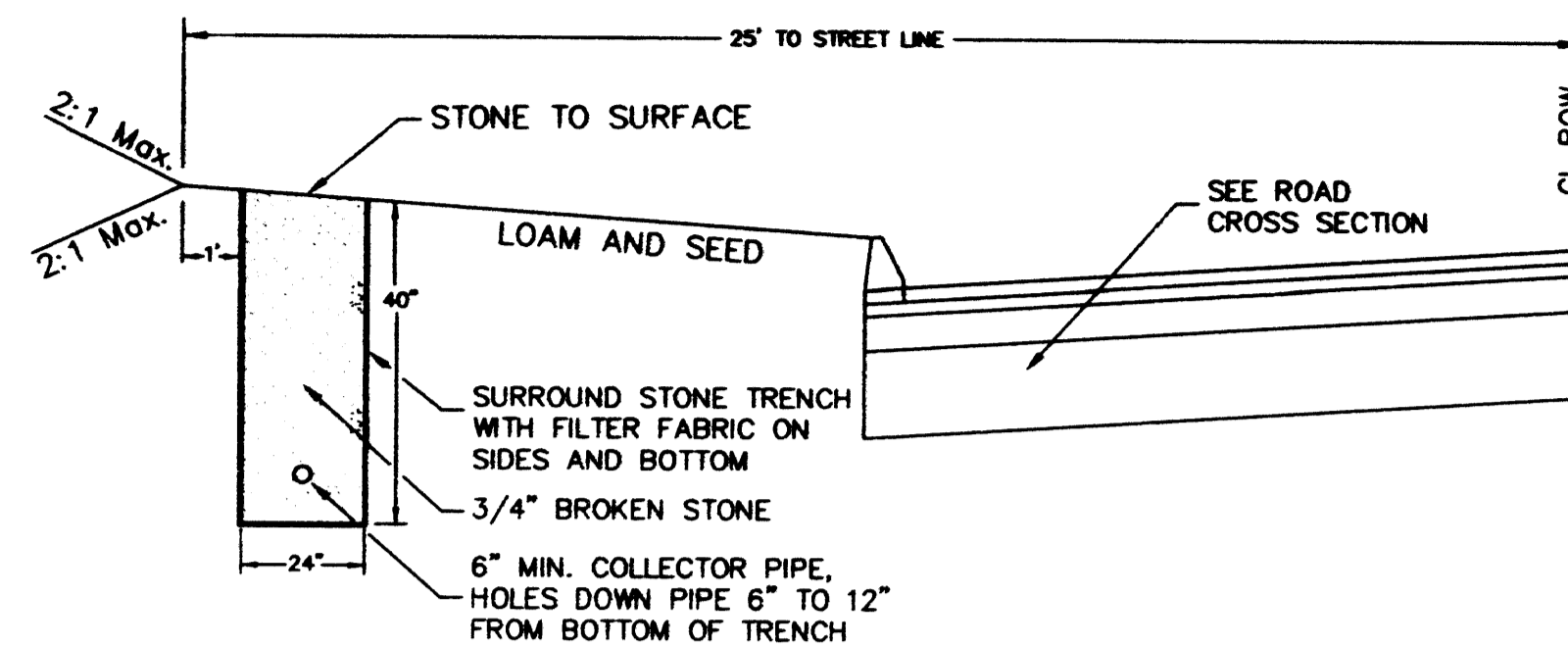
BASIN	AREA	OUTLET PIPE	# OUTLET STRUCTURE
BASIN 1	1,225 SF.	12" LF. @ 364.2	345.53
BASIN 2	480 SF.	60 LF. @ 364.4	365.73
BASIN 3	400 SF.	50 LF. @ 334.0	335.33



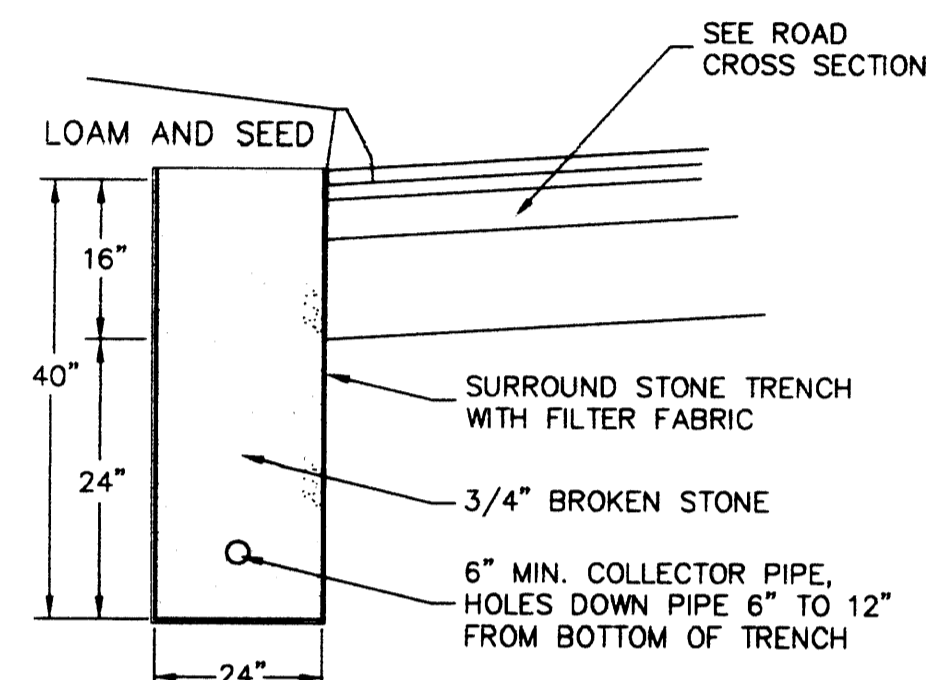
**DROP BERM DETAIL**  
NO SCALE



**PROFILE VIEW**  
NO SCALE

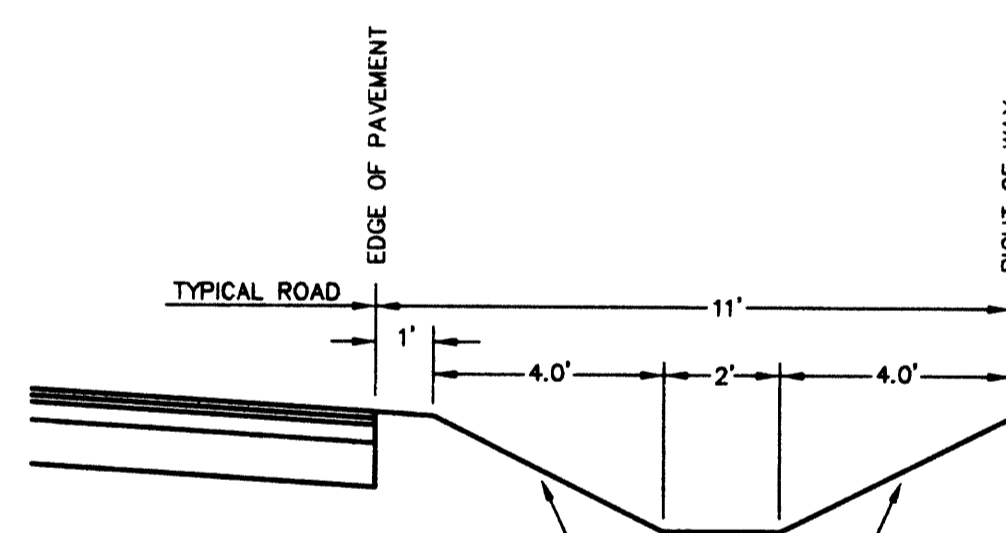


**CURTAIN DRAIN DETAIL**  
NO SCALE

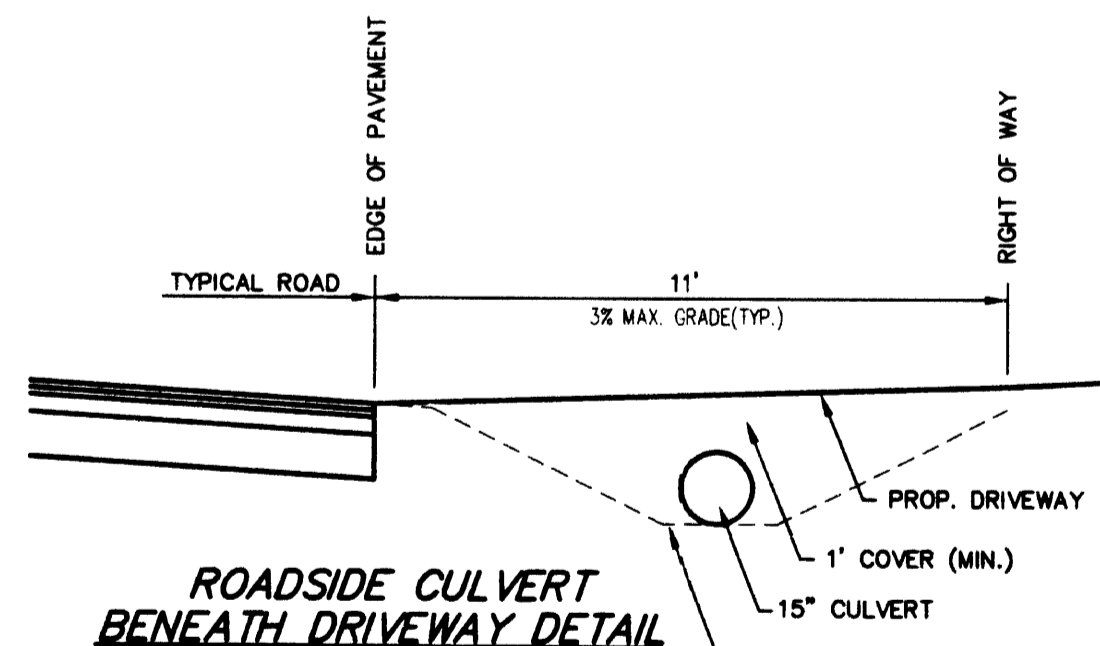


**UNDER DRAIN DETAIL**  
NO SCALE

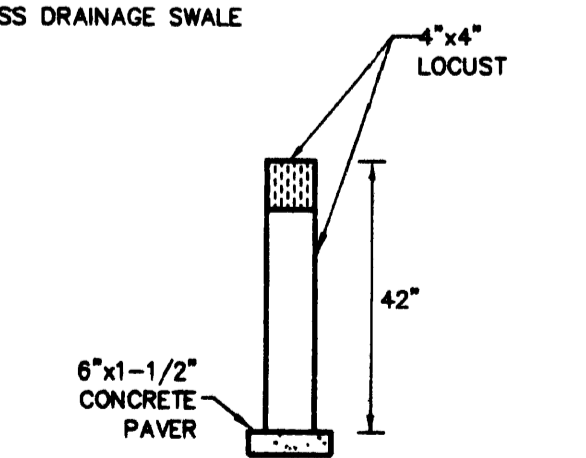
THE INSTALLATION OF UNDERDRAINS WILL BE REQUIRED BESIDE THE EDGE OF PAVEMENT OF A PROPOSED STREET WHENEVER THE GROUND WATER IS KNOWN TO BE LESS THAN THREE FEET BELOW THE PROPOSED FINISHED GRADE OF THE STREET, OR AS OTHERWISE REQUIRED BY THE TOWN ENGINEER. THE TOWN ENGINEER MAY REQUIRE UNDERDRAINS TO BE INSTALLED WHERE LOCALIZED SEEPS OR SPRINGS ARE OBSERVED WITHIN THE PROPOSED STREET LINES DURING CONSTRUCTION.



**ROADSIDE GRASS LINED DRAINAGE SWALE DETAIL**  
NO SCALE

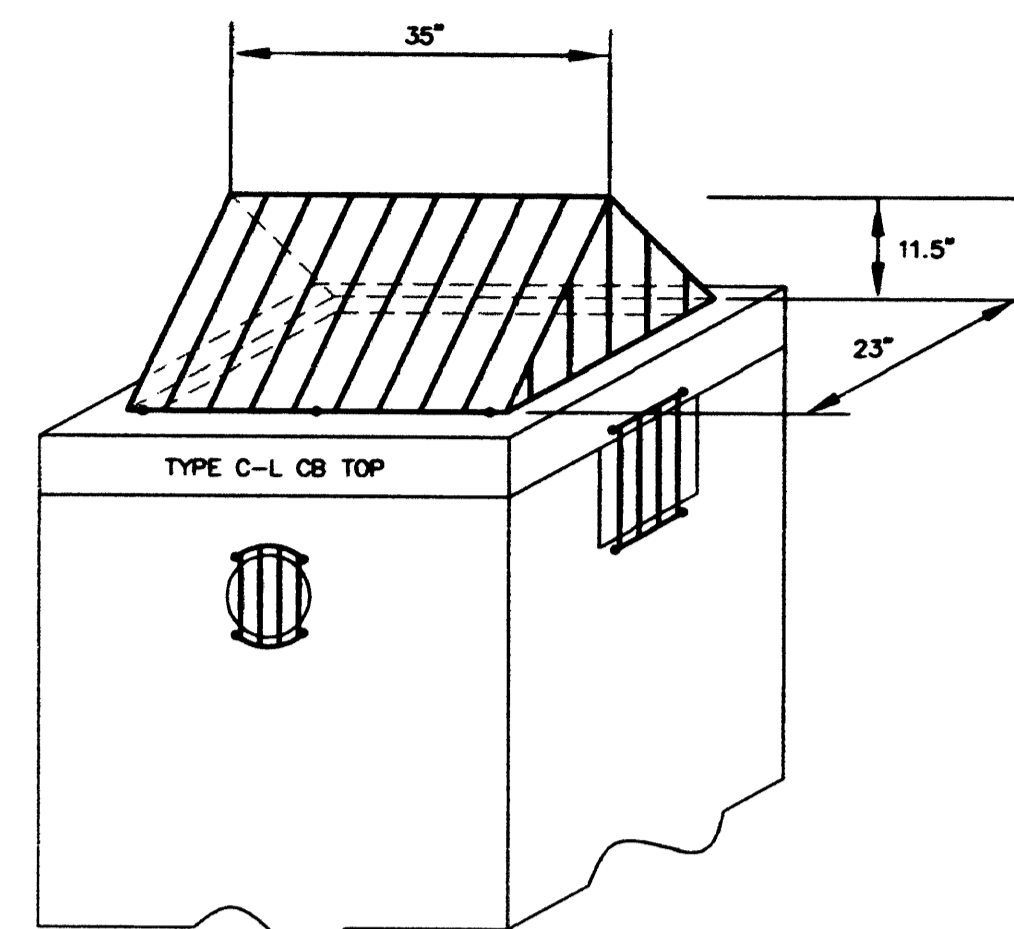


**ROADSIDE CULVERT BENEATH DRIVEWAY DETAIL**  
NO SCALE



**TIMBER LEVEL SPREADER**  
NO SCALE

\* TIMBER LEVEL SPREADER TO BE CONSTRUCTED ALONG LEVEL OUTLET OF ALL PERFORATED SCOUR HOLES TO ENSURE EQUALLY DISTRIBUTED FLOW. UPRIGHTS SHALL BE PLACED EVERY 6" ON CENTER.



**TRASH RACK DETAIL**  
(FOR USE WITH EACH OUTLET STRUCTURE)  
NO SCALE

NOTE:  
OUTLET STRUCTURE HAS BEEN DESIGNED SO THAT NO STORM EVENT UP TO AND INCLUDING 100 YEAR STORM WILL RESULT IN A WATER ELEVATION EQUAL TO OR OVER THE STRUCTURE TOP UNLESS THE FRONT ORIFICES BECOME CLOGGED.

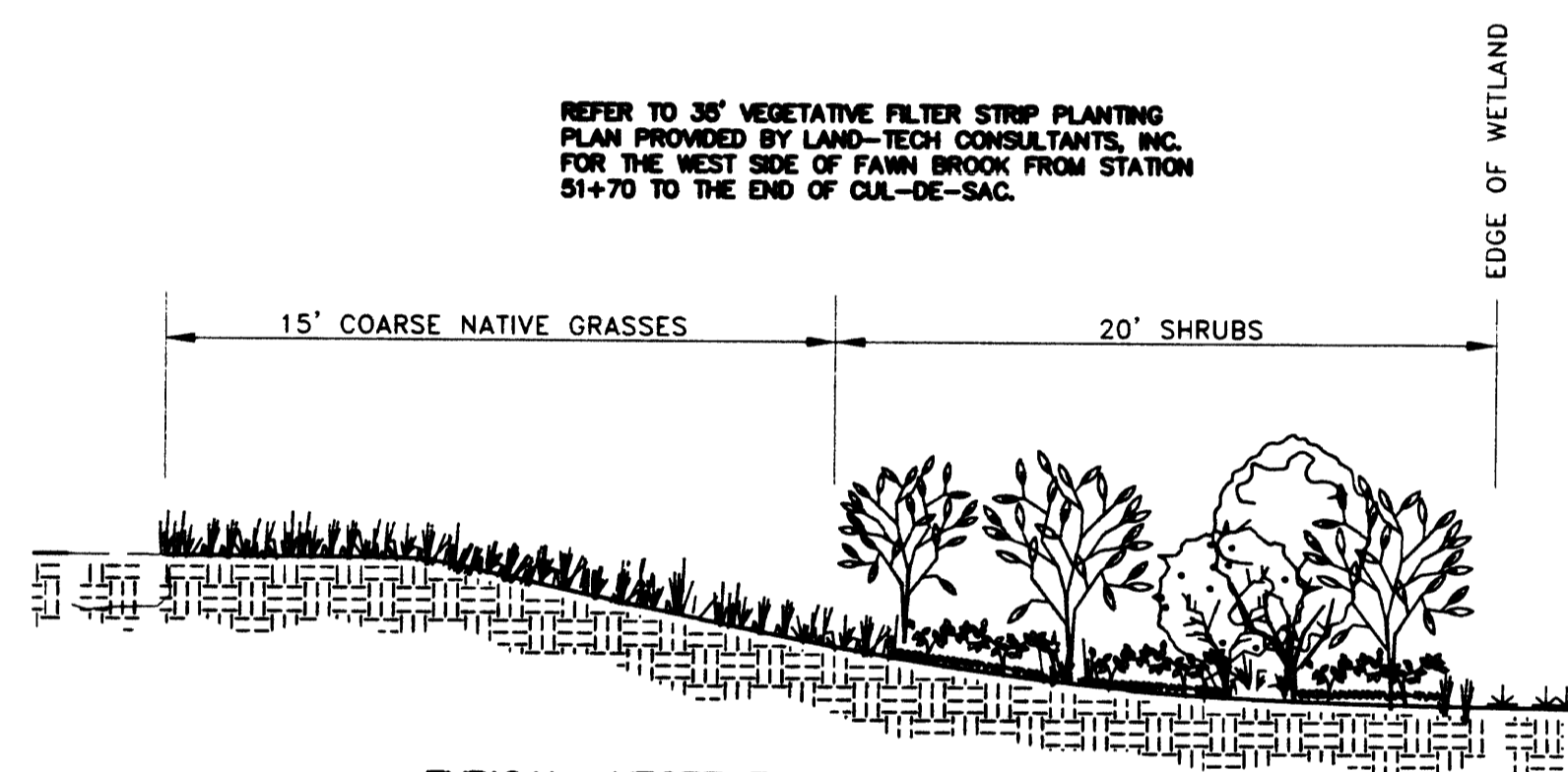
TRASH RACKS MUST BE FABRICATED OF STRUCTURAL STEEL IN CONFORMANCE WITH ASTM A-36

ALL STRUCTURAL STEEL SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-123

VERTICAL SLATS TO BE SPACED BY 3"

TRASH RACKS TO BE FASTENED TO OUTLET STRUCTURE WITH AT LEAST 4 CONCRETE ANCHORS. TRASH RACKS MUST EXTEND AT LEAST 2 INCHES BEYOND THE EDGE OF ANY OPENING. TRASH RACKS MUST BE REMOVABLE BUT REQUIRE USE OF A SPECIALTY TOOL. TRASH RACKS MUST BE APPROVED BY THE TOWN ENGINEER.

REFER TO 35' VEGETATIVE FILTER STRIP PLANTING PLAN PROVIDED BY LAN-TECH CONSULTANTS, INC. FOR THE WEST SIDE OF FAWN BROOK FROM STATION 51+70 TO THE END OF CUL-DE-SAC.



**TYPICAL VEGETATIVE FILTER STRIP**  
NO SCALE

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Per Section 8-25c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Inland Wetlands Agency

*[Signature]* 7-3-07  
Chairman DATE

Approved by the East Hampton Planning & Zoning Commission

Final Approval *[Signature]* 7-10-07  
Chairman

Expiration Date: \_\_\_\_\_

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
MEGSON & HEAGLE  
81 BARKIN ROAD  
GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 12-27-08 TOWN STAFF COMMENTS

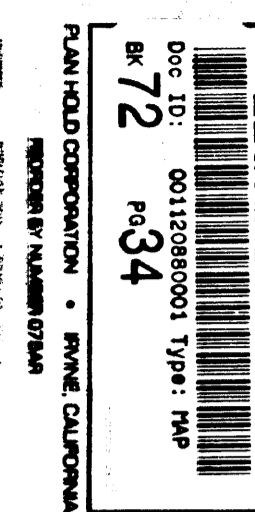
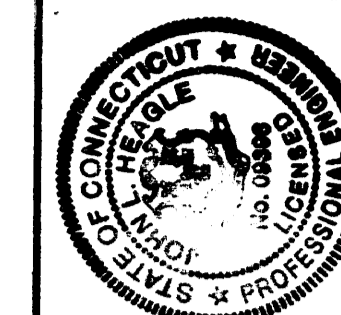
CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 5 OF 5  
MAP NO. 117-04-1EN

STORM WATER POLLUTION CONTROL NOTES & DETAILS  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
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PHONE (860)-659-0567

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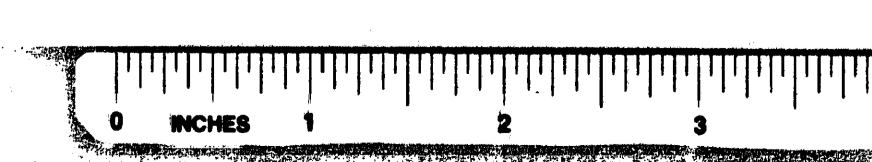
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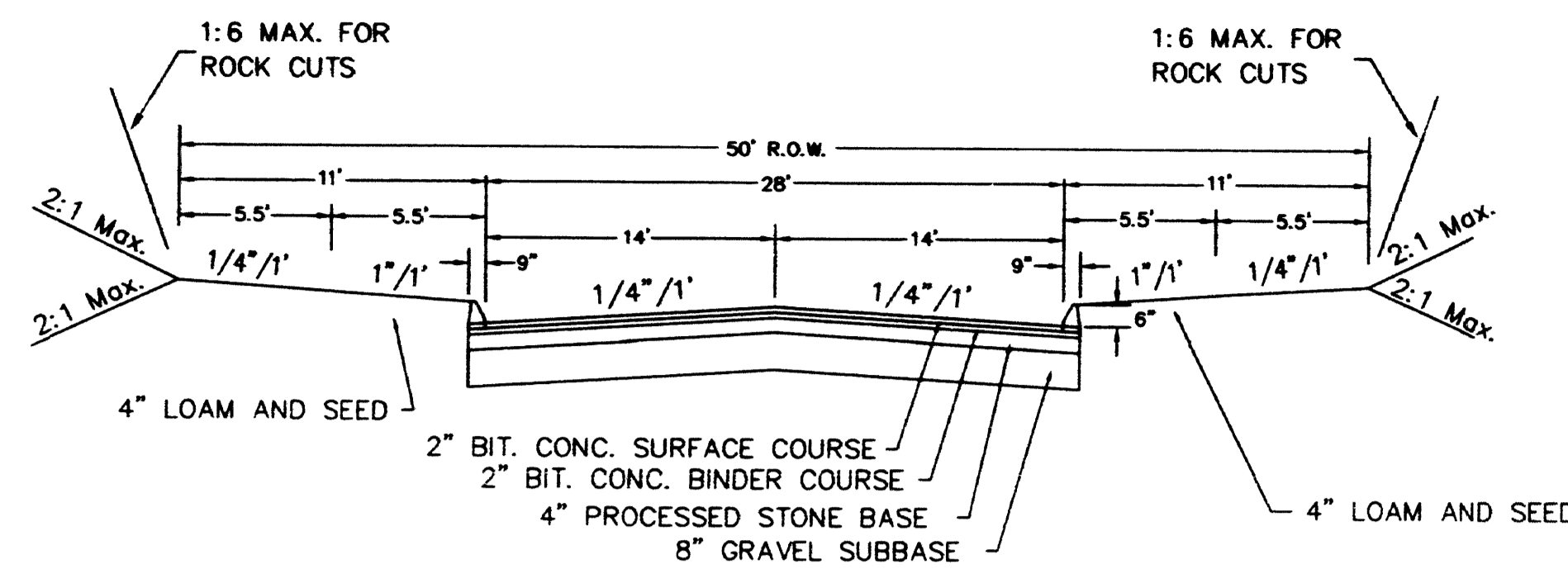


DRAWING NUMBER  
V61 12

DRAWING NUMBER  
Page 34

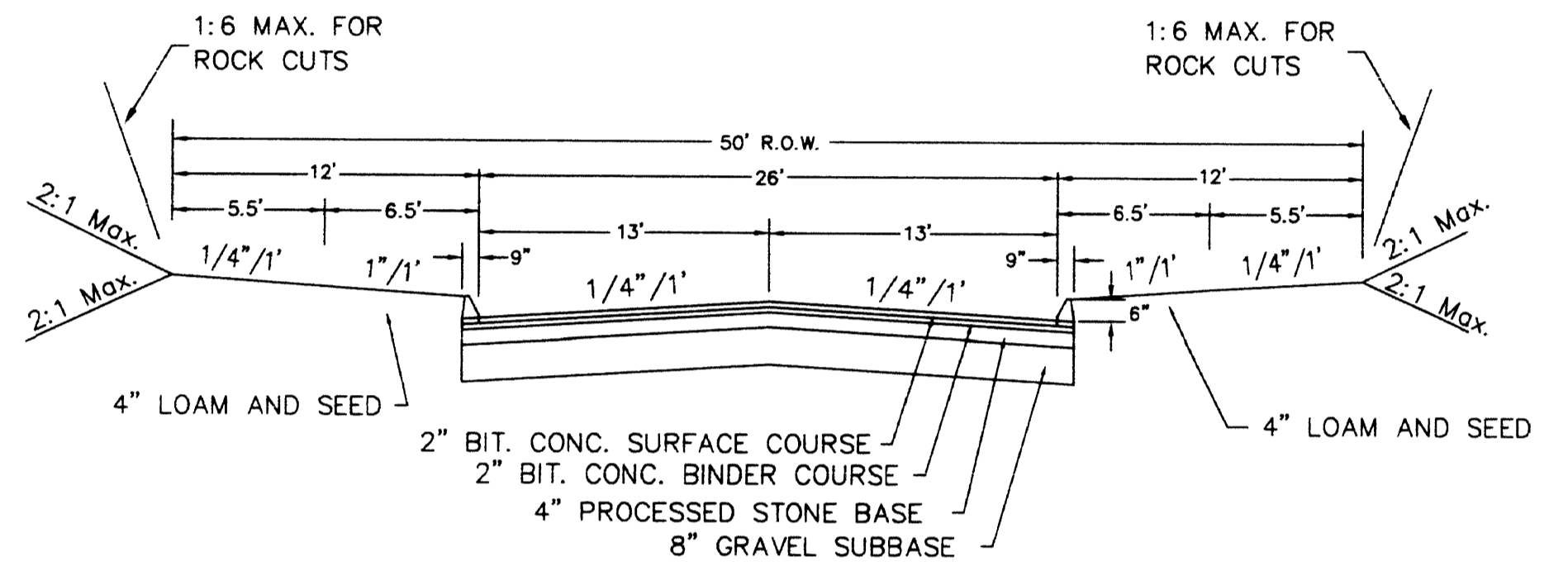
DRAWING NUMBER





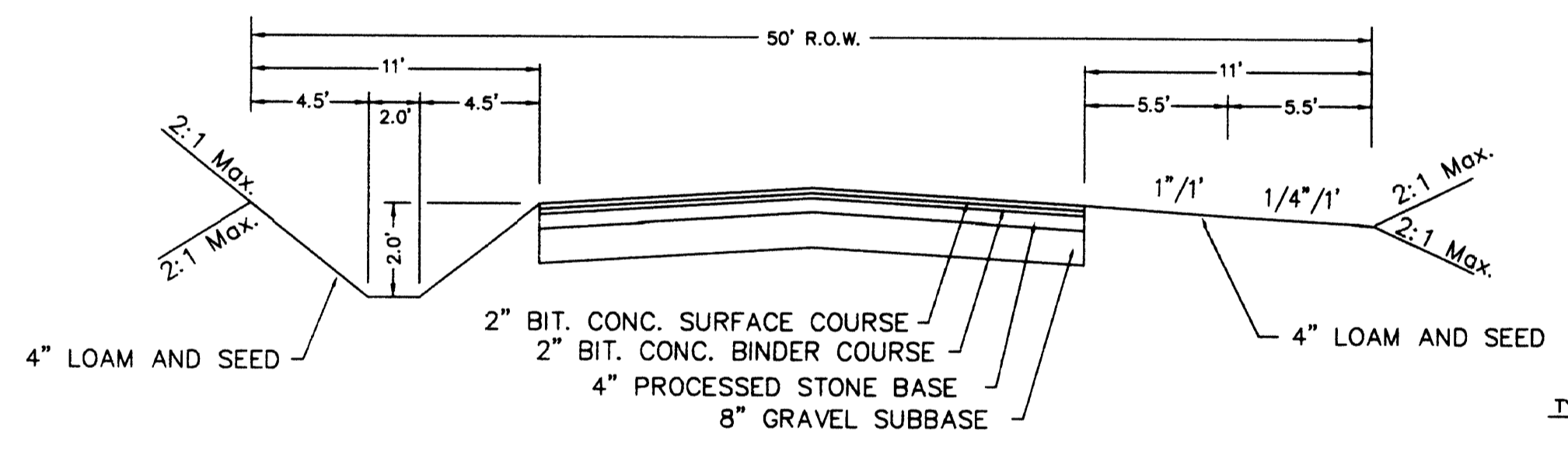
**ROAD CROSS SECTION**  
(NO SCALE)

NOTES:  
STA. 1+00 TO 17+12.35 AND STA. 3+00 TO 43+70.90 SHALL CONFORM TO THE ABOVE DETAIL. SEE DETAIL W/ ROADSIDE CHANNEL BELOW FOR STA. 7+25 RT/8+95 LT TO 18+95 RT/18+60 LT.



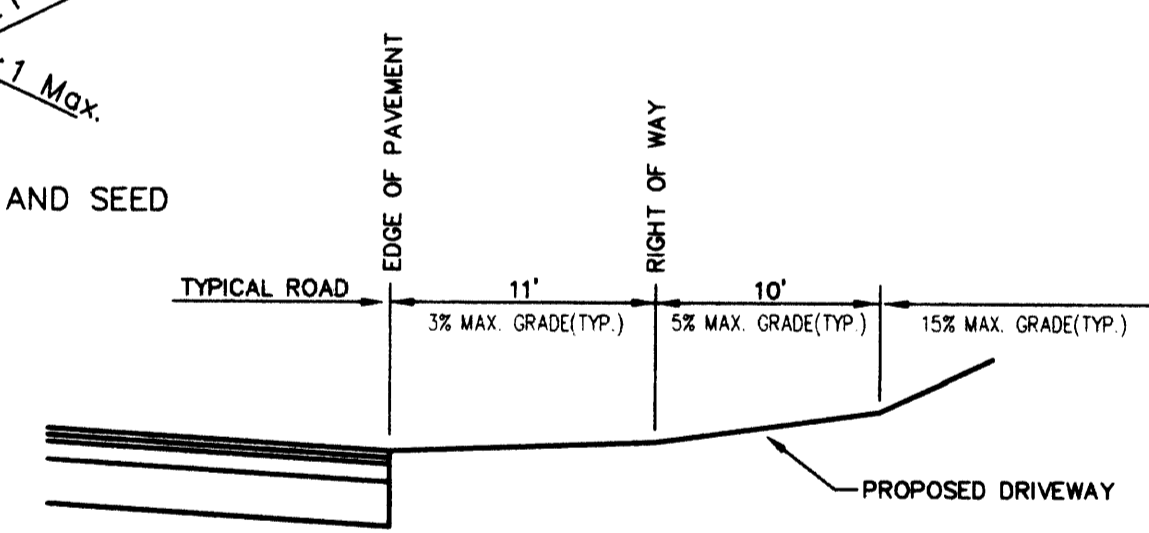
**ROAD CROSS SECTION**  
(NO SCALE)

NOTES:  
STA. 17+12.35 TO 28+36 AND STA. 45+00 TO 55+67 SHALL CONFORM TO THE ABOVE DETAIL. SEE DETAIL W/ ROADSIDE CHANNEL BELOW FOR STA. 7+25 RT/8+95 LT TO 18+95 RT/18+60 LT.

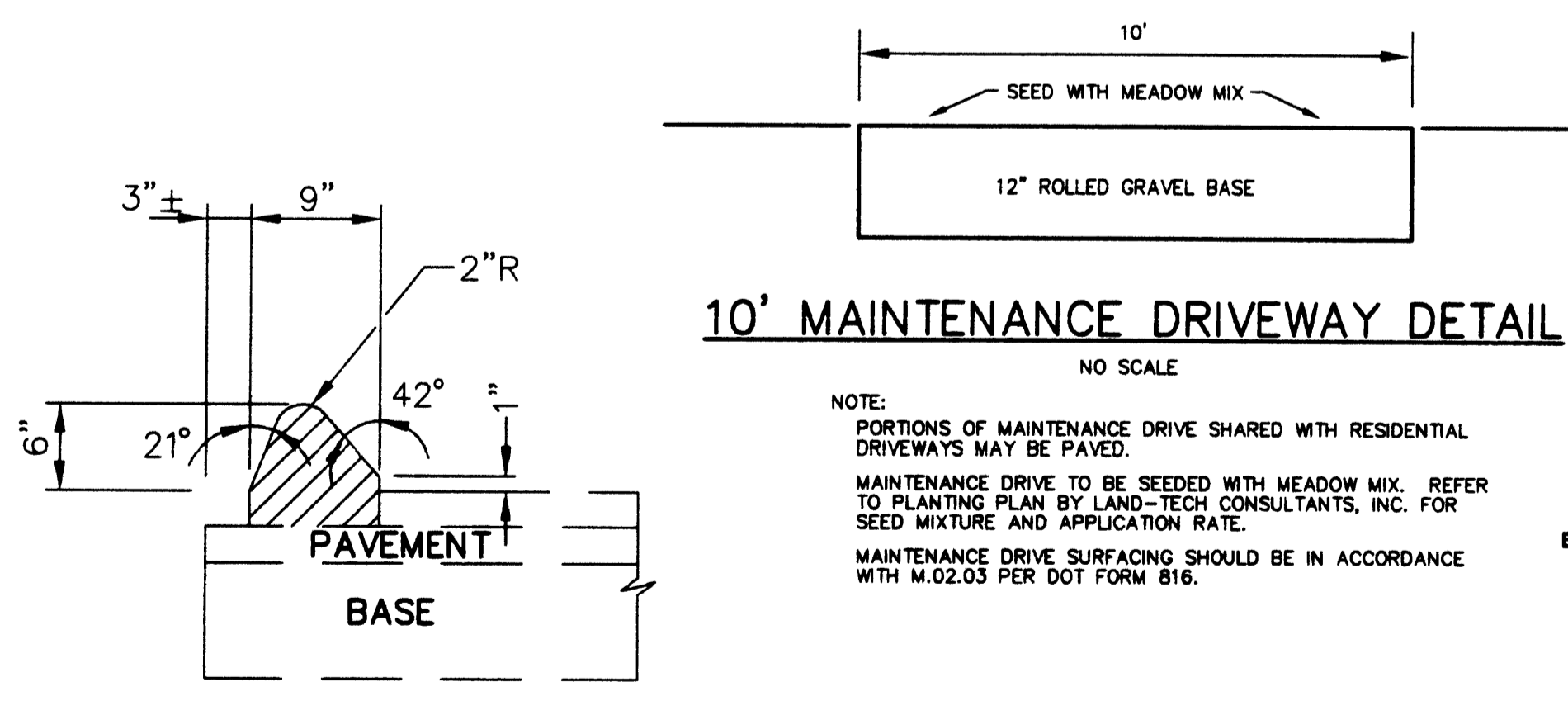


**ROAD CROSS SECTION W/ ROADSIDE CHANNEL**  
(NO SCALE)

NOTES:  
ROADSIDE CHANNEL PROPOSED STA. 7+25 RT/8+95 LT TO 18+95 RT/18+60 LT.



**DRIVEWAY DETAIL**  
(NO SCALE)

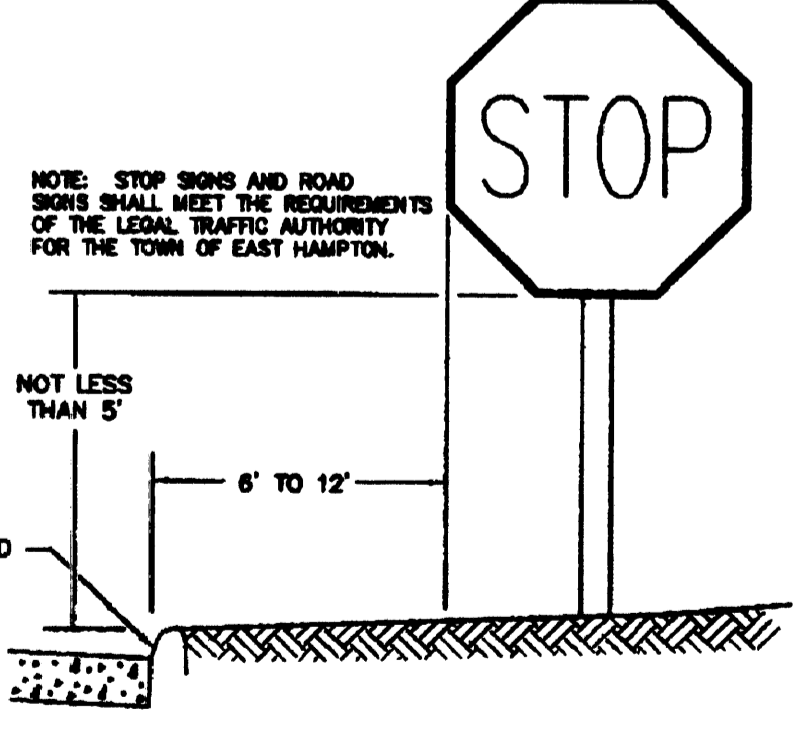


**10' MAINTENANCE DRIVEWAY DETAIL**  
(NO SCALE)

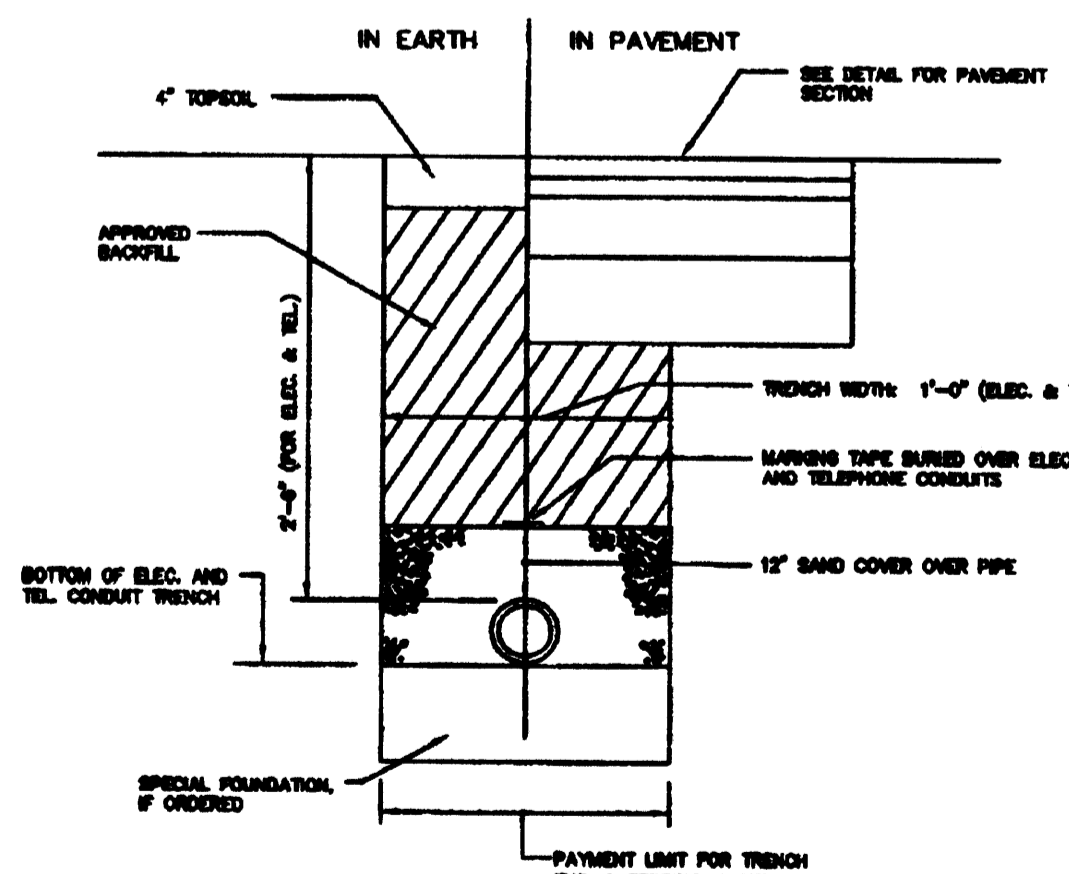
NOTE:  
PORTIONS OF MAINTENANCE DRIVE SHARED WITH RESIDENTIAL DRIVEWAYS MAY BE PAVED.  
MAINTENANCE DRIVE TO BE SEEDED WITH MEADOW MIX. REFER TO PLANTING PLAN BY LAND-TECH CONSULTANTS, INC. FOR SEED MIXTURE AND APPLICATION RATE.  
MAINTENANCE DRIVE SURFACING SHOULD BE IN ACCORDANCE WITH M.22.03 PER DOT FORM 516.

**BITUMINOUS CONCRETE LIP CURB**  
(NO SCALE)

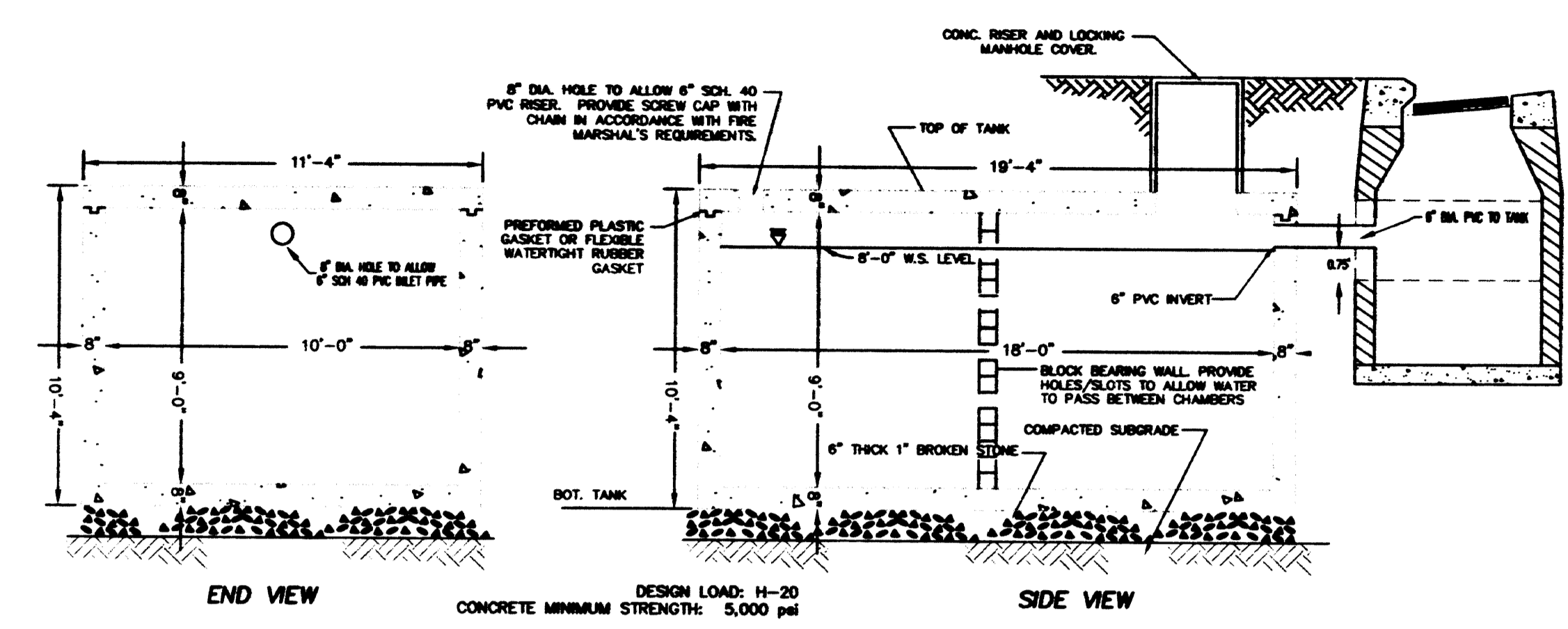
NOTE:  
SEE TOPOGRAPHIC SHEETS FOR CURB LOCATIONS



**STOP SIGN DETAIL**  
N.T.S.

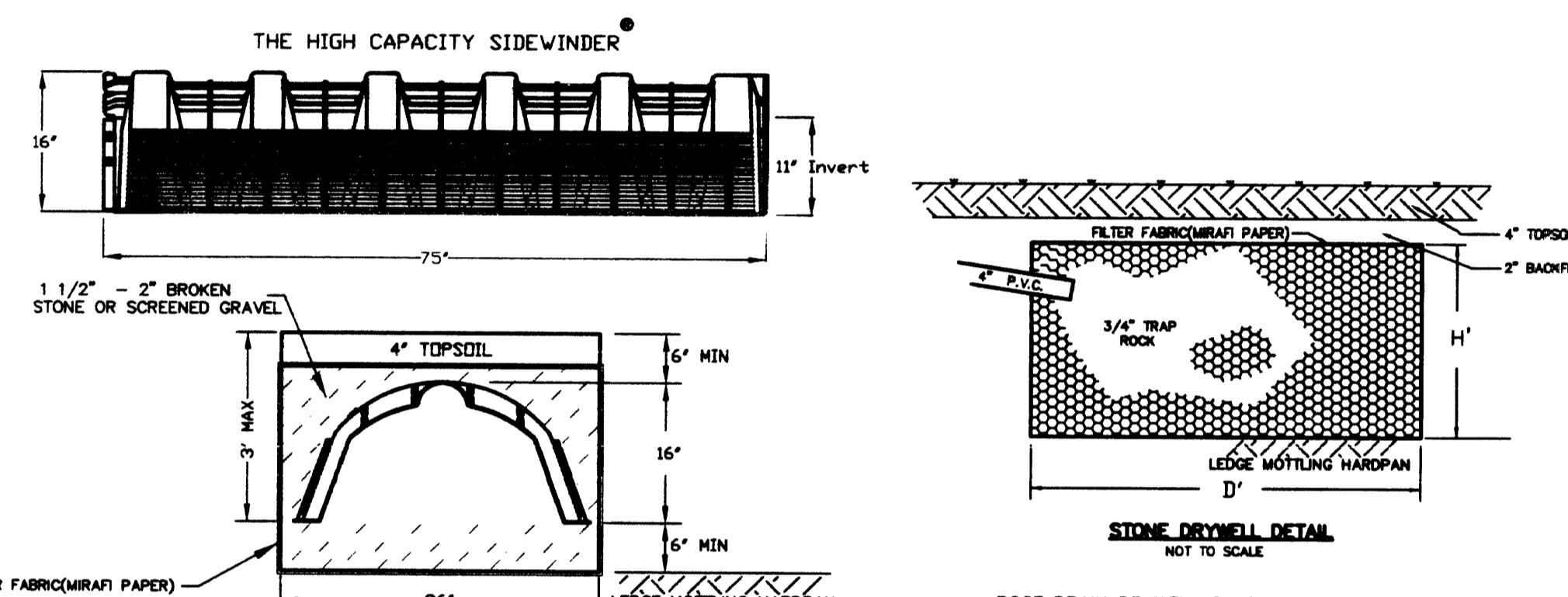


**ELECTRICAL & TELEPHONE TRENCH DETAIL**  
N.T.S.



**10,000 GALLON FIRE STORAGE TANK**  
(NO SCALE)

NOTES:  
PLUMBING CONNECTIONS TO BE DETERMINED IN CONSULTATION WITH TOWN OF EAST HAMPTON FIRE MARSHAL OR FIRE CHIEF AT TIME OF CONSTRUCTION.



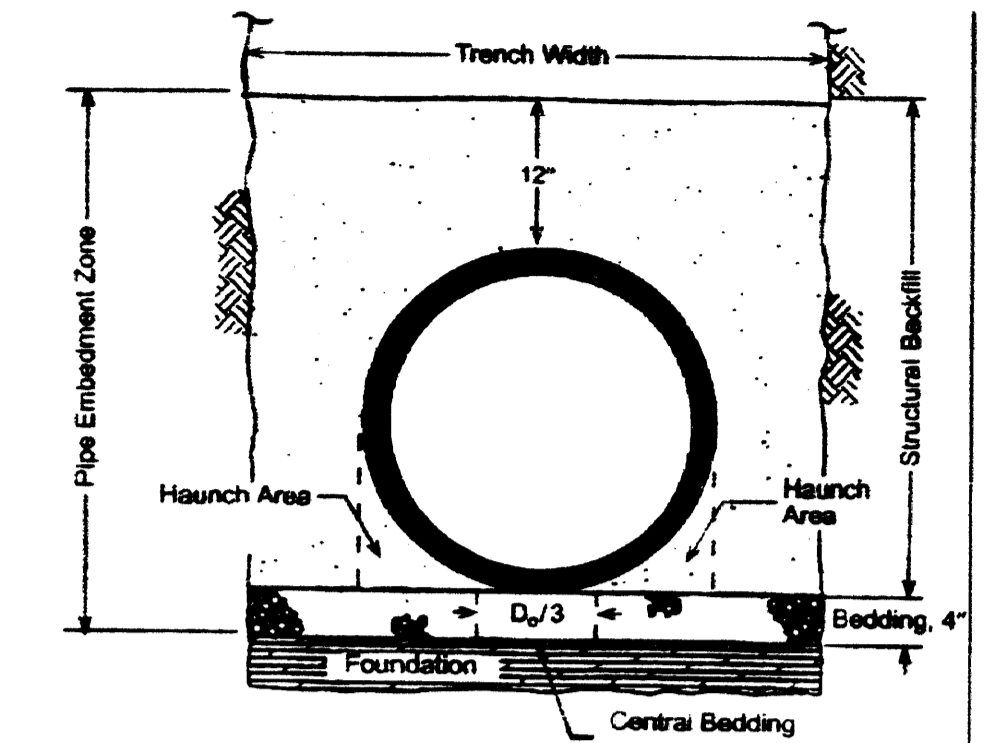
**INFILTRATOR DETAIL**  
(TRENCH DETAIL NON-TRAFFIC AREA)  
(NOT TO SCALE)

ROOF DRAIN INFILTRATOR CALCULATIONS:  
ROOF AREA (S.F.) x 1/22" RUNOFF x 1 FT = (V) C.F. / 24 HOURS  
(V) C.F. / (16.3 C.F. / INFILTRATOR) = NO. OF HIGH CAPACITY INFILTRATORS REQUIRED

**ROOF DRAIN DRYWELL DETAIL**

DRYWELLS TO BE UTILIZED FOR GROUNDWATER RECHARGE FROM ROOF DRAINS ON LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 16, 17, 18, AND 25. EACH DRYWELL SHALL BE SIZED TO HOLD 1/2" OF ROOF RUNOFF FOR A STORM EVENT. THE TYPE OF DRYWELL TO BE USED WILL DEPEND ON SOIL CHARACTERISTICS FOUND IN THE FIELD. THE DRYWELL DETAILS SHOWN ARE EXAMPLES OF DRYWELLS. OTHER DRYWELL TYPES MAY BE CONSIDERED.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.



**TYPICAL CHDPE PIPE TRENCH DETAIL**  
(NOT TO SCALE)

Foundation:  
A stable foundation must be provided to insure proper line and grade is maintained. Unstable or unsuitable foundations must be undercut and replaced with a suitable bedding material, placed in 6" lifts.

Bedding:  
A stable and uniform bedding shall be provided for the pipe and any protruding features of it's joints and/or fittings. The middle of the bedding equal to 1/3 of the pipe OD should be loosely placed, with the remainder compacted to a minimum of 90% standard proctor density. Class I, II, and III materials are suitable for use as bedding.

Haunching:  
Haunching materials may be class I, II, or III and must be placed and compacted in 6 inch maximum lifts, compacted to 90 percent standard proctor density.

Structural backfill:  
Class I, II, III, or low plasticity Class IV materials may be used. However, Class I materials must be used to backfill of Class bedding and haunching materials are used in the lifts while all other classes are compacted in 6 inch lifts to 90 percent standard proctor density. Class IV low plasticity materials (CL - ML) are not recommended since they must be compacted in the lifts while all other classes are compacted to provide proper pipe support. These materials may only be used under the direction of the engineer. Class IV high plasticity clays and silts and all Class V materials are not recommended for structural backfills.

Final Backfill:  
The final backfill should be the same material as the proposed embankment. Generally, the covered material may be used as final backfill. Placement should be placed in 12 inch maximum lifts and compacted to a minimum of 90 percent standard proctor density.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Inland Wetlands Agency  
*[Signature]* 7-3-07  
DATE

Approved by the East Hampton Planning & Zoning Commission  
Final Approval *[Signature]* Chairman  
Date: 7-10-07

Expiration Date: \_\_\_\_\_

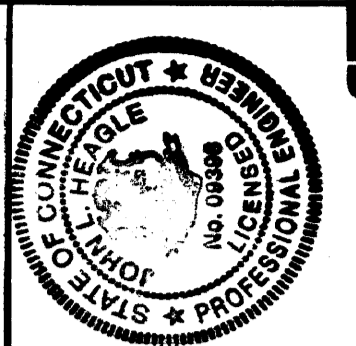
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7-17-07 11:23 AM

THIS PLAN HAS BEEN REVIEWED BY ORIGINAL DRAWING IN POLYFILM OR LINEN  
MEGSON & HEAGLE  
81 BANKIN ROAD  
GLASTONBURY, CT 06033

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 1 OF 1  
MAP NO. 117-04-1N



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 8398

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 BANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

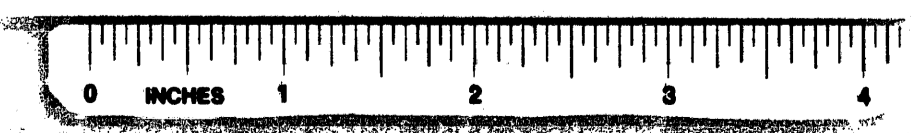
GENERAL NOTES & DETAILS  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

DRAWING NUMBER  
172  
1435

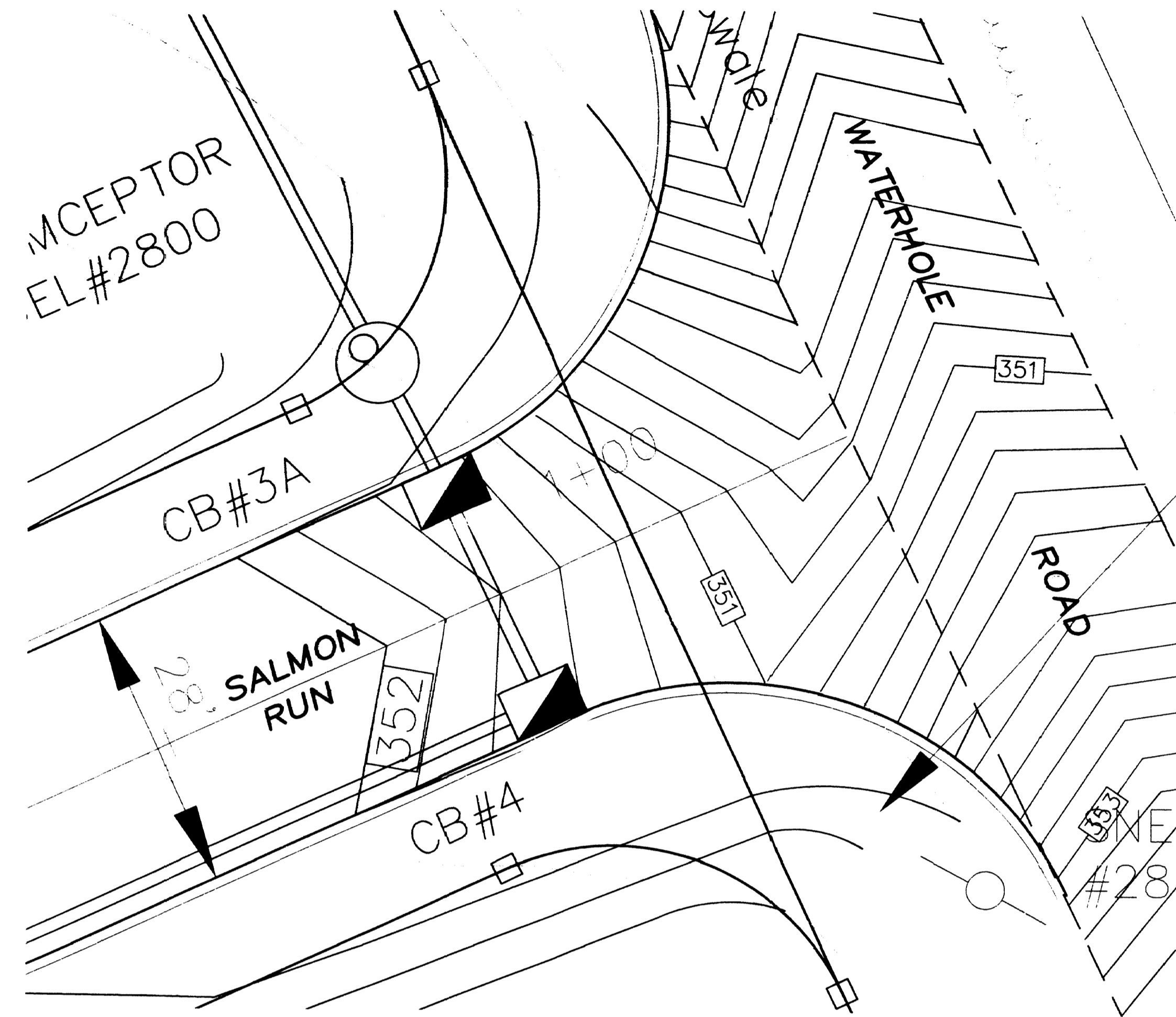
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V01 12

DRAWING NUMBER  
Page 35

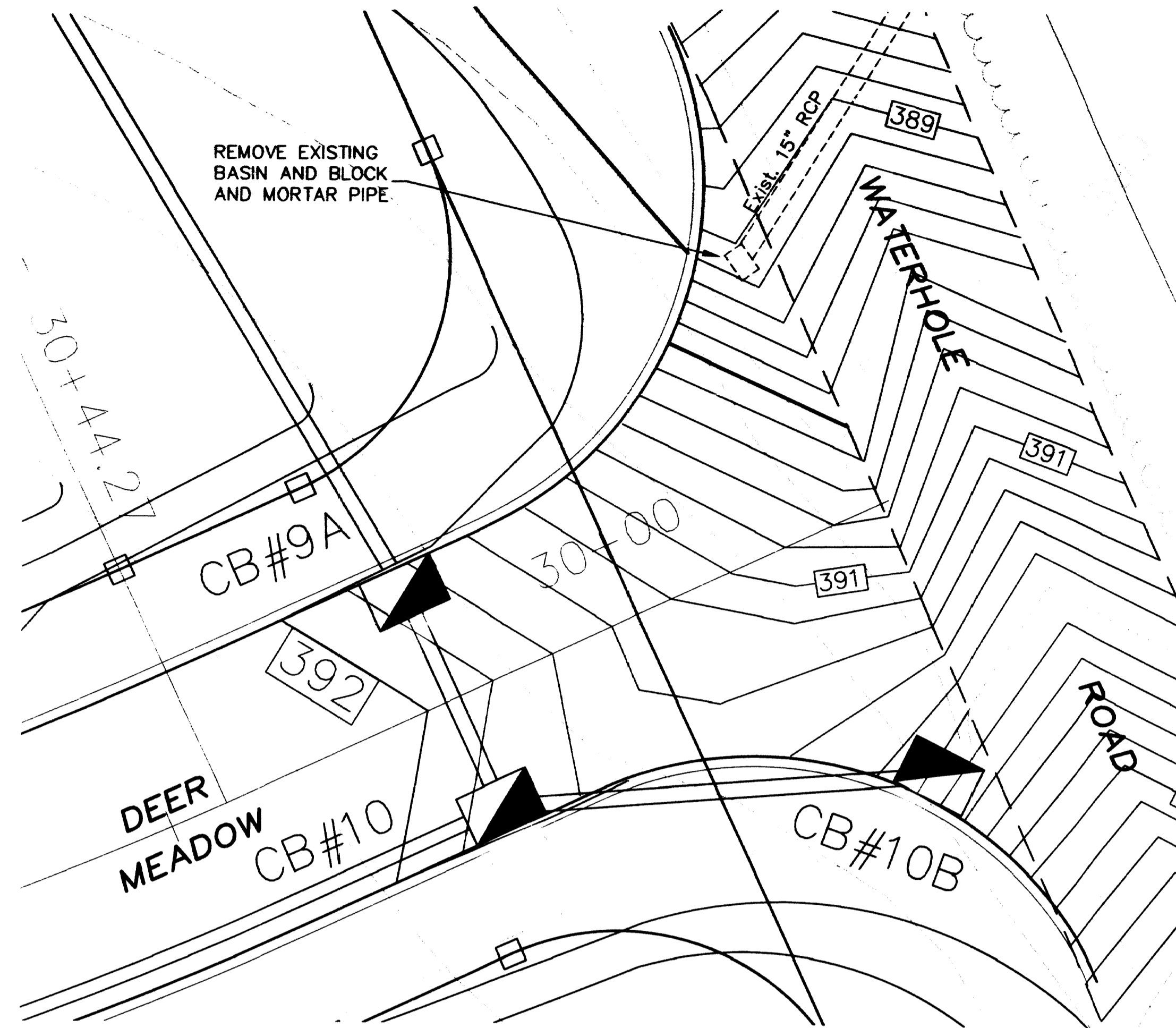
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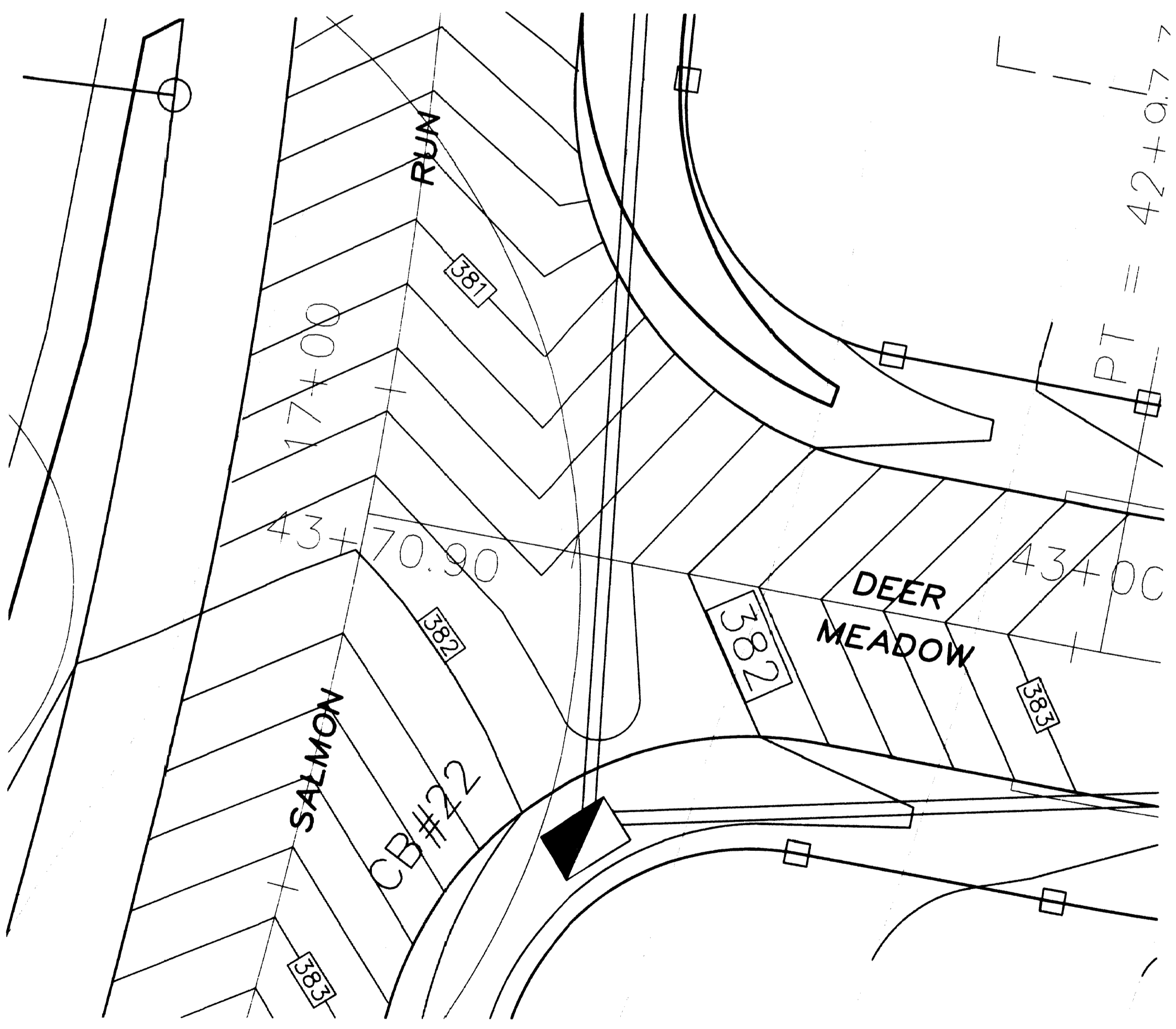
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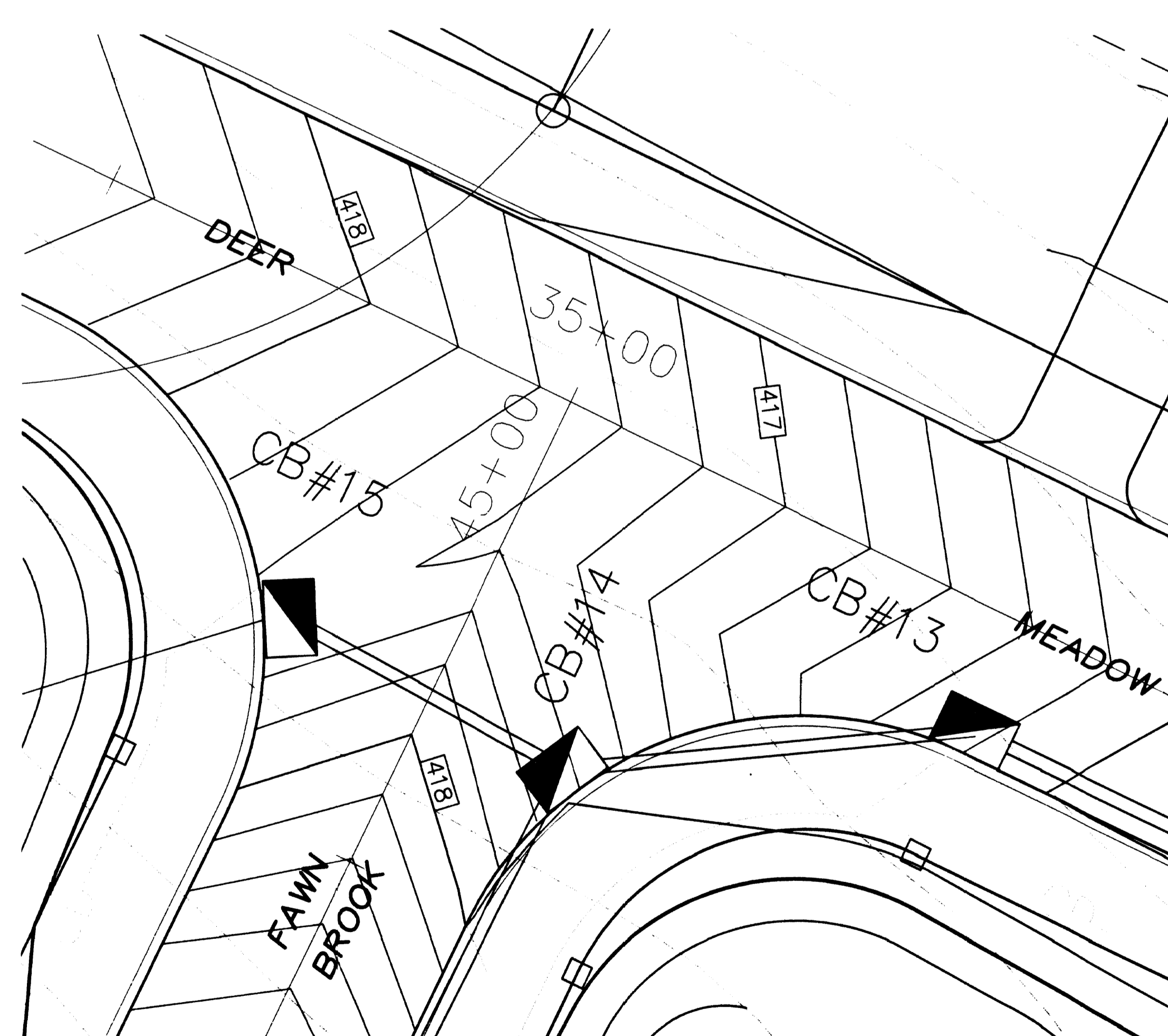
WATERHOLE ROAD & SALMON RUN INTERSECTION



WATERHOLE ROAD & DEER MEADOW INTERSECTION



SALMON RUN & DEER MEADOW INTERSECTION



DEER MEADOW & FAWN BROOK INTERSECTION

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

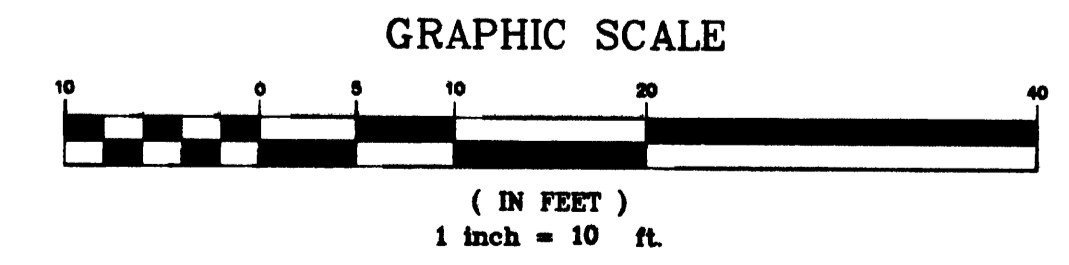
Approved by the East Hampton Inland Wetlands Agency  
*John M. Dan* 7-3-07  
 Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval *Charles...*  
 Date: 7-10-07  
 Expiration Date: \_\_\_\_\_

*Received for Record  
7-17-07 11:24am*

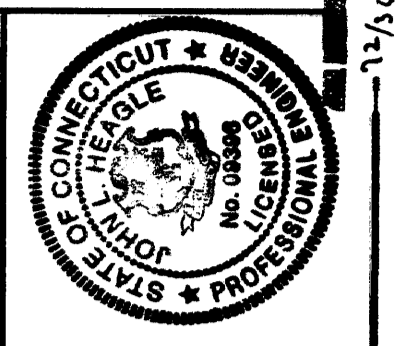
OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY  
 ORIGINAL DRAWING IN  
 POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033



REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

OK. BY: MWF  
 DRW. BY: SAM  
 DATE: 8-17-06  
 SCALE: 1"=10'  
 SHEET 1 OF 1  
 MAP NO. 117-04-11NT



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
 JOHN L. HEAGLE  
 P.E. # 5396

MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

INTERSECTION GRADING PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CORPORATION  
 EAST HAMPTON, CONN.

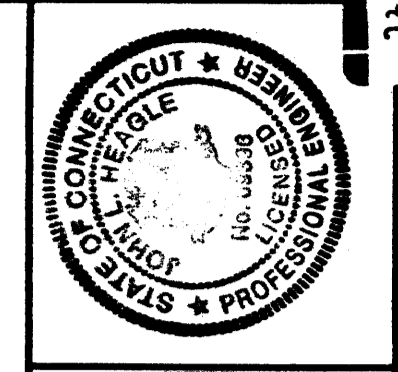
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 Vol 12

DRAWING NUMBER  
 Vol 12

DRAWING NUMBER  
 Page 36

DRAWING NUMBER



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JOHN L. HEAGLE  
P.E. # 10398

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

SOILS DATA  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

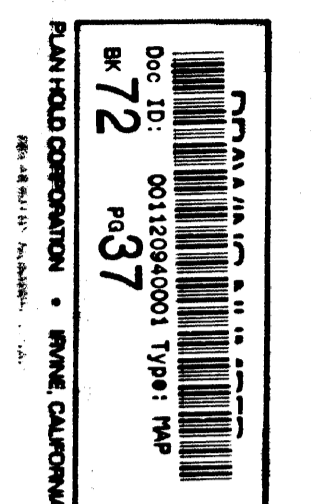
THIS MAP PREPARED BY  
ORIGINAL DRAWING BY  
FIELD NOTES BY  
DATE OF FIELD WORK  
DATE OF CALCULATION  
DATE OF REVISION

Approved by the East Hampton Inland Wetlands Agency  
*John M. Tolan* 7-3-07  
DATE

Approved by the East Hampton Planning & Zoning Commission  
*Charles...*  
DATE

Final Approval  
Date: 7-10-07  
Expiration Date:  
OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

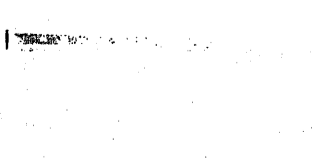
CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 1 OF 7  
MAP NO. 117-04-15D



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V-01 12

DRAWING NUMBER  
Page 37

DRAWING NUMBER



LOT 1, LOT 2 CONT'D, LOT 4 CONT'D, LOT 6 CONT'D, LOT 8 CONT'D, LOT 10 CONT'D. Includes test pit data, M.L.S.S. calculations, and soil descriptions for various lots.

Received for Record  
7-17-07 11:25 AM

LOT 11 CONT'D

TEST PIT # 47 DATE: 12-15-04 DEPTH: 126" GROUNDWATER: 108" MOTTLING: 30" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 9-22" FINE SILTY BROWN LOAM 12-32" FINE TAN/BROWN SAND 32-60" GRAY TILL 60-108" COMPACT FINE SILTY BROWN SAND/STONE 108-126" GRAY TILL

LOT 11 M.L.S.S. CALCULATIONS BEDROOMS: 5 RESTRICTIVE LAYER: 36" SLOPE: 22.3% PERC. RATE: 6.7 MIN./IN. (HF)18 x (FF)2.5 x (PF)1.2 = 54 LF. 760 SF LEACHING AREA REQUIRED

LOT 12

TEST PIT # 49 DATE: 12-15-04 DEPTH: 120" GROUNDWATER: 88" SEEPAGE @ 36" MOTTLING: 30" LEDEGE: NONE MATERIALS: 0-7" TOPSOIL 7-30" FINE SILTY BROWN LOAM 30-36" FINE LIGHT GRAY/BROWN SAND 36-120" GRAY TILL

LOT 12 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 18" SLOPE: 12.3% PERC. RATE: 8 MIN./IN. (HF)28 x (FF)2.0 x (PF)1.5 = 72 LF. 900 S.F. LEACHING AREA REQUIRED

LOT 12 CONT'D

PERC. TEST #390 DATE: 6-16-05 DEPTH: 25" RATE: 5 MIN./IN. PERC. TEST #400 DATE: 6-16-05 DEPTH: 21" RATE: 10 MIN./IN. LOT 12 M.L.S.S. CALCULATIONS BEDROOMS: 5 RESTRICTIVE LAYER: 24" SLOPE: 7.5% PERC. RATE: 5 MIN./IN. (HF)30 x (FF)2.5 x (PF)1.0 = 75 LF. 760 SF LEACHING AREA REQUIRED

LOT 13

TEST PIT # 53 DATE: 12-15-04 DEPTH: 84" GROUNDWATER: 39" SEEPAGE @ 20" MOTTLING: 78" LEDEGE: NONE MATERIALS: 0-10" TOPSOIL 10-20" FINE SILTY BROWN LOAM 20-84" GRAY/BROWN TILL

LOT 13 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 18" SLOPE: 5.1% PERC. RATE: 3 MIN./IN. (HF)42 x (FF)2.0 x (PF)1.0 = 84 LF. 660 SF LEACHING AREA REQUIRED

LOT 14

TEST PIT # 57 DATE: 12-15-04 DEPTH: 84" GROUNDWATER: 18" SEEPAGE @ 24" MOTTLING: 18" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 8-15" FINE SILTY BROWN LOAM 15-24" FINE SAND WITH STONE 24-44" COMPACT FINE SILTY SAND-GRAY/BROWN 44-84" TILL

LOT 14 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 18" SLOPE: 12.3% PERC. RATE: 8 MIN./IN. (HF)28 x (FF)2.0 x (PF)1.2 = 68 LF. 660 SF LEACHING AREA REQUIRED

LOT 15

TEST PIT # 61 DATE: 12-16-04 DEPTH: 120" GROUNDWATER: 26" MOTTLING: 20" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 8-32" FINE LIGHT BROWN SILTY LOAM 32-120" GRAY BROWN TILL

LOT 15 M.L.S.S. CALCULATIONS BEDROOMS: 5 RESTRICTIVE LAYER: 20" SLOPE: 14.0% PERC. RATE: 8 MIN./IN. (HF)28 x (FF)2.5 x (PF)1.2 = 84 LF. 760 SF LEACHING AREA REQUIRED

LOT 16

TEST PIT # 65 DATE: 12-16-04 DEPTH: 96" GROUNDWATER: 36" MOTTLING: 18" LEDEGE: NONE MATERIALS: 0-7" TOPSOIL 7-18" FINE SILTY BROWN LOAM 18-32" FINE GRAY BROWN SILTY SAND (WET) 32-96" TILL

LOT 16 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 27" SLOPE: 12.7% PERC. RATE: 20 MIN./IN. (HF)24 x (FF)2.0 x (PF)1.5 = 72 LF. 900 S.F. LEACHING AREA REQUIRED

LOT 16 CONT'D

TEST PIT # 82 DATE: 12-16-04 DEPTH: 108" GROUNDWATER: 40" MOTTLING: 22" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 8-18" FINE SILTY BROWN LOAM 18-30" VERY FINE SILTY GRAY SAND (WET) 30-108" HARD PACKED FINE SILTY SAND (FILLED WITH WATER)

LOT 16 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 40" SLOPE: 20.8% PERC. RATE: 5 MIN./IN. (HF)16 x (FF)2.0 x (PF)1.0 = 32 LF. 660 S.F. LEACHING AREA REQUIRED

LOT 17

TEST PIT # 83 DATE: 12-16-04 DEPTH: 108" GROUNDWATER: 48" MOTTLING: 27" LEDEGE: NONE MATERIALS: 0-10" TOPSOIL 10-22" FINE SILTY BROWN LOAM 22-32" FINE LIGHT BROWN SAND - TRACE SILT 32-108" HARD PACKED FINE SILTY SAND FILLED WITH WATER

LOT 17 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 40" SLOPE: 20.8% PERC. RATE: 5 MIN./IN. (HF)16 x (FF)2.0 x (PF)1.0 = 32 LF. 660 S.F. LEACHING AREA REQUIRED

LOT 18

TEST PIT # 84 DATE: 12-16-04 DEPTH: 116" GROUNDWATER: NONE MOTTLING: POSS @ 40" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 8-26" FINE SILTY BROWN LOAM 26-78" COMPACT FINE SILTY GRAY/BROWN SAND WITH ROCK 78-116" TILL

LOT 18 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 36" SLOPE: 17.6% PERC. RATE: 5 MIN./IN. (HF)18 x (FF)2.5 x (PF)1.0 = 45 LF. 760 S.F. LEACHING AREA REQUIRED

LOT 17

TEST PIT # 89 DATE: 12-16-04 DEPTH: 120" GROUNDWATER: NONE MOTTLING: 45" LEDEGE: NONE MATERIALS: 0-10" TOPSOIL 10-21" FINE LIGHT BROWN SANDY LOAM 21-76" FINE SAND LIGHT GRAY/TAN 76-120" COMPACT SANDY GRAVEL (MOTTLED)

LOT 17 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 40" SLOPE: 20.8% PERC. RATE: 5 MIN./IN. (HF)16 x (FF)2.0 x (PF)1.0 = 32 LF. 660 S.F. LEACHING AREA REQUIRED

LOT 18

TEST PIT # 88 DATE: 12-16-04 DEPTH: 120" GROUNDWATER: 120" MOTTLING: 40" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 8-26" FINE SILTY BROWN LOAM 26-40" FINE LIGHT BROWN SAND - TRACE SILT 40-80" COMPACT FINE SILTY GRAY/TAN SAND 80-132" TILL

LOT 18 M.L.S.S. CALCULATIONS BEDROOMS: 5 RESTRICTIVE LAYER: 36" SLOPE: 17.6% PERC. RATE: 5 MIN./IN. (HF)18 x (FF)2.5 x (PF)1.0 = 45 LF. 760 S.F. LEACHING AREA REQUIRED

LOT 18 CONT'D

TEST PIT # 73 DATE: 12-16-04 DEPTH: 126" GROUNDWATER: NONE MOTTLING: 45" LEDEGE: NONE MATERIALS: 0-7" TOPSOIL 7-26" FINE SANDY BROWN LOAM 26-45" TAN FINE SAND 45-77" COMPACT FINE SILTY GRAY BROWN SAND 77-126" TILL

LOT 18 M.L.S.S. CALCULATIONS BEDROOMS: 5 RESTRICTIVE LAYER: 36" SLOPE: 17.6% PERC. RATE: 5 MIN./IN. (HF)18 x (FF)2.5 x (PF)1.0 = 45 LF. 760 S.F. LEACHING AREA REQUIRED

LOT 19

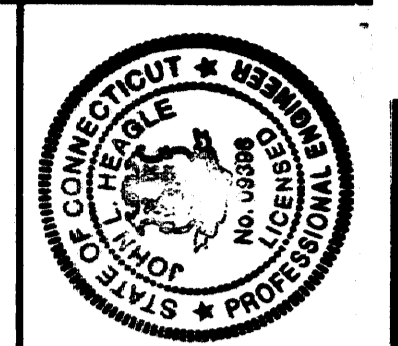
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LOT 19 M.L.S.S. CALCULATIONS BEDROOMS: 5 RESTRICTIVE LAYER: 36" SLOPE: 17.6% PERC. RATE: 5 MIN./IN. (HF)18 x (FF)2.5 x (PF)1.0 = 45 LF. 760 S.F. LEACHING AREA REQUIRED

LOT 20

TEST PIT # 77 DATE: 12-16-04 DEPTH: 132" GROUNDWATER: NONE MOTTLING: NONE NOTED ROOTS - 116" LEDEGE: NONE MATERIALS: 0-8" TOPSOIL 8-18" FINE LIGHT BROWN SANDY LOAM 18-84" FINE TAN SAND 84-132" SLIGHTLY COMPACT LIGHT GRAY/TAN SAND

LOT 20 M.L.S.S. CALCULATIONS BEDROOMS: 4 RESTRICTIVE LAYER: 27" SLOPE: 12.7% PERC. RATE: 20 MIN./IN. (HF)24 x (FF)2.0 x (PF)1.5 = 72 LF. 900 S.F. LEACHING AREA REQUIRED



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT. JOHN L. HEAGLE P.E. # 8398

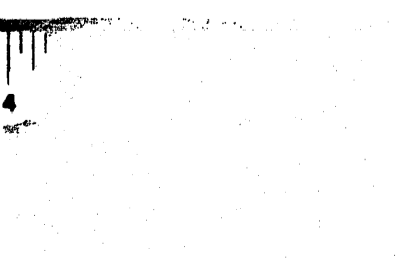
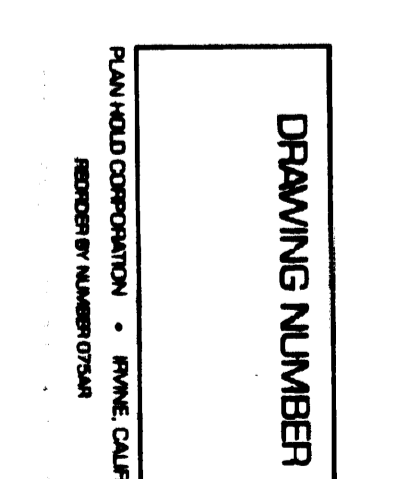
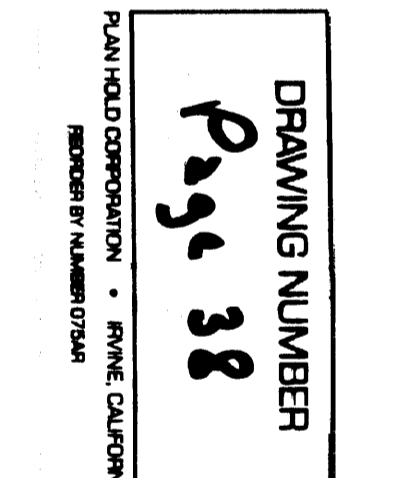
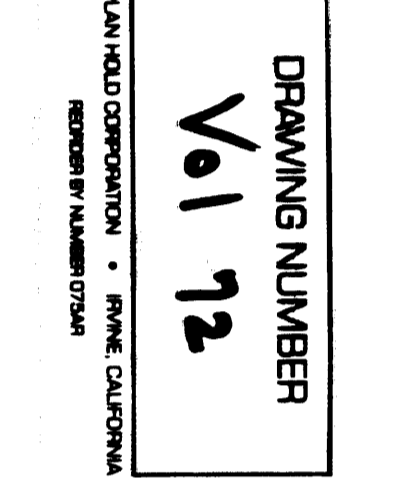
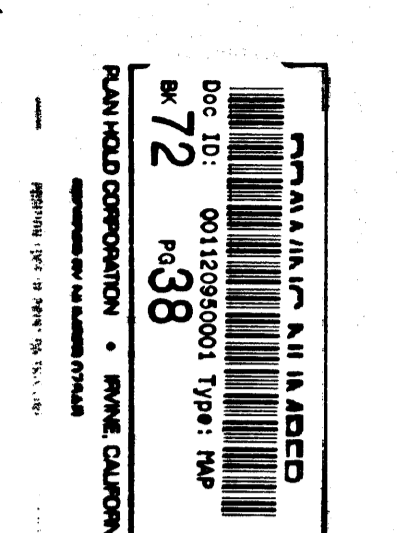
MEGSON & HEAGLE CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD Glastonbury, Conn. 06033 PHONE (860)-659-0587

SOILS DATA SALMON RUN ESTATES (CONSERVATION SUBDIVISION) PREPARED FOR RECHOVOS CORPORATION EAST HAMPTON, CONN.

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION DATE: 7-11-07

APPROVED BY THE EAST HAMPTON INLAND WETLANDS AGENCY DATE: 7-30-07

CONDITIONAL APPROVAL ONLY. This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

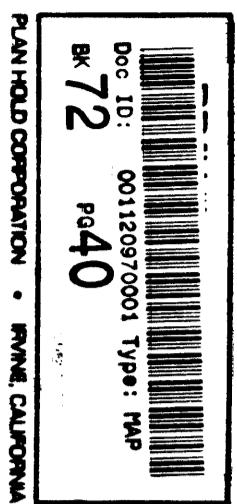


PLAN CHECKED BY: JAMES W. BROWN, CIVIL ENGINEER, LICENSE NO. 10000, STATE OF CONNECTICUT

Scale: NONE, SHEET 2 OF 7, MAP NO. 117-04-15D







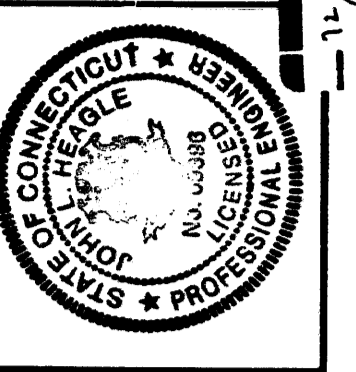
PLAN NO. 117-04-1SD

DRAWING NUMBER  
V01 12

DRAWING NUMBER  
Page 40

DRAWING NUMBER  
Page 40

DRAWING NUMBER



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

JOHN E. HEAGLE  
P.E. # 8386

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-658-0587

SOILS DATA  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

THIS MAP PRODUCED BY  
POLYILLUM CONSULTANTS  
MEGSON & HEAGLE  
GLASTONBURY, CT 06033

CK. BY: MWF  
DRAW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 4 OF 7  
MAP NO. 117-04-1SD

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 12-27-06 TOWN STAFF COMMENTS

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 3-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Per Section 8-28c of the Connecticut General Statutes, as amended, approval automatically expires on 7-17-07 11:25 AM if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands Agency  
*[Signature]* 7-3-07  
Approved by the East Hampton Planning & Zoning Commission  
Final Approval *[Signature]*  
Date: 7-10-07  
Expiration Date: \_\_\_\_\_

**LOT 38**

TEST PIT # 153  
DATE: 12-19-04  
DEPTH: 92"  
GROUNDWATER: NONE  
MOTTLING: 42"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-31" REDDISH BROWN FINE SANDY LOAM  
31-92" OLIVE BROWN LOAMY SAND TILL COMPACT WITH STONE

TEST PIT # 154  
DATE: 12-18-04  
DEPTH: 92"  
GROUNDWATER: NONE  
MOTTLING: 58"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" FINE BROWN SILTY LOAM  
28-92" FINE GRAY/TAN SAND WITH ROCK - TRACE SILT

TEST PIT # 155  
DATE: 12-18-04  
DEPTH: 97"  
GROUNDWATER: NONE  
MOTTLING: 45"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" BROWN FINE SANDY LOAM  
28-97" OLIVE BROWN/GRAY LOAMY SAND WITH STONES

TEST PIT # 157  
DATE: 12-18-04  
DEPTH: 88"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-24" FINE SANDY BROWN LOAM  
24-88" OLIVE BROWN (LOAMY SAND) TILL COMPACT

TEST PIT # 158  
DATE: 12-18-04  
DEPTH: 101"  
GROUNDWATER: SEEPING @ 72"  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-24" FINE SANDY BROWN LOAM  
24-36" COMPACT FINE GRAY SAND-STONE SILT  
36-46" COMPACT MEDIUM-COARSE SAND  
46-101" HARD PACKED GRAY/BROWN SILTY SAND

TEST PIT # 159  
DATE: 12-18-04  
DEPTH: 92"  
GROUNDWATER: SEEPING @ 72"  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-24" FINE SANDY BROWN LOAM  
24-36" COMPACT FINE GRAY SAND-STONE SILT  
36-46" COMPACT MEDIUM-COARSE SAND  
46-101" HARD PACKED GRAY/BROWN SILTY SAND

TEST PIT # 160  
DATE: 12-18-04  
DEPTH: 96"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-24" FINE SANDY BROWN LOAM  
24-30" FINE SILTY LIGHT BROWN SAND  
30-40" COMPACT FINE SILTY SAND  
40-96" GRAY TILL

PERC. TEST #157  
DATE: 6-15-05  
DEPTH: 25"  
RATE: 20 MIN./IN.

PERC. TEST #158  
DATE: 6-15-05  
DEPTH: 24"  
RATE: 6.7 MIN./IN.

**LOT 38 M.L.S.S. CALCULATIONS**  
BEDROOMS: 4  
RESTRICTIVE LAYER: 28"  
SLOPE: 8.7%  
PERC. RATE: 20 MIN./IN.  
(HF)28 x (FF)2.0 x (PF)1.5 = 78 L.F.  
900 S.F. LEACHING AREA REQUIRED

**LOT 36**

TEST PIT # 141  
DATE: 12-16-04  
DEPTH: 94"  
GROUNDWATER: NONE  
MOTTLING: 25"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-25" YELLOWISH BROWN FINE SANDY LOAM  
25-94" OLIVE BROWN/GRAY LOAMY SAND WITH STONES SLIGHTLY COMPACT

TEST PIT # 142  
DATE: 12-16-04  
DEPTH: 92"  
GROUNDWATER: NONE  
MOTTLING: 27"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" YELLOWISH BROWN FINE SANDY LOAM  
22-92" OLIVE BROWN LOAMY SAND TILL

TEST PIT # 143  
DATE: 12-16-04  
DEPTH: 96"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 40"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-21" YELLOWISH BROWN FINE SANDY LOAM  
21-34" ROTTEN ROCK

TEST PIT # 144  
DATE: 12-16-04  
DEPTH: 84"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 27"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-34" YELLOWISH BROWN FINE SANDY LOAM  
34-96" OLIVE BROWN LOAMY SAND TILL COMPACT WITH HEAVY MOTTLES

TEST PIT # 145  
DATE: 12-16-04  
DEPTH: 97"  
GROUNDWATER: NONE  
MOTTLING: 45"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-21" YELLOWISH BROWN FINE SANDY LOAM  
21-34" ROTTEN ROCK

TEST PIT # 146  
DATE: 12-16-04  
DEPTH: 95"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 32"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-24" REDDISH BROWN FINE SANDY LOAM  
24-36" OLIVE BROWN (LOAMY SAND) TILL WITH STONES

TEST PIT # 147  
DATE: 12-16-04  
DEPTH: 56"  
GROUNDWATER: NONE  
MOTTLING: 40"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-12" REDDISH BROWN FINE SANDY LOAM  
12-24" REDDISH BROWN FINE SANDY LOAM  
24-41" YELLOWISH BROWN FINE SANDY LOAM  
41-56" ROTTEN ROCK

TEST PIT # 148  
DATE: 12-16-04  
DEPTH: 64"  
GROUNDWATER: NONE  
MOTTLING: 30"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-11" BROWN FINE SANDY LOAM  
11-28" BROWN FINE SANDY LOAM  
28-64" GRAY (LOAMY SAND) TILL COMPACT WITH STONE AND ROTTEN ROCK

TEST PIT # 149  
DATE: 12-16-04  
DEPTH: 86"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 33"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" YELLOWISH BROWN FINE SANDY LOAM  
30-68" OLIVE BROWN (LOAMY SAND) WILL WITH ROTTEN ROCK

TEST PIT # 150  
DATE: 12-16-04  
DEPTH: 81"  
GROUNDWATER: NONE  
MOTTLING: 41"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-11" BROWN FINE SANDY LOAM  
11-28" BROWN FINE SANDY LOAM  
28-64" GRAY (LOAMY SAND) TILL COMPACT WITH STONE AND ROTTEN ROCK AND BOULDERS

TEST PIT # 151  
DATE: 12-16-04  
DEPTH: 91"  
GROUNDWATER: NONE  
MOTTLING: 28"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-24" FINE SANDY BROWN LOAM  
24-30" FINE SILTY LIGHT BROWN SAND  
30-40" COMPACT FINE SILTY SAND  
40-96" GRAY TILL

PERC. TEST #147  
DATE: 6-15-05  
DEPTH: 25"  
RATE: 3.5 MIN./IN.

PERC. TEST #148  
DATE: 6-15-05  
DEPTH: 25.5"  
RATE: 4.4 MIN./IN.

**LOT 36 M.L.S.S. CALCULATIONS**  
BEDROOMS: 4  
RESTRICTIVE LAYER: 33"  
SLOPE: 9.2%  
PERC. RATE: 3.5 MIN./IN.  
(HF)24 x (FF)2.0 x (PF)1.0 = 48 L.F.  
680 S.F. LEACHING AREA REQUIRED

**LOT 35**

TEST PIT # 133  
DATE: 12-18-04  
DEPTH: 96"  
GROUNDWATER: 75"  
MOTTLING: 35"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-27" FINE LIGHT BROWN SILTY LOAM  
27-42" COMPACT FINE SILTY GRAY/BROWN SAND  
42-96" HARD PACKED FINE SILTY GRAY SAND WET AND MOTTLED

TEST PIT # 134  
DATE: 12-18-04  
DEPTH: 112"  
GROUNDWATER: 102"  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" MOST ROOTS - 42"  
10-10" TOPSOIL  
10-24" LIGHT BROWN FINE SANDY LOAM  
24-40" COMPACT FINE TAN/BROWN SAND - SOME SILT  
40-112" HARD PACKED FINE SILTY GRAY/BROWN SAND

TEST PIT # 136  
DATE: 12-18-04  
DEPTH: 96"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 30"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-27" YELLOWISH BROWN FINE SANDY LOAM  
27-40" YELLOWISH BROWN MEDIUM SAND  
40-96" OLIVE BROWN/GRAY SAND WITH HEAVY MOTTLES

TEST PIT # 137  
DATE: 12-17-04  
DEPTH: 96"  
GROUNDWATER: 74"  
MOTTLING: 32"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-27" YELLOWISH BROWN FINE SANDY LOAM  
27-40" YELLOWISH BROWN MEDIUM SAND  
40-96" OLIVE BROWN/GRAY (LOAMY SAND) TILL COMPACT

TEST PIT # 138  
DATE: 12-17-04  
DEPTH: 94"  
GROUNDWATER: 72"  
MOTTLING: 41"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-31" YELLOWISH BROWN FINE SANDY LOAM  
31-94" OLIVE BROWN LOAMY SAND TILL COMPACT

TEST PIT # 139  
DATE: 12-17-04  
DEPTH: 84"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 27"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" BROWN SILTY LOAM  
28-84" OLIVE BROWN/GRAY LOAMY SAND TILL WITH HEAVY MOTTLES

TEST PIT # 140  
DATE: 12-17-04  
DEPTH: 96"  
GROUNDWATER: SEEPING @ 74"  
MOTTLING: 34"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-34" YELLOWISH BROWN FINE SANDY LOAM  
34-96" OLIVE BROWN LOAMY SAND TILL COMPACT WITH HEAVY MOTTLES

TEST PIT # 143  
DATE: 12-16-04  
DEPTH: 72"  
GROUNDWATER: NONE  
MOTTLING: 27"  
LEGE: NONE  
MATERIALS: 0-7" TOPSOIL  
7-15" REDDISH BROWN FINE SANDY LOAM  
15-30" BROWN FINE SANDY LOAM  
30-72" OLIVE BROWN LOAMY SAND TILL COMPACT WITH STONES AND ROTTEN ROCK

TEST PIT # 144  
DATE: 12-16-04  
DEPTH: 89"  
GROUNDWATER: 89"  
MOTTLING: 29"  
LEGE: 91"  
MATERIALS: 0-7" TOPSOIL  
7-28" ORANGE BROWN FINE SANDY LOAM  
28-91" OLIVE BROWN (LOAMY SAND) TILL COMPACT

TEST PIT # 289  
DATE: 6-6-05  
DEPTH: 109"  
GROUNDWATER: 90"  
MOTTLING: 81"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" REDDISH BROWN FINE SANDY LOAM  
30-81" BROWN (LOAMY SAND) TILL WITH STONES AND ROTTEN ROCK

PERC. TEST #449  
DATE: 6-16-05  
DEPTH: 22"  
RATE: 10 MIN./IN.

PERC. TEST #450  
DATE: 6-16-05  
DEPTH: 24"  
RATE: 2.3 MIN./IN.

PERC. TEST #731  
DATE: 6-15-06  
DEPTH: 25"  
RATE: 10 MIN./IN.

PERC. TEST #732  
DATE: 6-2-06  
DEPTH: 25"  
RATE: 6.7 MIN./IN.

**LOT 33**

TEST PIT #205  
DATE: 12-17-04  
DEPTH: 91"  
GROUNDWATER: NONE  
MOTTLING: 30", ROOTS @ 30"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" OR/TAN FINE SANDY LOAM  
30-91" GREY/TAN SANDY TILL

TEST PIT #206  
DATE: 12-17-04  
DEPTH: 90"  
GROUNDWATER: NONE  
MOTTLING: 22", ROOTS @ 20"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" LT. BROWN FINE SANDY LOAM  
22-90" GREY FIRM TILL

TEST PIT #209  
DATE: 6-6-05  
DEPTH: 99"  
GROUNDWATER: NONE  
MOTTLING: 36", ROOTS @ FEW  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-33" LIGHT TAN/BROWN FINE SANDY LOAM, LOOSE  
33-99" GREY SANDY HARDPAN (SOIL LIGHTER AS IT GOES DEEPER)

TEST PIT #300  
DATE: 6-6-05  
DEPTH: 97"  
GROUNDWATER: NONE  
MOTTLING: 32", ROOTS @ FEW  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-31" LIGHT BROWN FINE SANDY LOAM W/SILT  
31-97" GREY SANDY HARDPAN

TEST PIT #301  
DATE: 6-6-05  
DEPTH: 94"  
GROUNDWATER: NONE  
MOTTLING: 32"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" LIGHT TAN/BROWN FINE SANDY LOAM W/SILT  
28-94" LIGHT GREY SANDY HARDPAN W/ROTTEN ROCK

TEST PIT #302  
DATE: 6-6-05  
DEPTH: 88"  
GROUNDWATER: NONE  
MOTTLING: 34", ROOTS @ FEW  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" REDDISH TAN/BROWN FINE SANDY LOAM W/SILT  
22-88" LIGHT GREY TO TAN SANDY HARDPAN

TEST PIT #303  
DATE: 12-17-04  
DEPTH: 101"  
GROUNDWATER: NONE  
MOTTLING: 22", ROOTS @ 28"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" LT. BROWN FINE SANDY LOAM W/GRAVEL TRACE OF SILT  
22-101" TANNISH GREY SANDY HARDPAN

TEST PIT #304  
DATE: 6-6-05  
DEPTH: 107"  
GROUNDWATER: NONE  
MOTTLING: 37", ROOTS @ 26"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-23" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL  
23-107" TAN/BROWN GREY SANDY HARDPAN

TEST PIT #305  
DATE: 6-6-05  
DEPTH: 107"  
GROUNDWATER: NONE  
MOTTLING: 37", ROOTS @ 26"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-23" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL  
23-107" TAN/BROWN GREY SANDY HARDPAN

TEST PIT #729  
DATE: 5-25-06  
DEPTH: 100"  
GROUNDWATER: NONE  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 10" TOPSOIL  
10-24" FINE LIGHT BROWN SANDY LOAM  
24-36" FINE SILTY SAND  
36-72" GRAY SILTY HARD PACKED TILL  
72-100" MODERATE COMPACT SILTY SAND

PERC. TEST #445  
DATE: 6-16-05  
DEPTH: 4 MIN./IN.

PERC. TEST #446  
DATE: 6-16-05  
DEPTH: 25.5"  
RATE: 4 MIN./IN.

**LOT 32**

TEST PIT #290  
DATE: 6-6-05  
DEPTH: 91"  
GROUNDWATER: 75"  
MOTTLING: 25"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" BROWN FINE SANDY LOAM  
30-91" GREY/TAN FIRM SAND, MOIST

TEST PIT #295  
DATE: 6-6-05  
DEPTH: 80"  
GROUNDWATER: 75"  
MOTTLING: 30", ROOTS @ 46"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-21" BROWN FINE SANDY LOAM  
21-80" BROWNISH GREY SANDY TILL

PERC. TEST #439  
DATE: 6-16-05  
DEPTH: 28"  
RATE: 10 MIN./IN.

PERC. TEST #440  
DATE: 6-16-05  
DEPTH: 27"  
RATE: 13.3 MIN./IN.

PERC. TEST #447  
DATE: 6-15-05  
DEPTH: 27"  
RATE: 10 MIN./IN.

PERC. TEST #448  
DATE: 6-15-05  
DEPTH: 27"  
RATE: 3.3 MIN./IN.

TEST PIT #301  
DATE: 6-6-05  
DEPTH: 94"  
GROUNDWATER: NONE  
MOTTLING: 32"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" LIGHT TAN/BROWN FINE SANDY LOAM W/SILT  
28-94" LIGHT GREY SANDY HARDPAN W/ROTTEN ROCK

TEST PIT #302  
DATE: 6-6-05  
DEPTH: 88"  
GROUNDWATER: NONE  
MOTTLING: 34", ROOTS @ FEW  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" REDDISH TAN/BROWN FINE SANDY LOAM W/SILT  
22-88" LIGHT GREY TO TAN SANDY HARDPAN

TEST PIT #303  
DATE: 12-17-04  
DEPTH: 101"  
GROUNDWATER: NONE  
MOTTLING: 22", ROOTS @ 28"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" LT. BROWN FINE SANDY LOAM W/GRAVEL TRACE OF SILT  
22-101" TANNISH GREY SANDY HARDPAN

TEST PIT #304  
DATE: 6-6-05  
DEPTH: 107"  
GROUNDWATER: NONE  
MOTTLING: 37", ROOTS @ 26"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-23" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL  
23-107" TAN/BROWN GREY SANDY HARDPAN

TEST PIT #729  
DATE: 5-25-06  
DEPTH: 100"  
GROUNDWATER: NONE  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 10" TOPSOIL  
10-24" FINE LIGHT BROWN SANDY LOAM  
24-36" FINE SILTY SAND  
36-72" GRAY SILTY HARD PACKED TILL  
72-100" MODERATE COMPACT SILTY SAND

PERC. TEST #445  
DATE: 6-16-05  
DEPTH: 4 MIN./IN.

PERC. TEST #446  
DATE: 6-16-05  
DEPTH: 25.5"  
RATE: 4 MIN./IN.

**LOT 31**

TEST PIT #290  
DATE: 6-6-05  
DEPTH: 91"  
GROUNDWATER: 75"  
MOTTLING: 25"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" BROWN FINE SANDY LOAM  
30-91" GREY/TAN FIRM SAND, MOIST

TEST PIT #295  
DATE: 6-6-05  
DEPTH: 80"  
GROUNDWATER: 75"  
MOTTLING: 30", ROOTS @ 46"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-21" BROWN FINE SANDY LOAM  
21-80" BROWNISH GREY SANDY TILL

PERC. TEST #439  
DATE: 6-16-05  
DEPTH: 28"  
RATE: 10 MIN./IN.

PERC. TEST #440  
DATE: 6-16-05  
DEPTH: 27"  
RATE: 13.3 MIN./IN.

PERC. TEST #447  
DATE: 6-15-05  
DEPTH: 27"  
RATE: 10 MIN./IN.

PERC. TEST #448  
DATE: 6-15-05  
DEPTH: 27"  
RATE: 3.3 MIN./IN.

TEST PIT #301  
DATE: 6-6-05  
DEPTH: 94"  
GROUNDWATER: NONE  
MOTTLING: 32"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" LIGHT TAN/BROWN FINE SANDY LOAM W/SILT  
28-94" LIGHT GREY SANDY HARDPAN W/ROTTEN ROCK

TEST PIT #302  
DATE: 6-6-05  
DEPTH: 88"  
GROUNDWATER: NONE  
MOTTLING: 34", ROOTS @ FEW  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" REDDISH TAN/BROWN FINE SANDY LOAM W/SILT  
22-88" LIGHT GREY TO TAN SANDY HARDPAN

TEST PIT #303  
DATE: 12-17-04  
DEPTH: 101"  
GROUNDWATER: NONE  
MOTTLING: 22", ROOTS @ 28"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" LT. BROWN FINE SANDY LOAM W/GRAVEL TRACE OF SILT  
22-101" TANNISH GREY SANDY HARDPAN

TEST PIT #304  
DATE: 6-6-05  
DEPTH: 107"  
GROUNDWATER: NONE  
MOTTLING: 37", ROOTS @ 26"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-23" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL  
23-107" TAN/BROWN GREY SANDY HARDPAN

TEST PIT #729  
DATE: 5-25-06  
DEPTH: 100"  
GROUNDWATER: NONE  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 10" TOPSOIL  
10-24" FINE LIGHT BROWN SANDY LOAM  
24-36" FINE SILTY SAND  
36-72" GRAY SILTY HARD PACKED TILL  
72-100" MODERATE COMPACT SILTY SAND

PERC. TEST #441  
DATE: 6-16-05  
DEPTH: 25.5"  
RATE: 13.3 MIN./IN.

PERC. TEST #442  
DATE: 6-16-05  
DEPTH: 27.5"  
RATE: 6.7 MIN./IN.

PERC. TEST #733  
DATE: 6-2-06  
DEPTH: 26"  
RATE: 10 MIN./IN.

PERC. TEST #734  
DATE: 6-2-06  
DEPTH: 26"  
RATE: 10 MIN./IN.

**LOT 31 M.L.S.S. CALCULATIONS**  
BEDROOMS: 5  
RESTRICTIVE LAYER: 25"  
SLOPE: 13.3%  
PERC. RATE: 13.3 MIN./IN.  
(HF)26 x (FF)2.0 x (PF)1.5 = 78 L.F.  
900 SF LEACHING AREA REQUIRED

**LOT 30**

TEST PIT #290  
DATE: 6-6-05  
DEPTH: 91"  
GROUNDWATER: 75"  
MOTTLING: 25"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-30" BROWN FINE SANDY LOAM  
30-91" GREY/TAN FIRM SAND, MOIST

TEST PIT #295  
DATE: 6-6-05  
DEPTH: 80"  
GROUNDWATER: 75"  
MOTTLING: 30", ROOTS @ 46"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-21" BROWN FINE SANDY LOAM  
21-80" BROWNISH GREY SANDY TILL

PERC. TEST #439  
DATE: 6-16-05  
DEPTH: 28"  
RATE: 10 MIN./IN.

PERC. TEST #440  
DATE: 6-16-05  
DEPTH: 27"  
RATE: 13.3 MIN./IN.

PERC. TEST #447  
DATE: 6-15-05  
DEPTH: 27"  
RATE: 10 MIN./IN.

PERC. TEST #448  
DATE: 6-15-05  
DEPTH: 27"  
RATE: 3.3 MIN./IN.

TEST PIT #301  
DATE: 6-6-05  
DEPTH: 94"  
GROUNDWATER: NONE  
MOTTLING: 32"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" LIGHT TAN/BROWN FINE SANDY LOAM W/SILT  
28-94" LIGHT GREY SANDY HARDPAN W/ROTTEN ROCK

TEST PIT #302  
DATE: 6-6-05  
DEPTH: 88"  
GROUNDWATER: NONE  
MOTTLING: 34", ROOTS @ FEW  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" REDDISH TAN/BROWN FINE SANDY LOAM W/SILT  
22-88" LIGHT GREY TO TAN SANDY HARDPAN

TEST PIT #303  
DATE: 12-17-04  
DEPTH: 101"  
GROUNDWATER: NONE  
MOTTLING: 22", ROOTS @ 28"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-22" LT. BROWN FINE SANDY LOAM W/GRAVEL TRACE OF SILT  
22-101" TANNISH GREY SANDY HARDPAN

TEST PIT #304  
DATE: 6-6-05  
DEPTH: 107"  
GROUNDWATER: NONE  
MOTTLING: 37", ROOTS @ 26"  
LEGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-23" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL  
23-107" TAN/BROWN GREY SANDY HARDPAN

TEST PIT #729  
DATE: 5-25-06  
DEPTH: 100"  
GROUNDWATER: NONE  
MOTTLING: 36"  
LEGE: NONE  
MATERIALS: 10" TOPSOIL  
10-24" FINE LIGHT BROWN SANDY LOAM  
24-36" FINE SILTY SAND  
36-72" GRAY SILTY HARD PACKED TILL  
72-100" MODERATE COMPACT SILTY SAND

PERC. TEST #441  
DATE: 6-16-05  
DEPTH: 25.5"  
RATE: 13.3 MIN./IN.

PERC. TEST #442  
DATE: 6-16-05  
DEPTH: 27.5"  
RATE: 6.7 MIN./IN.

PERC. TEST #733  
DATE: 6-2-06  
DEPTH: 26"  
RATE: 10 MIN./IN.

PERC. TEST #734  
DATE: 6-2-06  
DEPTH: 26"  
RATE: 10 MIN./IN.

**LOT 30 M.L.S.S. CALCULATIONS**  
BEDROOMS: 5  
RESTRICTIVE LAYER: 18"  
SLOPE: 7.2%

LOT 40	LOT 42 CONT'D	LOT 43 CONT'D	LOT 44 CONT'D	LOT 45 CONT'D	LOT 47
<p>TEST PIT # 161 DATE: 12-16-04 DEPTH: 86" GROUNDWATER: 84" MOTTLING: 30" LEGE: 86" MATERIALS: 0-10" TOPSOIL 10-32" REDDISH BROWN FINE SANDY LOAM WITH STONES 32-86" OLIVE BROWN SANDY TILL WITH STONES</p> <p>TEST PIT # 162 DATE: 12-16-04 DEPTH: 88" GROUNDWATER: 87" MOTTLING: 29" LEGE: 88" MATERIALS: 0-11" TOPSOIL 11-29" YELLOWISH BROWN FINE SANDY LOAM 29-88" OLIVE BROWN SANDY TILL WITH STONES AND MOTTLED</p> <p>TEST PIT # 163 DATE: 12-16-04 DEPTH: 89" GROUNDWATER: 70" MOTTLING: 31" LEGE: 89" MATERIALS: 0-8" TOPSOIL 8-23" YELLOWISH BROWN FINE SANDY LOAM 23-43" OLIVE BROWN LOAMY SAND 43-89" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT # 164 DATE: 12-16-04 DEPTH: 85" GROUNDWATER: 56" MOTTLING: 29" LEGE: 85" MATERIALS: 0-8" TOPSOIL 8-21" YELLOWISH BROWN FINE SANDY LOAM 21-31" BROWN FINE SANDY LOAM 31-85" OLIVE BROWN (LOAMY SAND) TILL WITH STONES</p> <p>PERC. TEST #455 DATE: 6-8-05 DEPTH: 24" RATE: 5.7 MIN./IN.</p> <p>PERC. TEST #456 DATE: 6-8-05 DEPTH: 22" RATE: 13.3 MIN./IN.</p> <p><b>LOT 40 M.L.S.S. CALCULATIONS</b> BEDROOMS: 5 RESTRICTIVE LAYER: 29" SLOPE: 9.0% PERC. RATE: 5.7 MIN./IN. (HF)28 x (FF)2.5 x (PF)1.2 = 78 LF. 760 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 41</b> TEST PIT # 165 DATE: 12-15-04 DEPTH: 88" GROUNDWATER: SEEPING @ 54" MOTTLING: 34" LEGE: 88" MATERIALS: 0-10" TOPSOIL 10-21" YELLOWISH BROWN FINE SANDY LOAM 21-40" BROWN FINE SANDY LOAM 40-88" OLIVE BROWN (LOAMY SAND) TILL</p> <p>TEST PIT # 166 DATE: 12-15-04 DEPTH: 79" GROUNDWATER: NONE MOTTLING: 30" LEGE: 79" MATERIALS: 0-10" TOPSOIL 10-30" YELLOWISH BROWN FINE SANDY LOAM 30-79" OLIVE BROWN (LOAMY SAND) TILL</p> <p>TEST PIT # 167 DATE: 12-15-04 DEPTH: 86" GROUNDWATER: SEEPING @ 52" MOTTLING: 34" LEGE: 86" MATERIALS: 0-7" TOPSOIL 7-14" YELLOWISH BROWN FINE SANDY LOAM 14-27" BROWN FINE SANDY LOAM 27-86" OLIVE BROWN (LOAMY SAND) TILL WITH ROTTEN ROCK BELOW 46"</p> <p>PERC. TEST #461 DATE: 6-15-05 DEPTH: 28.5" RATE: 2.7 MIN./IN.</p> <p>PERC. TEST #462 DATE: 6-15-05 DEPTH: 26" RATE: 3.4 MIN./IN.</p> <p><b>LOT 41 M.L.S.S. CALCULATIONS</b> BEDROOMS: 4 RESTRICTIVE LAYER: 26" SLOPE: 3.9% PERC. RATE: 2.7 MIN./IN. (HF)42 x (FF)2.0 x (PF)1.0 = 84 LF. 660 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 42</b> TEST PIT # 168 DATE: 12-15-04 DEPTH: 85" GROUNDWATER: NONE MOTTLING: 30" LEGE: 85" MATERIALS: 0-8" TOPSOIL 8-30" YELLOWISH BROWN FINE SANDY LOAM 30-85" OLIVE BROWN SANDY TILL WITH ROTTEN ROCK</p> <p>TEST PIT # 169 DATE: 12-15-04 DEPTH: 76" GROUNDWATER: SEEPING @ 41" MOTTLING: 26" LEGE: 76" MATERIALS: 0-8" TOPSOIL 8-18" YELLOWISH BROWN FINE SANDY LOAM 18-24" GRAY LOAMY SAND 24-31" BROWN FINE SANDY LOAM 31-76" DARK OLIVE BROWN (LOAMY SAND) TILL WITH ROTTEN ROCK</p> <p>TEST PIT # 170 DATE: 12-15-04 DEPTH: 72" GROUNDWATER: SEEPING @ 46" MOTTLING: 28" LEGE: 72" MATERIALS: 0-8" TOPSOIL 8-13" YELLOWISH BROWN FINE SANDY LOAM 13-25" BROWN LOAMY SAND 25-72" DARK OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT # 171 DATE: 12-15-04 DEPTH: 71" GROUNDWATER: SEEPING @ 37" MOTTLING: 22" LEGE: 71" MATERIALS: 0-5" TOPSOIL 5-22" YELLOWISH BROWN FINE SANDY LOAM 22-37" OLIVE BROWN FINE SANDY LOAM 37-71" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT # 172 DATE: 12-15-04 DEPTH: 73" GROUNDWATER: SEEPING @ 32" MOTTLING: 25" LEGE: 73" MATERIALS: 0-5" TOPSOIL 5-22" YELLOWISH BROWN FINE SANDY LOAM 22-73" DARK OLIVE BROWN (LOAMY SAND) TILL WITH STONE AND BOULDERS</p> <p>TEST PIT #312 DATE: 12-17-04 DEPTH: 72" GROUNDWATER: 63" SEEPAGE @ 38" MOTTLING: 21" LEGE: NONE MATERIAL: 0-11" TOPSOIL 11-21" TAN BROWN FINE SAND W/SILT AND GRAVEL, LOOSE 21-72" GREYISH SANDY HARDPAN</p> <p>TEST PIT #313 DATE: 12-20-04 DEPTH: 36" GROUNDWATER: NONE MOTTLING: NONE LEGE: 36" MATERIALS: 0-9" TOPSOIL 9-16" FINE SANDY LOAM 16-36" BREAKABLE ROCK/FINE SILTY SAND</p> <p>TEST PIT # 181 DATE: 12-15-04 DEPTH: 66" GROUNDWATER: SEEPING @ 25" MOTTLING: 22" LEGE: 66" MATERIALS: 0-9" TOPSOIL 9-28" YELLOWISH BROWN FINE SANDY LOAM 28-66" OLIVE BROWN LOAMY SAND TILL COMPACT</p> <p>TEST PIT # 182 DATE: 12-15-04 DEPTH: 69" GROUNDWATER: SEEPING @ 24" MOTTLING: 23" LEGE: 69" MATERIALS: 0-12" TOPSOIL 12-26" REDDISH BROWN FINE SANDY LOAM 26-69" OLIVE BROWN LOAMY SAND TILL COMPACT WITH STONES</p> <p>TEST PIT # 183 DATE: 12-15-04 DEPTH: 73" GROUNDWATER: SEEPING @ 28" MOTTLING: 25" LEGE: 73" MATERIALS: 0-8" TOPSOIL 8-30" BROWN FINE SANDY LOAM 30-73" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT #314 DATE: 6-15-05 DEPTH: 106" GROUNDWATER: 88" MOTTLING: 26" LEGE: NONE MATERIAL: 0-10" TOPSOIL 10-25" TAN BROWN FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 25-106" GREYISH SANDY HARDPAN</p> <p>TEST PIT #315 DATE: 10-2" GROUNDWATER: 99" SEEPAGE @ 94" MOTTLING: 27", ROOTS @ 27" LEGE: NONE MATERIAL: 0-8" TOPSOIL 8-18" ORANGE BROWN FINE SANDY LOAM W/SILT &amp; GRAVEL, LOOSE 18-25" TAN BROWN FINE SAND W/SILT AND GRAVEL, LOOSE 25-102" GREYISH SANDY HARDPAN</p> <p>PERC. TEST #463 DATE: 6-8-05 DEPTH: 24.75" RATE: 13.3 MIN./IN.</p> <p>PERC. TEST #464 DATE: 6-15-05 DEPTH: 24" RATE: 3.2 MIN./IN.</p> <p>PERC. TEST #465 DATE: 6-8-05 DEPTH: 22" RATE: 3.3 MIN./IN.</p> <p>PERC. TEST #466 DATE: 6-8-05 DEPTH: 23" RATE: 13.3 MIN./IN.</p> <p><b>LOT 42 M.L.S.S. CALCULATIONS</b> BEDROOMS: 4 RESTRICTIVE LAYER: 26" SLOPE: 8.0% PERC. RATE: 3.2 MIN./IN. (HF)30 x (FF)2.0 x (PF)1.0 = 60 LF. 660 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 43</b> TEST PIT # 173 DATE: 12-15-04 DEPTH: 57" GROUNDWATER: SEEPING @ 26" MOTTLING: 20" LEGE: 57" MATERIALS: 0-6" TOPSOIL 6-20" YELLOWISH BROWN FINE SANDY LOAM 20-57" OLIVE BROWN (LOAMY SAND) TILL</p> <p>TEST PIT # 174 DATE: 12-15-04 DEPTH: 62" GROUNDWATER: 32" SEEPING MOTTLING: 26" LEGE: 62" MATERIALS: 0-9" TOPSOIL 9-28" BROWN FINE SANDY LOAM 28-62" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT # 175 DATE: 12-15-04 DEPTH: 70" GROUNDWATER: NONE MOTTLING: 22" LEGE: 70" MATERIALS: 0-10" TOPSOIL 10-23" YELLOWISH BROWN FINE SANDY LOAM 23-70" OLIVE BROWN LOAMY SAND (HEAVILY MOTTLED) TILL COMPACT</p> <p>TEST PIT # 176 DATE: 12-15-04 DEPTH: 58" GROUNDWATER: SEEPING @ 25" MOTTLING: 21" LEGE: 58" MATERIALS: 0-9" TOPSOIL 9-25" YELLOWISH BROWN FINE SANDY LOAM 25-58" OLIVE BROWN (LOAMY SAND) TILL COMPACT AND HEAVILY MOTTLED ROOT TO 28"</p> <p>TEST PIT # 177 DATE: 12-20-04 DEPTH: 54" GROUNDWATER: NONE MOTTLING: 45" LEGE: 54" MATERIALS: 0-9" TOPSOIL 9-24" FINE SANDY LOAM 24-54" COMPACT FINE SILTY GRAY SAND</p> <p>TEST PIT # 178 DATE: 12-17-04 DEPTH: 84" GROUNDWATER: 55" MOTTLING: 26" LEGE: NONE MATERIALS: 0-8" TOPSOIL 8-28" BROWN FINE SANDY LOAM 28-84" GREY SANDY TILL</p> <p>TEST PIT # 180 DATE: 12-20-04 DEPTH: 36" GROUNDWATER: NONE MOTTLING: NONE LEGE: 36" MATERIALS: 0-9" TOPSOIL 9-16" FINE SANDY LOAM 16-36" BREAKABLE ROCK/FINE SILTY SAND</p> <p>TEST PIT # 181 DATE: 12-15-04 DEPTH: 66" GROUNDWATER: SEEPING @ 25" MOTTLING: 22" LEGE: 66" MATERIALS: 0-9" TOPSOIL 9-28" YELLOWISH BROWN FINE SANDY LOAM 28-66" OLIVE BROWN LOAMY SAND TILL COMPACT</p> <p>TEST PIT # 182 DATE: 12-15-04 DEPTH: 69" GROUNDWATER: SEEPING @ 24" MOTTLING: 23" LEGE: 69" MATERIALS: 0-12" TOPSOIL 12-26" REDDISH BROWN FINE SANDY LOAM 26-69" OLIVE BROWN LOAMY SAND TILL COMPACT WITH STONES</p> <p>TEST PIT # 183 DATE: 12-15-04 DEPTH: 73" GROUNDWATER: SEEPING @ 28" MOTTLING: 25" LEGE: 73" MATERIALS: 0-8" TOPSOIL 8-30" BROWN FINE SANDY LOAM 30-73" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT #316 DATE: 6-15-05 DEPTH: 102" GROUNDWATER: 93" SEEPAGE @ 69" MOTTLING: 27", ROOTS @ 27" LEGE: NONE MATERIAL: 0-8" TOPSOIL 8-17" ORANGE BR. FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 17-26" TAN BROWN FINE SAND W/SILT AND GRAVEL, LOOSE 26-102" GREYISH BROWN SANDY HARDPAN</p> <p>TEST PIT # 727 DATE: 6-25-06 DEPTH: 96" GROUNDWATER: SEEPAGE @ 22" MOTTLING: 18" LEGE: NONE MATERIALS: 10-18" FINE LIGHT BROWN SANDY LOAM 18-28" FINE SILTY SAND 28-96" GRAY SAND (HARD PAN)</p> <p>TEST PIT # 728 DATE: 6-25-06 DEPTH: 84+/-" GROUNDWATER: SEEPAGE @ 19" MOTTLING: 18" LEGE: NONE MATERIALS: 11-20" FINE LIGHT BROWN SILTY LOAM 20-84" COMPACT FINE SILTY GRAY/SAND MOTTLED</p> <p>PERC. TEST #467 DATE: 6-8-05 DEPTH: 10 MIN./IN.</p> <p>PERC. TEST #468 DATE: 6-8-05 DEPTH: 4 MIN./IN.</p> <p>PERC. TEST #469 DATE: 13.3 MIN./IN.</p> <p>PERC. TEST #470 DATE: 13.3 MIN./IN.</p> <p><b>LOT 43 M.L.S.S. CALCULATIONS</b> BEDROOMS: 4 RESTRICTIVE LAYER: 19" SLOPE: 6.3% PERC. RATE: 10 MIN./IN. (HF)42 x (FF)2.0 x (PF)1.2 = 101 LF. 660 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 44</b> TEST PIT # 184 DATE: 12-15-04 DEPTH: 70" GROUNDWATER: SEEPING @ 24" MOTTLING: 20" LEGE: 70" MATERIALS: 0-7" TOPSOIL 7-19" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 19-45" GREYISH SANDY HARDPAN 45-72" ROTTEN ROCK</p> <p>TEST PIT # 185 DATE: 12-15-04 DEPTH: 82" GROUNDWATER: SEEPING @ 39" MOTTLING: 36" LEGE: NONE MATERIALS: 0-7" TOPSOIL 7-13" YELLOWISH BROWN FINE SANDY LOAM 13-27" YELLOWISH BROWN FINE SANDY LOAM 27-82" OLIVE BROWN LOAMY SAND</p> <p>TEST PIT # 186 DATE: 12-15-04 DEPTH: 81" GROUNDWATER: 30" SEEPING MOTTLING: 25" LEGE: NONE MATERIALS: 0-9" TOPSOIL 9-23" YELLOWISH BROWN FINE SANDY LOAM 23-81" OLIVE BROWN SANDY TILL (LOAMY SAND) ROOTS TO 34"</p> <p>TEST PIT #317 DATE: 6-8-05 DEPTH: 85" GROUNDWATER: 73" SEEPAGE @ 52" MOTTLING: 30", ROOTS @ 34" MATERIAL: 0-7" TOPSOIL 7-25" ORANGE BR. FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 25-85" (S.E. EAST, S.W. WEST) GREY BROWN FINE SANDY HARDPAN (38-58) - 65" DECOMPOSED SCHIST</p> <p>TEST PIT # 188 DATE: 12-15-04 DEPTH: 80" GROUNDWATER: SEEPING @ 26" MOTTLING: 23" LEGE: NONE MATERIALS: 0-9" TOPSOIL 9-28" YELLOWISH BROWN FINE SANDY LOAM 28-60" OLIVE BROWN COMPACT TILL ROOTS TO 34"</p> <p>TEST PIT # 189 DATE: 12-15-04 DEPTH: 76" GROUNDWATER: SEEPING @ 27" MOTTLING: 22" LEGE: NONE MATERIALS: 0-11" TOPSOIL 11-27" YELLOWISH BROWN FINE SANDY LOAM 27-72" OLIVE BROWN LOAMY SAND TILL WITH SOME STONES</p> <p>TEST PIT # 192 DATE: 12-15-04 DEPTH: 82" GROUNDWATER: 27" MOTTLING: 23" LEGE: NONE MATERIALS: 0-8" TOPSOIL 8-27" YELLOWISH BROWN FINE SANDY LOAM WITH STONES 27-82" OLIVE BROWN SANDY TILL WITH STONES, COMPACT ROOTS TO 29"</p> <p>TEST PIT #318 DATE: 6-8-05 DEPTH: 75" GROUNDWATER: 63" SEEPAGE @ 26" MOTTLING: 24" LEGE: NONE MATERIAL: 0-6" TOPSOIL 6-24" LIGHT BR. FINE SAND, SOME GRAVEL AND SILT, MOIST, LOOSE 24-75" GREYISH SANDY HARDPAN</p> <p>TEST PIT #319 DATE: 6-15-05 DEPTH: 82" GROUNDWATER: 70" SEEPAGE @ 32" MOTTLING: 31" LEGE: NONE MATERIAL: 0-7" TOPSOIL 7-31" LIGHT BROWN FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 31-82" GREYISH SANDY HARDPAN</p> <p>PERC. TEST #471 DATE: 6-8-05 DEPTH: 24" RATE: 5.7 MIN./IN.</p> <p>PERC. TEST #472 DATE: 6-8-05 DEPTH: 19" RATE: 5 MIN./IN.</p> <p>PERC. TEST #473 DATE: 20 MIN./IN.</p> <p>PERC. TEST #474 DATE: 6-8-05 DEPTH: 13.3 MIN./IN.</p> <p><b>LOT 44 M.L.S.S. CALCULATIONS</b> BEDROOMS: 4 RESTRICTIVE LAYER: 25" SLOPE: 8.0% PERC. RATE: 5 MIN./IN. (HF)28 x (FF)2.0 x (PF)1.0 = 56 LF. 660 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 45</b> TEST PIT # 193 DATE: 12-15-04 DEPTH: 88" GROUNDWATER: NONE MOTTLING: 36" LEGE: 88" MATERIALS: 0-10" TOPSOIL 10-33" YELLOWISH BROWN FINE SANDY LOAM 33-88" OLIVE BROWN COMPACT SANDY TILL WITH MANY STONES</p> <p>TEST PIT # 194 DATE: 12-15-04 DEPTH: 90" GROUNDWATER: NONE MOTTLING: 36" LEGE: NONE MATERIALS: 0-10" TOPSOIL 10-35" YELLOWISH BROWN FINE SANDY LOAM 35-90" OLIVE BROWN SANDY TILL WITH STONES</p> <p>TEST PIT # 195 DATE: 12-15-04 DEPTH: 86" GROUNDWATER: SEEPING @ 60" MOTTLING: 37" LEGE: NONE MATERIALS: 0-10" TOPSOIL 10-30" YELLOWISH BROWN FINE SANDY LOAM 30-86" OLIVE BROWN SANDY TILL ROOTS TO ~ 30"</p> <p>PERC. TEST #499 DATE: 6-16-05 DEPTH: 31" RATE: 11 MIN./IN.</p> <p>PERC. TEST #500 DATE: 6-16-05 DEPTH: 32" RATE: 13.3 MIN./IN.</p> <p><b>LOT 45 M.L.S.S. CALCULATIONS</b> BEDROOMS: 5 RESTRICTIVE LAYER: 25" SLOPE: 15.4% PERC. RATE: 11 MIN./IN. (HF)24 x (FF)2.0 x (PF)1.5 = 72 LF. 900 S.F. LEACHING AREA REQUIRED</p> <p>TEST PIT # 196 DATE: 12-15-04 DEPTH: 78" GROUNDWATER: NONE MOTTLING: 33" ROOTS ~ 40" LEGE: NONE MATERIALS: 0-8" TOPSOIL 8-24" FINE SANDY LIGHT BROWN LOAM 24-34" COMPACT FINE LIGHT BROWN SAND - TRACE SILT 34-80" COMPACT FINE GRAY/BROWN SAND MOIST @ 52"</p> <p>TEST PIT # 197 DATE: 12-15-04 DEPTH: 80" GROUNDWATER: 30" SEEPING MOTTLING: 27" LEGE: NONE MATERIALS: 0-11" TOPSOIL 11-28" YELLOWISH BROWN FINE SANDY LOAM 28-80" OLIVE BROWN SANDY TILL WITH STONES ROOTS TO 32"</p> <p>TEST PIT # 198 DATE: 12-15-04 DEPTH: 80" GROUNDWATER: 30" SEEPING MOTTLING: 27" LEGE: NONE MATERIALS: 0-11" TOPSOIL 11-28" YELLOWISH BROWN FINE SANDY LOAM 28-80" COMPACT SANDY OLIVE BROWN TILL WITH STONES ROOTS TO 33"</p> <p>TEST PIT # 200 DATE: 12-18-04 DEPTH: 90" GROUNDWATER: 70" MOTTLING: 28" ROOTS ~ 36" LEGE: NONE MATERIALS: 0-9" TOPSOIL 9-18" FINE LIGHT BROWN SANDY LOAM 18-30" FINE GRAY/BROWN SAND - SOME SILT 30-98" HARD PACKED FINE SILTY GRAY SAND</p> <p>PERC. TEST #501 DATE: 6-8-05 DEPTH: 20" RATE: 8 MIN./IN.</p> <p>PERC. TEST #502 DATE: 6-8-05 DEPTH: 21" RATE: 5 MIN./IN.</p> <p><b>LOT 45 M.L.S.S. CALCULATIONS</b> BEDROOMS: 5 RESTRICTIVE LAYER: 29" SLOPE: 15.3% PERC. RATE: 8 MIN./IN. (HF)20 x (FF)2.5 x (PF)1.2 = 60 LF. 760 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 46</b> TEST PIT # 197 DATE: 12-18-04 DEPTH: 96" GROUNDWATER: 84" SEEPAGE @ 76" MOTTLING: 27" LEGE: NONE MATERIALS: 0-8" TOPSOIL 8-16" LIGHT BROWN FINE SANDY LOAM 16-27" FINE TAN/BROWN SAND TRACE SILT 27-76" COMPACT FINE SILTY GRAY/BROWN SAND</p> <p>TEST PIT # 199 DATE: 12-18-04 DEPTH: 90" GROUNDWATER: NONE MOTTLING: 35" LEGE: 90" MATERIALS: 0-10" TOPSOIL 10-27" YELLOWISH BROWN FINE SANDY LOAM 27-36" BROWN FINE SANDY LOAM 36-90" OLIVE BR. GRAY LOAMY SAND SLIGHTLY COMP. WITH MOTTLES</p> <p>TEST PIT # 200 DATE: 12-18-04 DEPTH: 90" GROUNDWATER: 70" MOTTLING: 28" ROOTS ~ 36" LEGE: NONE MATERIALS: 0-9" TOPSOIL 9-18" FINE LIGHT BROWN SANDY LOAM 18-30" FINE GRAY/BROWN SAND - SOME SILT 30-98" HARD PACKED FINE SILTY GRAY SAND</p> <p>PERC. TEST #497 DATE: 6-16-05 DEPTH: 30" RATE: 11 MIN./IN.</p> <p>PERC. TEST #498 DATE: 6-16-05 DEPTH: 31" RATE: 6.7 MIN./IN.</p> <p><b>LOT 47 M.L.S.S. CALCULATIONS</b> BEDROOMS: 5 RESTRICTIVE LAYER: 32" SLOPE: 13.4% PERC. RATE: 11 MIN./IN. (HF)20 x (FF)2.5 x (PF)1.5 = 75 LF. 1050 S.F. LEACHING AREA REQUIRED</p> <p>Approved by the East Hampton Inland Wetlands Agency <i>[Signature]</i> 7-3-07 Chairman</p> <p>Approved by the East Hampton Planning &amp; Zoning Commission <i>[Signature]</i> 7-10-07 Chairman</p> <p>Expiration Date: _____</p> <p>Per Section 8-25c of the Connecticut General Statutes, as amended, approval of this plan is contingent on the physical improvements required by this plan are not completed by that date.</p> <p>The Subdivision Regulations of the East Hampton Planning &amp; Zoning Commission are a part of this plan. Approval of this plan is contingent on compliance of the requirements of said regulations, accepting any variance or modification made by the Commission. Any such variance or modification are to file in the office of the Commission.</p> <p>"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning &amp; Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.</p> <p>OWNER/APPLICANT RECHOVOS CORPORATION 14 FARWELL ST. WEST HAVEN, CT 06516</p>	<p>TEST PIT # 171 DATE: 12-15-04 DEPTH: 71" GROUNDWATER: SEEPING @ 37" MOTTLING: 22" LEGE: 71" MATERIALS: 0-5" TOPSOIL 5-22" YELLOWISH BROWN FINE SANDY LOAM 22-37" OLIVE BROWN FINE SANDY LOAM 37-71" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT # 172 DATE: 12-15-04 DEPTH: 73" GROUNDWATER: SEEPING @ 32" MOTTLING: 25" LEGE: 73" MATERIALS: 0-5" TOPSOIL 5-22" YELLOWISH BROWN FINE SANDY LOAM 22-73" DARK OLIVE BROWN (LOAMY SAND) TILL WITH STONE AND BOULDERS</p> <p>TEST PIT #312 DATE: 12-17-04 DEPTH: 72" GROUNDWATER: 63" SEEPAGE @ 38" MOTTLING: 21" LEGE: NONE MATERIAL: 0-11" TOPSOIL 11-21" TAN BROWN FINE SAND W/SILT AND GRAVEL, LOOSE 21-72" GREYISH SANDY HARDPAN</p> <p>TEST PIT #313 DATE: 12-20-04 DEPTH: 36" GROUNDWATER: NONE MOTTLING: NONE LEGE: 36" MATERIALS: 0-9" TOPSOIL 9-16" FINE SANDY LOAM 16-36" BREAKABLE ROCK/FINE SILTY SAND</p> <p>TEST PIT # 181 DATE: 12-15-04 DEPTH: 66" GROUNDWATER: SEEPING @ 25" MOTTLING: 22" LEGE: 66" MATERIALS: 0-9" TOPSOIL 9-28" YELLOWISH BROWN FINE SANDY LOAM 28-66" OLIVE BROWN LOAMY SAND TILL COMPACT</p> <p>TEST PIT # 182 DATE: 12-15-04 DEPTH: 69" GROUNDWATER: SEEPING @ 24" MOTTLING: 23" LEGE: 69" MATERIALS: 0-12" TOPSOIL 12-26" REDDISH BROWN FINE SANDY LOAM 26-69" OLIVE BROWN LOAMY SAND TILL COMPACT WITH STONES</p> <p>TEST PIT # 183 DATE: 12-15-04 DEPTH: 73" GROUNDWATER: SEEPING @ 28" MOTTLING: 25" LEGE: 73" MATERIALS: 0-8" TOPSOIL 8-30" BROWN FINE SANDY LOAM 30-73" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT #314 DATE: 6-15-05 DEPTH: 106" GROUNDWATER: 88" MOTTLING: 26" LEGE: NONE MATERIAL: 0-10" TOPSOIL 10-25" TAN BROWN FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 25-106" GREYISH SANDY HARDPAN</p> <p>TEST PIT #315 DATE: 10-2" GROUNDWATER: 99" SEEPAGE @ 94" MOTTLING: 27", ROOTS @ 27" LEGE: NONE MATERIAL: 0-8" TOPSOIL 8-18" ORANGE BROWN FINE SANDY LOAM W/SILT &amp; GRAVEL, LOOSE 18-25" TAN BROWN FINE SAND W/SILT AND GRAVEL, LOOSE 25-102" GREYISH SANDY HARDPAN</p> <p>PERC. TEST #463 DATE: 6-8-05 DEPTH: 24.75" RATE: 13.3 MIN./IN.</p> <p>PERC. TEST #464 DATE: 6-15-05 DEPTH: 24" RATE: 3.2 MIN./IN.</p> <p>PERC. TEST #465 DATE: 6-8-05 DEPTH: 22" RATE: 3.3 MIN./IN.</p> <p>PERC. TEST #466 DATE: 6-8-05 DEPTH: 23" RATE: 13.3 MIN./IN.</p> <p><b>LOT 42 M.L.S.S. CALCULATIONS</b> BEDROOMS: 4 RESTRICTIVE LAYER: 26" SLOPE: 8.0% PERC. RATE: 3.2 MIN./IN. (HF)30 x (FF)2.0 x (PF)1.0 = 60 LF. 660 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 43</b> TEST PIT # 173 DATE: 12-15-04 DEPTH: 57" GROUNDWATER: SEEPING @ 26" MOTTLING: 20" LEGE: 57" MATERIALS: 0-6" TOPSOIL 6-20" YELLOWISH BROWN FINE SANDY LOAM 20-57" OLIVE BROWN (LOAMY SAND) TILL</p> <p>TEST PIT # 174 DATE: 12-15-04 DEPTH: 62" GROUNDWATER: 32" SEEPING MOTTLING: 26" LEGE: 62" MATERIALS: 0-9" TOPSOIL 9-28" BROWN FINE SANDY LOAM 28-62" OLIVE BROWN (LOAMY SAND) TILL COMPACT</p> <p>TEST PIT # 175 DATE: 12-15-04 DEPTH: 70" GROUNDWATER: NONE MOTTLING: 22" LEGE: 70" MATERIALS: 0-10" TOPSOIL 10-23" YELLOWISH BROWN FINE SANDY LOAM 23-70" OLIVE BROWN LOAMY SAND (HEAVILY MOTTLED) TILL COMPACT</p> <p>TEST PIT # 176 DATE: 12-15-04 DEPTH: 58" GROUNDWATER: SEEPING @ 25" MOTTLING: 21" LEGE: 58" MATERIALS: 0-9" TOPSOIL 9-25" YELLOWISH BROWN FINE SANDY LOAM 25-58" OLIVE BROWN (LOAMY SAND) TILL COMPACT AND HEAVILY MOTTLED ROOT TO 28"</p> <p>TEST PIT # 177 DATE: 12-20-04 DEPTH: 54" GROUNDWATER: NONE MOTTLING: 45" LEGE: 54" MATERIALS: 0-9" TOPSOIL 9-24" FINE SANDY LOAM 24-54" COMPACT FINE SILTY GRAY SAND</p> <p>TEST PIT # 178 DATE: 12-17-04 DEPTH: 84" GROUNDWATER: 55" MOTTLING: 26" LEGE: NONE MATERIALS: 0-8" TOPSOIL 8-28" BROWN FINE SANDY LOAM 28-84" GREY SANDY TILL</p> <p>TEST PIT # 180 DATE: 12-20-04 DEPTH: 36" GROUNDWATER: NONE MOTTLING: NONE LEGE: 36" MATERIALS: 0-9" TOPSOIL 9-16" FINE SANDY LOAM 16-36" BREAKABLE ROCK/FINE SILTY SAND</p> <p>TEST PIT #316 DATE: 6-15-05 DEPTH: 102" GROUNDWATER: 93" SEEPAGE @ 69" MOTTLING: 27", ROOTS @ 27" LEGE: NONE MATERIAL: 0-8" TOPSOIL 8-17" ORANGE BR. FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 17-26" TAN BROWN FINE SAND W/SILT AND GRAVEL, LOOSE 26-102" GREYISH BROWN SANDY HARDPAN</p> <p>TEST PIT # 727 DATE: 6-25-06 DEPTH: 96" GROUNDWATER: SEEPAGE @ 22" MOTTLING: 18" LEGE: NONE MATERIALS: 10-18" FINE LIGHT BROWN SANDY LOAM 18-28" FINE SILTY SAND 28-96" GRAY SAND (HARD PAN)</p> <p>TEST PIT # 728 DATE: 6-25-06 DEPTH: 84+/-" GROUNDWATER: SEEPAGE @ 19" MOTTLING: 18" LEGE: NONE MATERIALS: 11-20" FINE LIGHT BROWN SILTY LOAM 20-84" COMPACT FINE SILTY GRAY/SAND MOTTLED</p> <p>PERC. TEST #467 DATE: 6-8-05 DEPTH: 10 MIN./IN.</p> <p>PERC. TEST #468 DATE: 6-8-05 DEPTH: 4 MIN./IN.</p> <p>PERC. TEST #469 DATE: 13.3 MIN./IN.</p> <p>PERC. TEST #470 DATE: 13.3 MIN./IN.</p> <p><b>LOT 43 M.L.S.S. CALCULATIONS</b> BEDROOMS: 4 RESTRICTIVE LAYER: 19" SLOPE: 6.3% PERC. RATE: 10 MIN./IN. (HF)42 x (FF)2.0 x (PF)1.2 = 101 LF. 660 S.F. LEACHING AREA REQUIRED</p> <p><b>LOT 44</b> TEST PIT # 184 DATE: 12-15-04 DEPTH: 70" GROUNDWATER: SEEPING @ 24" MOTTLING: 20" LEGE: 70" MATERIALS: 0-7" TOPSOIL 7-19" ORANGE BROWN FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 19-45" GREYISH SANDY HARDPAN 45-72" ROTTEN ROCK</p> <p>TEST PIT # 185 DATE: 12-15-04 DEPTH: 82" GROUNDWATER: SEEPING @ 39" MOTTLING: 36" LEGE: NONE MATERIALS: 0-7" TOPSOIL 7-13" YELLOWISH BROWN FINE SANDY LOAM 13-27" YELLOWISH BROWN FINE SANDY LOAM 27-82" OLIVE BROWN LOAMY SAND</p> <p>TEST PIT # 186 DATE: 12-15-04 DEPTH: 81" GROUNDWATER: 30" SEEPING MOTTLING: 25" LEGE: NONE MATERIALS: 0-9" TOPSOIL 9-23" YELLOWISH BROWN FINE SANDY LOAM 23-81" OLIVE BROWN SANDY TILL (LOAMY SAND) ROOTS TO 34"</p> <p>TEST PIT #317 DATE: 6-8-05 DEPTH: 85" GROUNDWATER: 73" SEEPAGE @ 52" MOTTLING: 30", ROOTS @ 34" MATERIAL: 0-7" TOPSOIL 7-25" ORANGE BR. FINE SANDY LOAM W/SILT AND GRAVEL, LOOSE 25-85" (S.E. EAST, S.W. WEST) GREY BROWN FINE SANDY HARDPAN (38-58) - 65" DECOMPOSED SCHIST</p> <p>TEST PIT # 188 DATE: 12-15-04 DEPTH: 80" GROUNDWATER: SEEPING @ 26" MOTTLING: 23" LEGE: NONE MATERIALS: 0-9" TOPSOIL 9-28" YELLOWISH BROWN FINE SANDY LOAM 28-60" OLIVE BROWN COMPACT TILL ROOTS TO 34"</p> <p>TEST PIT # 189 DATE: 12-15-04 DEPTH: 76" GROUNDWATER: SEEPING @ 27" MOTTLING: 22" LEGE: NONE MATERIALS: 0-11" TOPSOIL 11-27" YELLOWISH BROWN FINE SANDY LOAM 27-72" OLIVE BROWN LOAMY SAND TILL WITH SOME STONES</p> <p>TEST PIT # 192 DATE: 12-15-04 DEPTH: 82" GROUNDWATER: 27" MOTTLING: 23" LEGE: NONE MATERIALS: 0-8" TOPSOIL 8-27" YELLOWISH BROWN FINE SANDY LOAM WITH STONES 27-82" OLIVE BROWN SANDY TILL WITH STONES, COMPACT ROOTS TO 29"</p> <p>TEST PIT #318 DATE: 6-8-05 DEPTH: 75" GROUNDWATER: 63" SEEPAGE @ 26" MOTTLING: 24" LEGE: NONE MATERIAL: 0-6" TOPSOIL 6-24" LIGHT BR. FINE SAND, SOME GRAVEL AND SILT</p>				

LOT 48

TEST PIT #209
DATE: 12-17-04
DEPTH: 94"
GROUNDWATER: NONE
MOTTLING: 28" ROOTS @ 24"
LEGE: NONE
MATERIALS:
0 - 8" TOPSOIL
8 - 28" OR/BROWN FINE SANDY LOAM
28 - 91" GREY/TAN SANDY LOAM

PERC. TEST #495
DATE: 6-16-05
DEPTH: 24"
RATE: 20 MIN./IN.
PERC. TEST #496
DATE: 6-16-05
DEPTH: 24"
RATE: 10 MIN./IN.

LOT 48 M.L.S.S. CALCULATIONS
BEDROOMS: 4
RESTRICTIVE LAYER: 28"
SLOPE: 8.3%
PERC. RATE: 20 MIN./IN.
(HF)26 x (FF)2.0 x (PF)1.5 = 78 LF.
900 SF LEACHING AREA REQUIRED

LOT 49

TEST PIT # 210
DATE: 12-17-04
DEPTH: 94"
GROUNDWATER: NONE
MOTTLING: 37" ROOTS - 23"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-23" OR/BROWN FINE SANDY LOAM
23-37" OL/BROWN SILTY SANDS
37-94" GRAY/BROWN SANDY TILL
40-94" OLIVE BROWN SANDY TILL

TEST PIT # 212
DATE: 12-18-04
DEPTH: 94"
GROUNDWATER: NONE
MOTTLING: 31" ROOTS - 43"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-18" FINE SANDY RED/BROWN LOAM
18-29" BROWN FINE SANDY LOAM
29-40" GRAY LOAMY SAND WITH STONES
40-94" OLIVE BROWN SANDY TILL

TEST PIT # 213
DATE: 12-18-04
DEPTH: 92"
GROUNDWATER: NONE
MOTTLING: 38"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-28" REDDISH BROWN FINE SANDY LOAM
28-40" OLIVE BROWN LOAMY SAND WITH GRAVEL
40-92" OL/BR (LOAMY SAND) TILL COMPACT WITH BOULDERS AND STONES

TEST PIT # 214
DATE: 12-18-04
DEPTH: 90"
GROUNDWATER: NONE
MOTTLING: 30"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-20" FINE SANDY BROWN LOAM
20-30" COMPACT FINE SILTY GRAY/BROWN SAND
30-90" GRAY TILL

TEST PIT # 216
DATE: 12-18-04
DEPTH: 92"
GROUNDWATER: NONE
MOTTLING: 32"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-24" FINE SANDY BROWN LOAM
24-34" FINE FINE TAN SAND TRACE SILT
34-54" COMPACT FINE GRAY BROWN SILTY SAND
54-92" HARD PACKED FINE SILTY GRAY/BROWN SAND

TEST PIT #278
DATE: 6-6-05
DEPTH: 83"
GROUNDWATER: NONE
MOTTLING: 28" ROOTS @ 34"
LEGE: NONE
MATERIALS:
0 - 6" TOPSOIL
6 - 28" BROWN FINE SANDY LOAM
28 - 83" MOD. COMPACT GRAYISH BR. TO TAN SAND

TEST PIT #279
DATE: 6-6-05
DEPTH: 86"
GROUNDWATER: NONE
MOTTLING: NONE, ROOTS @ 40"
LEGE: NONE
MATERIALS:
0 - 8" TOPSOIL
8 - 30" BROWN FINE SANDY LOAM, LOOSE
30 - 86" MOD. COMPACT TAN/GRAY SAND

PERC. TEST #493
DATE: 6-16-05
DEPTH: 24"
RATE: 10 MIN./IN.
PERC. TEST #494
DATE: 6-16-05
DEPTH: 24"
RATE: 6.7 MIN./IN.

LOT 49 M.L.S.S. CALCULATIONS
BEDROOMS: 5
RESTRICTIVE LAYER: 28"
SLOPE: 10.0%
PERC. RATE: 10 MIN./IN.
(HF)26 x (FF)2.5 x (PF)1.2 = 78 LF.
780 SF LEACHING AREA REQUIRED

LOT 50

TEST PIT # 217
DATE: 12-18-04
DEPTH: 78"
GROUNDWATER: NONE
MOTTLING: 28"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-27" REDDISH BROWN FINE SANDY LOAM
27-34" BROWN FINE SANDY LOAM
34-78" OLIVE BROWN (LOAMY SAND) TILL COMPACT WITH STONES

TEST PIT # 218
DATE: 12-18-04
DEPTH: 94"
GROUNDWATER: NONE
MOTTLING: 32" ROOTS @ 32"
LEGE: NONE
MATERIALS:
0 - 8" TOPSOIL
8 - 28" OR/BROWN FINE SANDY LOAM
28 - 42" GREY SANDS
42 - 94" GREY/TAN SANDY TILL

TEST PIT # 219
DATE: 12-18-04
DEPTH: 78"
GROUNDWATER: NONE
MOTTLING: 29"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-27" YELLOWISH BROWN FINE SANDY LOAM
27-78" OLIVE BROWN (LOAMY SAND) TILL COMPACT WITH STONES AND BOULDERS

TEST PIT # 220
DATE: 12-18-04
DEPTH: 90"
GROUNDWATER: NONE
MOTTLING: 28" SOME ROOTS - 36"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-28" FINE SILTY LIGHT BROWN LOAM
28-34" COMPACT FINE SILTY GRAY/BROWN SAND
34-90" GRAY TILL

PERC. TEST #491
DATE: 6-16-05
DEPTH: 24"
RATE: 10 MIN./IN.
PERC. TEST #492
DATE: 6-16-05
DEPTH: 24"
RATE: 10 MIN./IN.

LOT 50 M.L.S.S. CALCULATIONS
BEDROOMS: 5
RESTRICTIVE LAYER: 28"
SLOPE: 10.5%
PERC. RATE: 10 MIN./IN.
(HF)24 x (FF)2.5 x (PF)1.2 = 72 LF.
680 SF LEACHING AREA REQUIRED

LOT 51

TEST PIT # 230
DATE: 12-17-04
DEPTH: 96"
GROUNDWATER: 72"
MOTTLING: 22"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-22" FINE SILTY BROWN LOAM
22-42" SLIGHTLY COMPACT FINE SILTY GRAY BROWN SAND
42-96" GRAY TILL (MET)

TEST PIT # 232
DATE: 12-17-04
DEPTH: 96"
GROUNDWATER: 60"
MOTTLING: 24" SOME ROOTS - TILL
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-28" FINE SILTY RED/BROWN LOAM
28-44" COMPACT FINE SILTY GRAY/BROWN SAND
44-96" GRAY TILL

TEST PIT # 233
DATE: 12-17-04
DEPTH: 96"
GROUNDWATER: 84"
MOTTLING: 23"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-18" YELLOWISH BROWN SILTY LOAM
18-41" BROWN SILTY LOAM WITH MOTTELS AND STONES
41-96" OLIVE BROWN (LOAMY SAND) TILL COMPACT WITH MOTTELS AND STONES

TEST PIT # 236
DATE: 12-17-04
DEPTH: 84"
GROUNDWATER: SEEPAGE @ 43"
MOTTLING: 24"
LEGE: NONE
MATERIALS:
0-11" TOPSOIL
11-24" FINE RED/BROWN SILTY LOAM
24-43" FINE SILTY GRAY/BROWN SAND (MET)

TEST PIT #235
DATE: 6-7-05
DEPTH: 48"
GROUNDWATER: 70" SEEPS
MOTTLING: 25" ROOTS @ 36"
LEGE: NONE
MATERIALS:
0 - 12" TOPSOIL
12 - 30" RED BROWN MEDIUM SAND SOME SIL, GRAVEL
30 - 48" LOOKS LIKE ROTTEN ROCK

TEST PIT # 234
DATE: 12-17-04
DEPTH: 102"
GROUNDWATER: NONE
MOTTLING: 38"
LEGE: NONE
MATERIALS:
0-12" TOPSOIL
12-32" FINE SILTY LIGHT BROWN LOAM
32-64" SLIGHTLY COMPACT GRAY/BROWN MIX SILTY SAND
64-102" HARD PACKED GRAY SILTY SAND

TEST PIT # 235
DATE: 12-17-04
DEPTH: 84"
GROUNDWATER: 82"
MOTTLING: 34"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-24" YELLOWISH BROWN FINE SANDY LOAM
24-44" BROWN FINE SANDY LOAM WITH GRAVEL
44-84" BROWN SAND AND GRAVEL

TEST PIT # 237
DATE: 12-18-04
DEPTH: 96"
GROUNDWATER: 55"
MOTTLING: 35"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-36" REDDISH BROWN FINE SANDY LOAM
36-96" OLIVE BROWN (LOAMY SAND) TILL

PERC. TEST #495
DATE: 6-16-05
DEPTH: 24"
RATE: 20 MIN./IN.
PERC. TEST #496
DATE: 6-16-05
DEPTH: 24"
RATE: 4 MIN./IN.

LOT 52 M.L.S.S. CALCULATIONS
BEDROOMS: 3
RESTRICTIVE LAYER: 24"
SLOPE: 5.0%
PERC. RATE: 20 MIN./IN.
(HF)34 x (FF)1.5 x (PF)1.5 = 77 LF.
675 SF LEACHING AREA REQUIRED

LOT 51 CONT'D

TEST PIT # 240
DATE: 12-18-04
DEPTH: 96"
GROUNDWATER: 50"
MOTTLING: 31"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-31" YELLOWISH BROWN FINE SANDY LOAM
31-96" OLIVE TILL (LOAMY SAND)

TEST PIT # 242
DATE: 5-25-06
DEPTH: 96"
GROUNDWATER: SEEPAGE @ 36"
MOTTLING: 29" ROOTS - 30"
LEGE: NONE
MATERIALS:
11" TOPSOIL
11-24" FINE LIGHT BROWN SANDY LOAM
24-36" FINE SILTY SAND
36-96" FINE GRAY SILTY HARD PACKED SAND

TEST PIT # 240
DATE: 5-25-06
DEPTH: 96"
GROUNDWATER: SEEPAGE @ 60"
MOTTLING: 36" ROOTS - 42"
LEGE: NONE
MATERIALS:
12" TOPSOIL
12-24" FINE SANDY LOAM
24-36" FINE SILTY SAND
36-96" FINE GRAY SILTY HARD PACKED SAND

TEST PIT # 242
DATE: 5-25-06
DEPTH: 96"
GROUNDWATER: SEEPAGE @ 36"
MOTTLING: 24" ROOTS - 36"
LEGE: NONE
MATERIALS:
12" TOPSOIL
12-24" FINE SANDY LOAM
24-42" FINE SILTY SAND WITH STONE
42-96" FINE GRAY PACKED SILTY SAND/TILL

TEST PIT # 242
DATE: 5-25-06
DEPTH: 96"
GROUNDWATER: SEEPAGE @ 24"
MOTTLING: 20-22" ? ROOTS - 34"
LEGE: NONE
MATERIALS:
8" TOPSOIL
8-24" FINE SILTY LOAM
24-42" FINE SILTY SAND - MOTTELED
42-96" FINE GRAY SILTY HARD PACKED SAND

PERC. TEST #487
DATE: 6-16-05
DEPTH: 28"
RATE: 12 MIN./IN.
PERC. TEST #488
DATE: 6-16-05
DEPTH: 28"
RATE: 10 MIN./IN.
PERC. TEST #489
DATE: 6-16-05
DEPTH: 25"
RATE: 10.5 MIN./IN.
PERC. TEST #490
DATE: 6-16-05
DEPTH: 25"
RATE: 10.5 MIN./IN.

LOT 51 M.L.S.S. CALCULATIONS
BEDROOMS: 4
RESTRICTIVE LAYER: 29"
SLOPE: 10.6%
PERC. RATE: 6.7 MIN./IN.
(HF)24 x (FF)2.0 x (PF)1.2 = 58 LF.
680 SF LEACHING AREA REQUIRED

LOT 52

TEST PIT # 238
DATE: 12-18-04
DEPTH: 98"
GROUNDWATER: NONE
MOTTLING: 37"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-32" YELLOWISH BROWN FINE SANDY LOAM
32-98" OLIVE BROWN (LOAMY SAND) TILL COMPACT

TEST PIT # 239
DATE: 12-18-04
DEPTH: 104"
GROUNDWATER: 80"
MOTTLING: 37"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-37" REDDISH BROWN FINE SANDY LOAM
37-104" OLIVE BROWN (LOAMY SAND) TILL

TEST PIT # 241
DATE: 12-17-04
DEPTH: 108"
GROUNDWATER: SEEPAGE @ 51"
MOTTLING: 38"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-31" REDDISH BROWN FINE SANDY LOAM
31-108" OLIVE BROWN (LOAMY SAND) TILL

TEST PIT # 244
DATE: 12-18-04
DEPTH: 108"
GROUNDWATER: 113"
MOTTLING: 40"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-30" REDDISH BROWN VERY FINE SANDY LOAM
30-108" OLIVE BROWN TILL

TEST PIT # 708
DATE: 5-25-06
DEPTH: 96"
GROUNDWATER: SEEPAGE @ 36"
MOTTLING: 28"
LEGE: NONE
MATERIALS:
12" TOPSOIL
12-24" FINE LIGHT BROWN SANDY LOAM
24-36" FINE SILTY SAND
36-96" FINE GRAY SILTY HARD PAN SAND

TEST PIT # 709
DATE: 5-25-06
DEPTH: 96"
GROUNDWATER: SEEPAGE @ 35"
MOTTLING: 24" ROOTS @ 30"
LEGE: NONE
MATERIALS:
10" TOPSOIL
10-20" FINE SILTY LOAM
20-35" FINE SILTY SAND
35-96" FINE GRAY SILTY HARD PAN SAND

PERC. TEST #485
DATE: 6-16-05
DEPTH: 28"
RATE: 6.7 MIN./IN.
PERC. TEST #486
DATE: 6-16-05
DEPTH: 29"
RATE: 4 MIN./IN.

LOT 52 M.L.S.S. CALCULATIONS
BEDROOMS: 5
RESTRICTIVE LAYER: 34"
SLOPE: 8.3%
PERC. RATE: 6.7 MIN./IN.
(HF)24 x (FF)2.5 x (PF)1.2 = 72 LF.
780 SF LEACHING AREA REQUIRED

LOT 53

TEST PIT # 215
DATE: 12-18-04
DEPTH: 85"
GROUNDWATER: NONE
MOTTLING: 30"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-28" YELLOWISH BROWN FINE SANDY LOAM
28-85" OLIVE BROWN (LOAMY SANDY) TILL COMPACT

TEST PIT # 242
DATE: 12-17-04
DEPTH: 101"
GROUNDWATER: NONE
MOTTLING: 37"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-32" YELLOWISH BROWN FINE SANDY LOAM
32-101" OLIVE BROWN TILL WITH BOULDERS

TEST PIT # 243
DATE: 12-17-04
DEPTH: 84"
GROUNDWATER: SEEPAGE @ 54"
MOTTLING: 32"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-28" YELLOWISH BROWN FINE SANDY LOAM
28-84" OLIVE BROWN TILL

TEST PIT # 245
DATE: 12-17-04
DEPTH: 108"
GROUNDWATER: NONE
MOTTLING: 41"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-28" YELLOWISH BROWN FINE SANDY LOAM
28-108" OLIVE BROWN TILL

TEST PIT # 248
DATE: 12-17-04
DEPTH: 106"
GROUNDWATER: NONE
MOTTLING: 36"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-18" REDDISH BROWN FINE SANDY LOAM
18-36" YELLOWISH BROWN
36-106" GRAY SANDY TILL WITH BOULDERS

PERC. TEST #483
DATE: 6-16-05
DEPTH: 28"
RATE: 13.3 MIN./IN.
PERC. TEST #484
DATE: 6-16-05
DEPTH: 29"
RATE: 6.5 MIN./IN.

LOT 53 M.L.S.S. CALCULATIONS
BEDROOMS: 4
RESTRICTIVE LAYER: 32"
SLOPE: 8.7%
PERC. RATE: 13.3 MIN./IN.
(HF)24 x (FF)2.0 x (PF)1.5 = 72 LF.
900 SF LEACHING AREA REQUIRED

LOT 54

TEST PIT # 246
DATE: 12-17-04
DEPTH: 106"
GROUNDWATER: NONE
MOTTLING: 36"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-30" REDDISH BROWN FINE SANDY LOAM
30-106" OLIVE TILL

TEST PIT # 247
DATE: 12-17-04
DEPTH: 84"
GROUNDWATER: NONE
MOTTLING: 34"
LEGE: NONE
MATERIALS:
0-5" TOPSOIL
5-14" REDDISH BROWN VERY FINE SANDY LOAM
14-27" YELLOWISH BROWN FINE SANDY LOAM
27-84" OLIVE BROWN SANDY TILL WITH BOULDERS

TEST PIT # 250
DATE: 12-17-04
DEPTH: 111"
GROUNDWATER: NONE
MOTTLING: 36"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-27" YELLOWISH BROWN FINE SANDY LOAM
27-111" OLIVE BROWN/GRAY LOAMY SANDY TILL

TEST PIT # 251
DATE: 12-17-04
DEPTH: 97"
GROUNDWATER: NONE
MOTTLING: 50"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-25" REDDISH BROWN VERY FINE SANDY LOAM
25-113" OLIVE BROWN SANDY TILL

TEST PIT #276
DATE: 6-6-05
DEPTH: 87"
GROUNDWATER: NONE
MOTTLING: NONE, ROOTS @ 37"
LEGE: NONE
MATERIALS:
0 - 8" TOPSOIL
8 - 37" BROWN FINE SANDY LOAM
37 - 97" MOD. COMPACT GRAYISH BROWN SAND

PERC. TEST #481
DATE: 6-16-05
DEPTH: 28"
RATE: 6.7 MIN./IN.
PERC. TEST #482
DATE: 6-16-05
DEPTH: 30"
RATE: 6.7 MIN./IN.

LOT 54 M.L.S.S. CALCULATIONS
BEDROOMS: 5
RESTRICTIVE LAYER: 34"
SLOPE: 8.3%
PERC. RATE: 6.7 MIN./IN.
(HF)24 x (FF)2.5 x (PF)1.2 = 72 LF.
780 SF LEACHING AREA REQUIRED

LOT 55

TEST PIT # 249
DATE: 12-17-04
DEPTH: 110"
GROUNDWATER: NONE
MOTTLING: 44"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-31" YELLOWISH BROWN FINE SANDY LOAM
31-85" OLIVE BROWN LOAMY SAND WITH GRAVEL
85-110" SANDY TILL OLIVE BROWN

TEST PIT # 252
DATE: 12-17-04
DEPTH: 103"
GROUNDWATER: NONE
MOTTLING: 31"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-26" FINE SANDY LOAM
26-103" TILL

PERC. TEST #479A
DATE: 8-3-06
DEPTH: 32"
RATE: 28.6 MIN./IN.
PERC. TEST #480A
DATE: 8-3-06
DEPTH: 25"
RATE: 5 MIN./IN.

LOT 55 M.L.S.S. CALCULATIONS
BEDROOMS: 4
RESTRICTIVE LAYER: 31"
SLOPE: 10.1%
PERC. RATE: 20.1-30 MIN./IN.
(HF)20 x (FF)2.0 x (PF)2.0 = 80 LF.
1000 SF LEACHING AREA REQUIRED

LOT 56

TEST PIT # 253
DATE: 12-17-04
DEPTH: 132"
GROUNDWATER: NONE
MOTTLING: 32"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-32" YELLOWISH BROWN
32-132" OLIVE BROWN COMPACT SANDY TILL

TEST PIT # 254
DATE: 12-17-04
DEPTH: 130"
GROUNDWATER: NONE
MOTTLING: 32"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-24" YELLOWISH BROWN FINE SANDY LOAM
24-130" OLIVE BROWN SANDY TILL

TEST PIT # 255
DATE: 12-17-04
DEPTH: 132"
GROUNDWATER: NONE
MOTTLING: 45"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-31" YELLOWISH BROWN FINE SANDY LOAM
31-132" OLIVE BROWN/GRAY SANDY TILL

TEST PIT # 256
DATE: 12-16-04
DEPTH: 140"
GROUNDWATER: 138"
MOTTLING: 34"
LEGE: NONE
MATERIALS:
0-5" TOPSOIL
5-14" REDDISH BROWN VERY FINE SANDY LOAM
14-27" YELLOWISH BROWN FINE SANDY LOAM
27-84" OLIVE BROWN SANDY TILL WITH BOULDERS

TEST PIT # 270
DATE: 12-17-04
DEPTH: 96"
GROUNDWATER: NONE
MOTTLING: 26" ROOTS @ 24"
LEGE: NONE
MATERIALS:
0 - 9" TOPSOIL
9 - 26" BROWN FINE SANDY LOAM
26 - 96" GREY BROWN SANDY TILL

PERC. TEST #477
DATE: 6-16-05
DEPTH: 28"
RATE: 5 MIN./IN.
PERC. TEST #478
DATE: 6-16-05
DEPTH: 28"
RATE: 6.7 MIN./IN.

LOT 56 M.L.S.S. CALCULATIONS
BEDROOMS: 4
RESTRICTIVE LAYER: 32"
SLOPE: 10.0%
PERC. RATE: 6.7 MIN./IN.
(HF)24 x (FF)2.0 x (PF)1.2 = 58 LF.
680 SF LEACHING AREA REQUIRED

Per Section 8-28c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variance or modifications made by the Commission. Any such variance or modifications are on file in the office of the Commission. "CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk. OWNER/APPLICANT RECHOVOS CORPORATION 14 FARWELL ST. WEST HAVEN, CT 06516

LOT 57

TEST PIT # 258
DATE: 12-15-04
DEPTH: 85"
GROUNDWATER: 82"
MOTTLING: 37" ROOTS TO 53"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-31" YELLOWISH BROWN FINE SANDY LOAM
31-85" OLIVE BROWN LOAMY SAND WITH GRAVEL

TEST PIT # 259
DATE: 12-15-04
DEPTH: 89"
GROUNDWATER: NONE
MOTTLING: 50" ROOTS TO 54"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-32" BROWN FINE SANDY LOAM
32-49" OLIVE BROWN LOAMY SAND WITH GRAVEL
49-89" OLIVE FINE SAND WITH GRAVEL

TEST PIT # 261
DATE: 12-15-04
DEPTH: 86"
GROUNDWATER: NONE
MOTTLING: 50" ROOTS TO 54"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-24" YELLOWISH BROWN FINE SANDY LOAM
24-86" OLIVE BROWN LOAMY SAND WITH GRAVEL

TEST PIT # 262
DATE: 12-15-04
DEPTH: 90"
GROUNDWATER: NONE
MOTTLING: 32"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-26" YELLOWISH BROWN FINE SANDY LOAM
26-90" OLIVE BROWN LOAMY SAND WITH STONES SLIGHTLY COMPACT

TEST PIT # 263
DATE: 12-15-04
DEPTH: 83"
GROUNDWATER: NONE
MOTTLING: 30"
LEGE: NONE
MATERIALS:
0-9" TOPSOIL
9-29" YELLOWISH BROWN FINE SANDY LOAM
29-83" OLIVE BROWN LOAMY SAND WITH GRAVEL

TEST PIT # 264
DATE: 12-15-04
DEPTH: 95"
GROUNDWATER: 90"
MOTTLING: 22"
LEGE: NONE
MATERIALS:
0-8" TOPSOIL
8-20" YELLOWISH BROWN FINE SANDY LOAM
20-32" BROWN FINE SANDY LOAM WITH GRAVEL
32-95" OLIVE BROWN LOAMY SAND WITH GRAVEL

TEST PIT # 265
DATE: 12-15-04
DEPTH: 81"
GROUNDWATER: NONE
MOTTLING: 36"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-28" REDDISH BROWN FINE SANDY LOAM
28-81" OLIVE BROWN SANDY TILL WITH STONES

TEST PIT # 267
DATE: 12-15-04
DEPTH: 80"
GROUNDWATER: SEEPAGE @ 65"
MOTTLING: 27" ROOTS TO 30
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-21" YELLOWISH BROWN FINE SANDY LOAM
21-31" OLIVE BROWN FINE SANDY LOAM
31-80" OLIVE BROWN SANDY TILL WITH STONES AND BOULDERS

TEST PIT # 268
DATE: 12-15-04
DEPTH: 89"
GROUNDWATER: SEEPAGE @ 42"
MOTTLING: 28"
LEGE: NONE
MATERIALS:
0-10" TOPSOIL
10-29" YELLOWISH BROWN FINE SANDY LOAM
29-89" OLIVE BROWN SANDY TILL

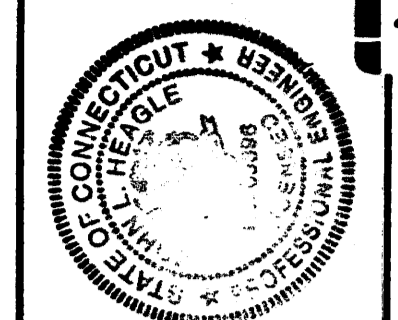
TEST PIT # 271
DATE: 12-20-04
DEPTH: 96"
GROUNDWATER: NONE SEEPAGE @ 70"
MOTTLING: 36"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-30" FINE SANDY LIGHT BROWN LOAM
30-40" FINE SILTY GRAY/BROWN SAND
40-96" HARD PACKED FINE SILTY GRAY SAND

TEST PIT # 272
DATE: 12-20-04
DEPTH: 96"
GROUNDWATER: NONE SEEPAGE @ 70"
MOTTLING: 36"
LEGE: NONE
MATERIALS:
0-7" TOPSOIL
7-30" FINE SANDY LIGHT BROWN LOAM
30-40" FINE SILTY GRAY/BROWN SAND
40-96" HARD PACKED FINE SILTY GRAY SAND

PERC. TEST #475
DATE: 6-6-05
DEPTH: 20"
RATE: 8 MIN./IN.
PERC. TEST #476
DATE: 6-6-05
DEPTH: 21"
RATE: 13.3 MIN./IN.

LOT 57 M.L.S.S. CALCULATIONS
BEDROOMS: 4
RESTRICTIVE LAYER: 22"
SLOPE: 10.8%
PERC. RATE: 8 MIN./IN.
(HF)28 x (FF)2.0 x (PF)1.2 = 68 LF.
680 SF LEACHING AREA REQUIRED

Approved by the East Hampton Inland Wetlands Agency
Approved by the East Hampton Planning & Zoning Commission
Final Approval
Date: 7-10-07
Expiration Date:



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT. JOHN L. HEAGLE P.E. # 8388

MEGSON & HEAGLE CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 BANKIN ROAD GLASTONBURY, CONN. 06033 PHONE (860)-668-0687

SOILS DATA SALMON RUN ESTATES (CONSERVATION SUBDIVISION) PREPARED FOR RECHOVOS CORPORATION EAST HAMPTON, CONN.

Approved by the East Hampton Planning & Zoning Commission
Final Approval
Date: 7-10-07
Expiration Date:
Date: 8-17-06
SCALE: NONE
SHEET 6 OF 7
MAP NO. 117-04-1SD

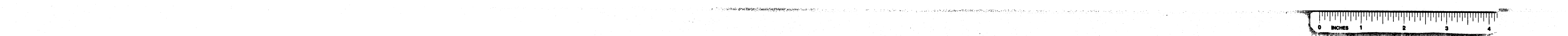
DRAWING NUMBER 12 001230001 17th Ave

DRAWING NUMBER V0112

DRAWING NUMBER Page 42

DRAWING NUMBER

PROJECT: 117-04-1SD (SALMON RUN ESTATES) SHEET: 6 OF 7 DATE: 7/10/07



**ADDITIONAL T.P.'S**

TEST PIT # 100  
DATE: 12-18-04  
DEPTH: 115"  
GROUNDWATER: NONE  
MOTTLING: POSS. @ 92"  
LEDGE: NONE  
MATERIALS: 0-10" TOPSOIL  
10-26" LIGHT BROWN SANDY LOAM  
26-72" STRATIFIED TAN SAND  
72-115" COMPACT MEDIUM SAND - TAN

TEST PIT # 178  
DATE: 12-16-04  
DEPTH: 72"  
GROUNDWATER: NONE  
MOTTLING: 30"  
LEDGE: 72"  
MATERIALS: 0-8" TOPSOIL  
8-16" YELLOWISH BROWN FINE SANDY LOAM  
16-72" OLIVE BROWN SANDY TILL WITH ROTTEN ROCK EXTREMELY COMPACT

TEST PIT # 187  
DATE: 12-15-04  
DEPTH: 80"  
GROUNDWATER: SEEPING  
MOTTLING: 34"  
LEDGE: NONE  
MATERIALS: 0-10" TOPSOIL  
10-21" YELLOWISH BROWN FINE SANDY LOAM  
21-33" BROWN FINE SANDY LOAM  
33-80" OLIVE BROWN COMPACT SANDY TILL WITH STONES  
ROOTS TO 40"

TEST PIT # 201  
DATE: 12-18-04  
DEPTH: 89"  
GROUNDWATER: SEEPING @ 72"  
MOTTLING: 29"  
LEDGE: NONE  
MATERIALS: 0-6" TOPSOIL  
6-27" YELLOWISH BROWN FINE SANDY LOAM  
27-89" OLIVE BROWN (LOAMY SAND) TILL WITH STONES AND BOULDERS COMPACT

TEST PIT # 207  
DATE: 12-17-05  
DEPTH: 87"  
GROUNDWATER: NONE  
MOTTLING: 34"  
LEDGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-34" LIGHT ORANGE FINE SANDY LOAM  
34-87" GREY/TAN SANDY TILL

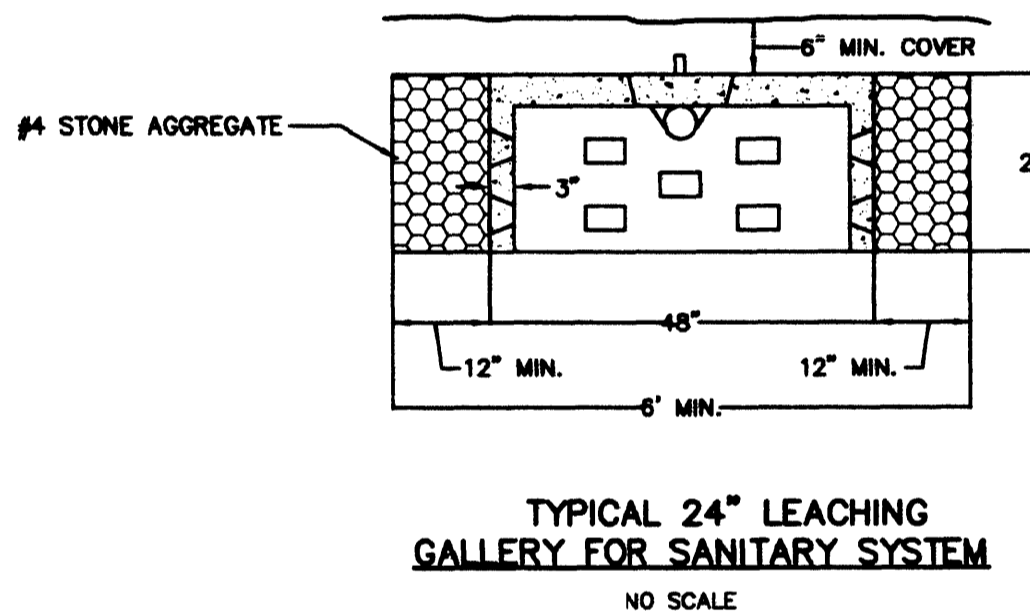
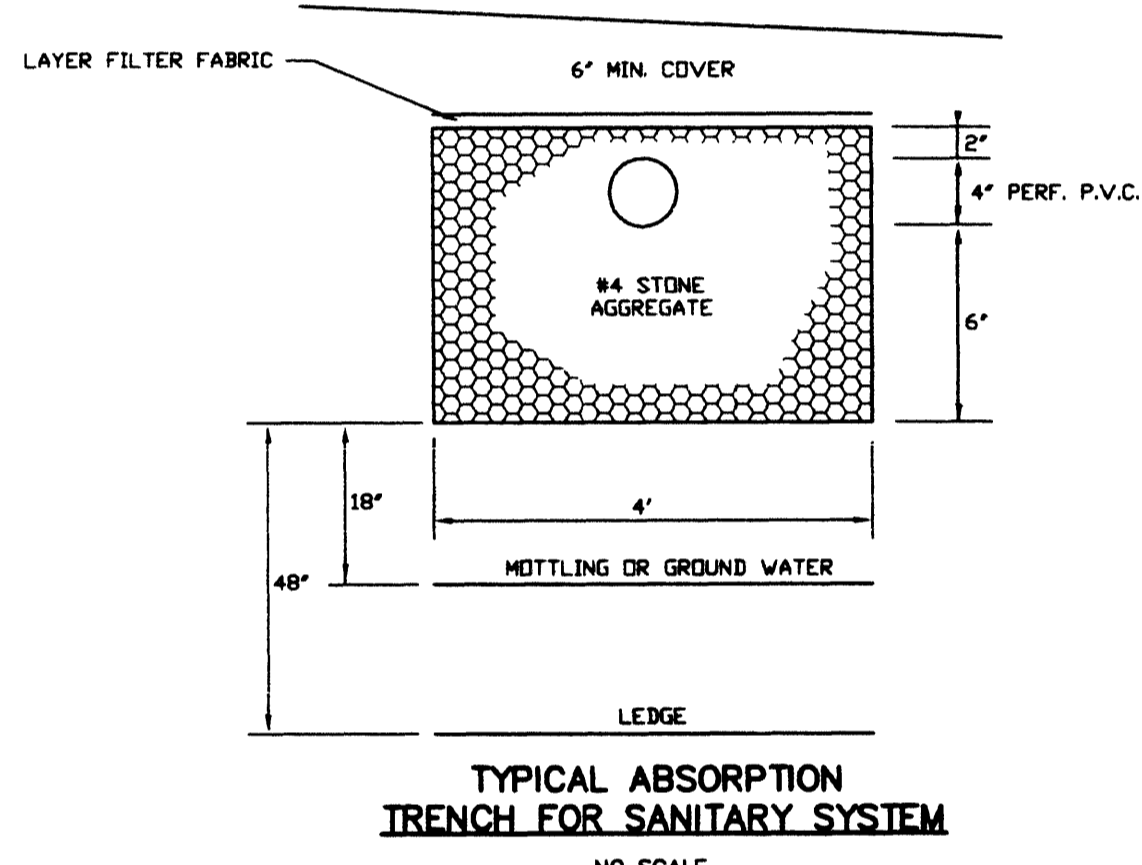
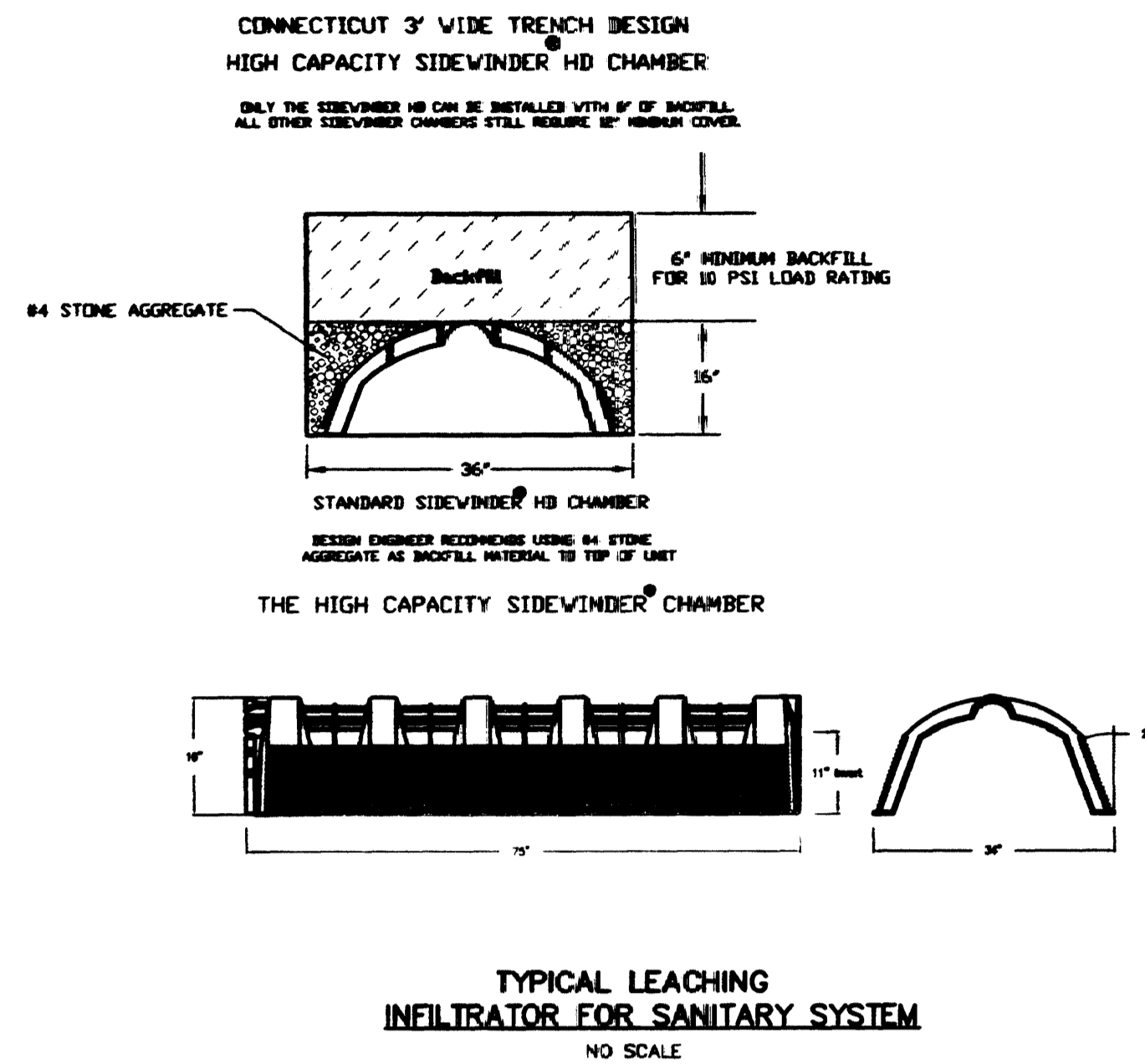
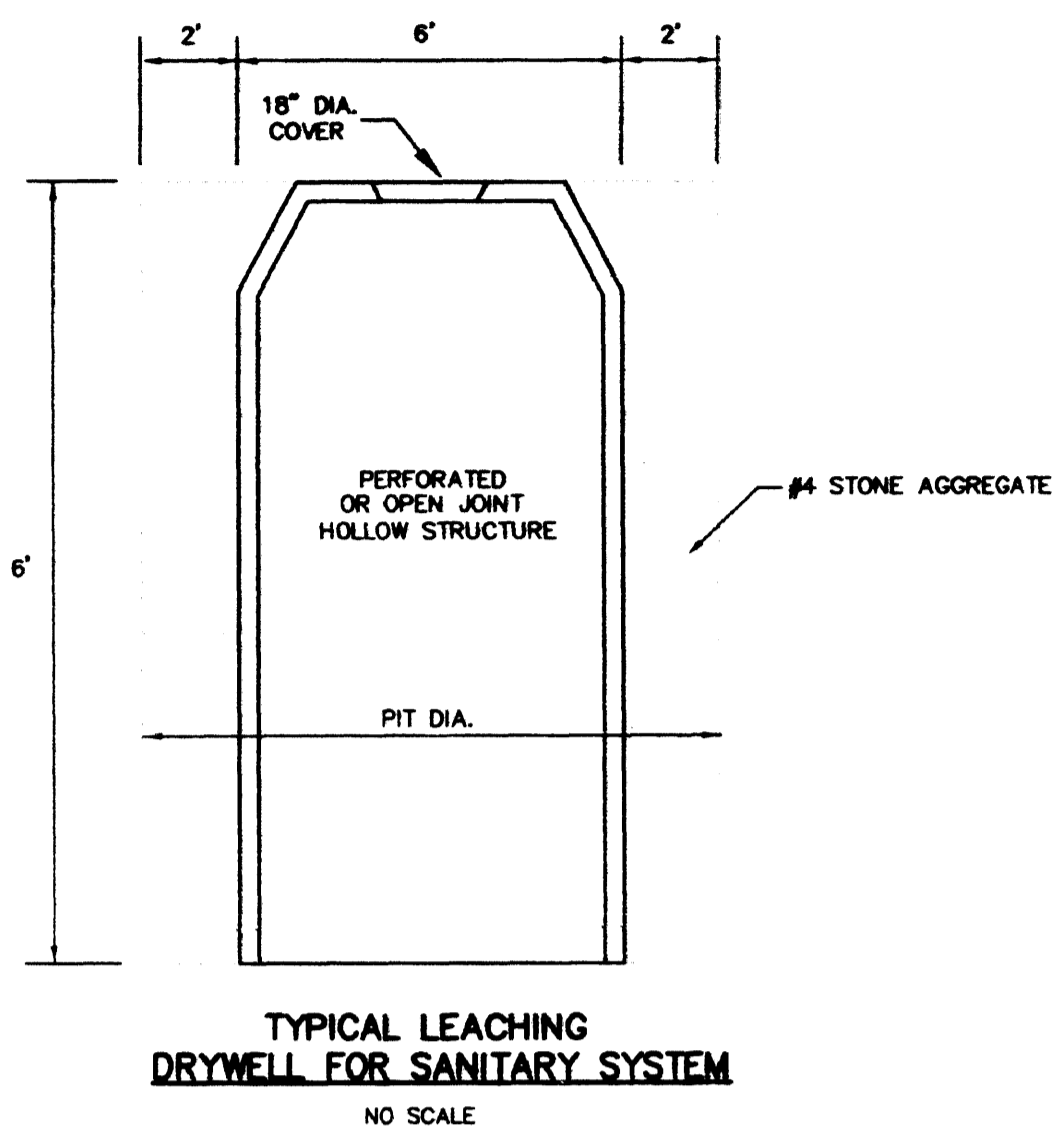
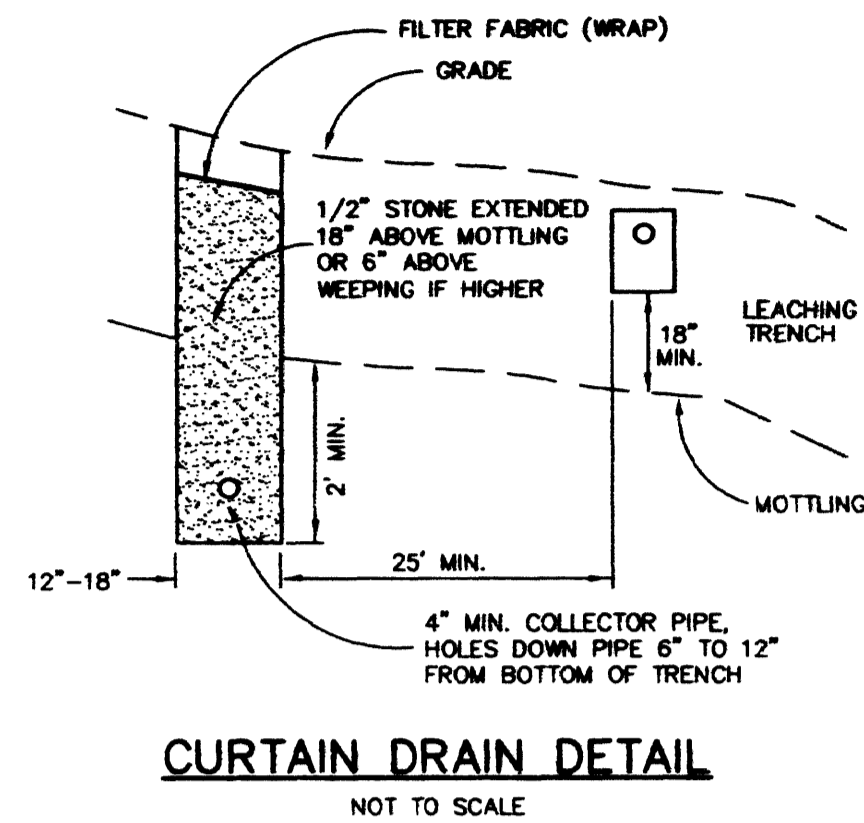
TEST PIT # 208  
DATE: 12-17-05  
DEPTH: 92"  
GROUNDWATER: NONE  
MOTTLING: 26"  
LEDGE: NONE  
MATERIALS: 0-8" TOPSOIL  
8-28" ORANGE/BROWN FINE SANDY LOAM  
28-92" GREY/TAN SANDY TILL

TEST PIT # 228  
DATE: 12-17-05  
DEPTH: 102"  
GROUNDWATER: NONE  
MOTTLING: 34"  
LEDGE: NONE  
MATERIALS: 0-9" TOPSOIL  
9-36" BROWN FINE SANDY LOAM  
36-48" ORANGE AND GREY SAND AND GRAVEL  
48-102" GREY COMPACT TILL

TEST PIT # 226  
DATE: 12-18-04  
DEPTH: 98"  
GROUNDWATER: NONE  
MOTTLING: 32"  
LEDGE: NONE  
MATERIALS: 0-11" TOPSOIL  
11-28" FINE BROWN SANDY LOAM  
28-38" COMPACT FINE SILTY SAND  
38-98" GRAY TILL

TEST PIT # 257  
DATE: 12-17-04  
DEPTH: 92"  
GROUNDWATER: 89"  
MOTTLING: 31"  
LEDGE: NONE  
MATERIALS: 0-10" TOPSOIL  
10-28" YELLOWISH BROWN FINE SANDY LOAM  
28-92" OLIVE BROWN/GRAY MEDIUM SAND SLIGHTLY COMPACT WITH STONES

TEST PIT # 260  
DATE: 12-17-04  
DEPTH: 98"  
GROUNDWATER: NONE  
MOTTLING: 48"  
LEDGE: NONE  
MATERIALS: 0-10" TOPSOIL  
10-14" REDDISH BROWN FINE SANDY LOAM  
14-48" BROWN FINE SANDY LOAM  
48-98" OLIVE BROWN/GRAY MEDIUM SAND WITH STONES



**STANDPIPE READINGS**

Stand Pipe #	Standpipe Height	5/5/2005	5/10/2005	5/17/2005	5/24/2005	5/31/2005	2/9/2006	2/17/2006	2/24/2006	3/3/2006	3/10/2006	3/19/2006	3/24/2006	3/31/2006	4/6/2006	4/17/2006	4/21/2006	4/28/2006	5/5/2006	5/12/2006	5/19/2006	5/26/2006	6/2/2006	6/9/2006	6/16/2006	6/23/2006	6/30/2006	7/7/2006	
600	29.00	38.00	38.50	48.00	53.00	56.00	34.75	35.50	39.25	45.00	46.50	47.50	53.00	55.5	50.75	Dry @ 55.50	Dry @ 55.50	48.50	48.00	52.25	36.50	46.75	46.00	38.50	42.50	53.25	44.50	49.50	
601	26.25	46.75	46.00	51.00	48.75	53.00	36.00	31.50	42.25	52.00	48.25	44.75	53.50	54.50	46.25	54.75	55.50	48.75	46.50	52.00	37.25	49.00	51.00	36.00	50.50	56.00	49.25	51.50	
602	29.00	45.25	48.25	54.00	Dry @ 54.50	Dry @ 54.50	46.00	34.00	50.50	Dry @ 55.25	Dry @ 55.25	52.50	Dry @ 55.25	Dry @ 55.25	Dry @ 55.25	Dry @ 55.25	Dry @ 55.25	49.25	47.75	39.50	50.00	Dry @ 55.25	37.25	54.00	Dry @ 55.25	47.75	Dry @ 55.25		
603	24.00	45.75	49.25	51.50	Dry @ 51.50	Dry @ 51.50	43.00	40.25	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	Dry @ 51.50	49.25	47.75	39.50	50.00	Dry @ 55.25	37.25	54.00	Dry @ 55.25	47.75	Dry @ 55.25		
604	29.00	38.25	42.50	52.75	Dry @ 54.00	Dry @ 54.00	32.75	33.75	41.00	48.50	48.50	48.50	54.00	Dry @ 54.75	51.00	53.00	Dry @ 54.75	43.00	42.00	47.00	33.00	38.50	48.25	33.50	48.75	54.50	38.50	49.00	
605	25.00	48.75	54.00	58.50	Dry @ 58.50	Dry @ 58.50	41.00	41.75	57.75	Dry @ 58.50	Dry @ 58.50	Dry @ 58.50	Dry @ 58.50	Dry @ 58.50	Dry @ 58.50	Dry @ 58.50	Dry @ 58.50	57.50	Dry @ 58.50	38.50	46.50	Dry @ 58.50	41.50	Dry @ 58.50	Dry @ 58.50	55.50	Dry @ 58.50		
606	26.00	53.50	56.25	59.50	Dry @ 59.50	Dry @ 59.50	46.00	38.75	56.00	Dry @ 61.25	Dry @ 61.25	55.50	Dry @ 61.00	Dry @ 61.00	Dry @ 61.00	Dry @ 61.00	Dry @ 61.00	57.50	55.50	Dry @ 61.00	44.25	57.50	Dry @ 61.00	46.00	60.75	Dry @ 61.00	56.50	Dry @ 61.00	
607	26.00	42.00	43.50	48.00	50.50	50.00	37.00	37.00	42.50	50.50	45.75	46.50	48.50	52.00	49.00	48.50	48.50	44.00	41.75	42.00	36.00	47.00	49.25	33.25	48.50	Dry @ 61.00	43.75	48.75	
608	23.00	46.50	48.50	Dry @ 54.00	Dry @ 54.00	Dry @ 54.00	41.00	28.50	47.25	53.50	51.75	50.00	Dry @ 55.00	Dry @ 55.00	51.50	Dry @ 55.00	Dry @ 55.00	51.50	48.75	54.50	39.50	51.00	Dry @ 55.00	48.00	53.50	Dry @ 55.00	48.75	54.75	
609	25.50	44.00	48.50	52.00	Dry @ 52.50	Dry @ 52.50	40.00	31.00	48.00	Dry @ 54.25	52.50	45.50	53.75	Dry @ 54.75	48.75	52.75	Dry @ 54.75	46.25	45.00	53.00	48.00	50.75	Dry @ 54.75	37.50	51.50	Dry @ 54.75	46.25	53.50	
610	20.50	34.00	35.50	Dry @ 40.00	Dry @ 40.00	Dry @ 40.00	22.50	21.50	31.75	Dry @ 42.00	36.25	37.75	Dry @ 42.00	Dry @ 42.00	Dry @ 42.00	Dry @ 42.00	Dry @ 42.00	Dry @ 42.00	Dry @ 42.00	Dry @ 42.00	36.00	Dry @ 42.00	Dry @ 42.00	30.00	Dry @ 42.00	Dry @ 42.00	38.50	Dry @ 42.00	
611	23.00	38.50	40.50	Dry @ 41.00	Dry @ 41.00	Dry @ 41.00	28.75	26.00	36.00	Dry @ 42.50	41.00	42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	37.25	Dry @ 42.25	Dry @ 42.25	36.00	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	Dry @ 42.25	
612	23.00	46.50	46.50	Dry @ 46.75	Dry @ 46.75	Dry @ 46.75	40.25	36.00	46.00	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	41.25	Dry @ 48.25	Dry @ 48.25	38.00	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	Dry @ 48.25	
613	24.00	43.00	44.75	Dry @ 47.00	Dry @ 47.00	Dry @ 47.00	34.50	27.50	47.50	Dry @ 49.00	Dry @ 49.00	45.50	47.50	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	43.50	Dry @ 49.00	Dry @ 49.00	42.75	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	Dry @ 49.00	
614	25.75	47.50	51.00	57.00	Dry @ 58.00	Dry @ 58.00	39.75	38.50	51.50	58.00	58.50	59.50	Dry @ 63.00	Dry @ 63.00	Dry @ 63.00	Dry @ 63.00	Dry @ 63.00	Dry @ 63.00	Dry @ 63.00	61.50	Dry @ 63.00	44.00	56.50	Dry @ 63.00	48.00	62.50	Dry @ 63.00	56.50	Dry @ 63.00
615	26.50	51.50	52.50	Dry @ 52.75	Dry @ 52.75	Dry @ 52.75	46.50	43.50	52.00	Dry @ 55.00	54.50	54.50	Dry @ 55.00	Dry @ 55.00	Dry @ 55.00	Dry @ 55.00	Dry @ 55.00	Dry @ 55.00	Dry @ 55.00	Dry @ 55.00	44.50	Dry @ 55.00	Dry @ 55.00	44.50	Dry @ 55.00	Dry @ 55.00	54.75	Dry @ 55.00	
616	25.50	43.00	46.00	Dry @ 48.75	Dry @ 48.75	Dry @ 48.75	39.50	38.00	48.75	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	Dry @ 52.25	51.00	Dry @ 52.25	41.25	52.00	Dry @ 52.25	44.50	Dry @ 52.25	52.00	Dry @ 52.25
617	26.00	54.75	53.50	Dry @ 58.00	Dry @ 58.00	Dry @ 58.00	46.25	33.25	52.50	Dry @ 58.75	53.00	55.25	Dry @ 58.50	Dry @ 58.50	54.50	52.50	Dry @ 58.50	46.25	56.25	Dry @ 58.50	47.00	Dry @ 58.50	46.25	56.25	Dry @ 58.50	54.25	Dry @ 58.50		
618	25.50	48.75	49.50	Dry @ 50.00	Dry @ 50.00	Dry @ 50.00	47.75	45.50	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	45.50	Dry @ 52.00	Dry @ 52.00	42.50	Dry @ 52.00	Dry @ 52.00	46.75	Dry @ 52.00	
619	27.50	46.50	48.00	55.50	Dry @ 59.75	Dry @ 59.75	45.00	41.50	47.75	55.00	47.50	48.50	55.00	Dry @ 59.75	51.00	Dry @ 59.75	51.00	50.50	50.50	44.25	54.75	Dry @ 59.75	42.00	54.25	Dry @ 59.75	45.00	53.50		
620	29.50	47.00	48.00	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	43.25	38.00	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	Dry @ 49.75	39.75	Dry @ 49.75	Dry @ 49.75	37.50	Dry @ 49.75	Dry @ 49.75	47.00	Dry @ 49.75	
621	26.00	56.00	58.25	Dry @ 59.00	Dry @ 59.00	Dry @ 59.00	54.75	53.25	Dry @ 59.00	Dry @ 59.00	58.00	Dry @ 59.75	Dry @ 59.75	Dry @ 59.75	58.50	Dry @ 59.75	58.25	57.00	Dry @ 59.75	53.50	Dry @ 59.75	53.50	Dry @ 59.75	53.50	Dry @ 59.75	Dry @ 59.75	57.50	Dry @ 59.75	
622	23.00	24.00	28.00	38.75	43.50	48.75	26.00	25.75	26.50							Dry @ 54.00	Dry @ 54.00	51.50	47.00	52.50	27.00	29.00	33.50	30.00	35.50	47.50	46.00	49.25	
623	22.00	41.00	46.00	50.50	51.00	52.00										Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	Dry @ 52.00	31.50	38.00	48.00	41.00	50.00	Dry @ 53.00	51.00	Dry @ 53.00	

*Received for Record  
7-17-07 11:31 AM*

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

Approved by the East Hampton Inland Wetlands Agency  
*John L. Heagle* 7-3-07  
Chairman DATE

Approved by the East Hampton Planning & Zoning Commission  
Final Approval *Charles J. ...*  
Date: 7-10-07  
Chairman

Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

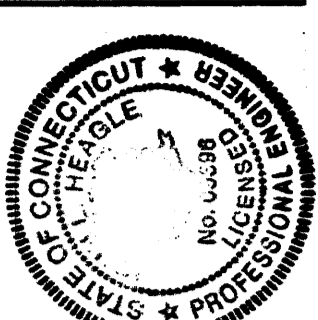
The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, accepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
MEGSON & HEAGLE  
61 RANKIN ROAD  
GLASTONBURY, CT 06033

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-17-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 7 OF 7  
MAP NO. 117-04-1SD



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
JOHN L. HEAGLE  
P.E. # 808

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
61 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0657

SOILS DATA  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

PLANNING & ZONING COMMISSION - TOWN OF WEST HAVEN, CONNECTICUT  
DRAWING NUMBER  
Vol 12  
Page 43  
DRAWING NUMBER



**TOWN OF EAST HAMPTON**

20 East High Street  
East Hampton, CT 06424  
Town Planner

CERTIFIED MAIL # 7885 0580 0241 0745 7020

May 1, 2007  
Mr. Scott Egan  
Resident Chairman  
34 Farwell Street  
West Haven, CT 06494

Re: Storm Water System  
12 Lot Subdivision  
in 06494, 1

Dear Mr. Egan:

At the Regular Meeting of the East Hampton Planning and Zoning Commission held on April 4, 2007 the following was approved:

- A. A 25' wide easement by Richard Corcoran, 73 Waterhole Road and Section 5 of the Planning and Zoning Commission's Storm Water System, 73 Waterhole Road, East Hampton, CT 06424, was approved for the following reasons:
  - 1. Approximately 50% of the area is open space with the remainder of it being developed, it meets the spirit of the conservation subdivision regulations.
  - 2. The easement is being conveyed with the following conditions:
    - a. The easement shall be used for the following purposes: the State of Connecticut, or the Town of East Hampton, or the Middlesex or other local Land Trust, and if any of the following entities are not able to have the open space then the easement shall be conveyed to the State of Connecticut or the Town of East Hampton.
    - b. The easement shall be used for the following purposes: the State of Connecticut, or the Town of East Hampton, or the Middlesex or other local Land Trust, and if any of the following entities are not able to have the open space then the easement shall be conveyed to the State of Connecticut or the Town of East Hampton.
    - c. The easement shall be used for the following purposes: the State of Connecticut, or the Town of East Hampton, or the Middlesex or other local Land Trust, and if any of the following entities are not able to have the open space then the easement shall be conveyed to the State of Connecticut or the Town of East Hampton.
  - 3. The easement shall be used for the following purposes: the State of Connecticut, or the Town of East Hampton, or the Middlesex or other local Land Trust, and if any of the following entities are not able to have the open space then the easement shall be conveyed to the State of Connecticut or the Town of East Hampton.
  - 4. The easement shall be used for the following purposes: the State of Connecticut, or the Town of East Hampton, or the Middlesex or other local Land Trust, and if any of the following entities are not able to have the open space then the easement shall be conveyed to the State of Connecticut or the Town of East Hampton.

The Conditional Permit for a Road Width Waiver of the East Hampton Zoning Regulations from 20' to 25' was denied. Please submit the Waiver and a paper copy to the Planning Office for review and for signature of the Chairman of the Planning and Zoning Commission. Please submit one copy to the Town Clerk, to the Town Planner's office, and the seal will be placed on the Waiver with the Town Clerk. The charges are \$100 per page for a plan. Please note that the plan must be recorded within 90 days of approval. The seal is placed upon orders by PZC & TWA on the Waiver.

If you have any questions, please call the office at 297-0600.

Sincerely,

*David K. Cohen*

David K. Cohen  
Town Planner

cc: Timothy Fry

DD:Ode

Final Permit: Application 06-104

**PERMIT  
ISSUED BY THE  
EAST HAMPTON INLAND WETLANDS & WATERCOURSES AGENCY**

Application # 06-104

Permittee: Rechovos Corporation  
Address: 73 Waterhole Road, Map 35 Block 95 Lot 7

A. The application consists of:

1. Magoon & Heagle full set plans dated 8-17-06, 70 sheets
2. Magoon & Heagle, drainage study dated 8-17-06, 285 pages
3. Magoon & Heagle, soils report dated 8-18-06
4. Land Tech Consultants, Inc, Environmental Evaluation Report with planting plan dated 8-17-06
5. Copies of certified mail and receipts.
6. Letter to Town of Colchester dated September 11, 2006 with receipt.
7. Letter to Town of East Hampton dated September 11, 2006 with receipt
8. Response from Town of Colchester dated September 18, 2006
9. Letter from C.I.A Engineers dated October 18, 2006 (Robert C. Russo)
10. Summary of Exhibits submitted at public hearing October 25, 2006
11. Stormwater Management Summary submitted by Magoon & Heagle at public hearing October 25, 2006
12. Picture of old stone dam submitted at public hearing October 25, 2006
13. Picture 1990 storm water system submitted at public hearing October 25, 2006
14. Picture of high school storm water management basin submitted at public hearing October 25, 2006
15. Magoon & Heagle sketch of conventional subdivision submitted at public hearing October 25, 2006
16. Letter from C.I.A Engineers dated November 17, 2006
17. Letter from Tim Ventres Town of East Hampton, dated November 22, 2006

Final Permit: Application # 06-104

Page 2 of 4

**B. General permit conditions**

1. The Agency has relied in whole or in part on information provided by the applicant and if such information subsequently proves to be false, deceptive, incomplete or inaccurate, the permit may be modified, suspended or revoked.
2. All permits issued by the Agency are subject to and do not derogate any present or future rights or powers of the Agency or the Town of East Hampton, and convey no rights in real estate or material nor any exclusive privileges, and are further subject to any and all public and private laws and to any federal, state, and municipal laws or regulations pertinent to the subject land or activity.
3. If the activity authorized by the Agency's permit also involves an activity which requires zoning or subdivision approval, special permit, variance, or special exception under section 8.3 (g), 8-3a, or 8-26 of the Connecticut General Statutes, no work pursuant to the wetlands permit may begin until such approval is obtained.
4. In undertaking the authorized activities, the permittee shall implement such management practices consistent with the terms and conditions of the permit as needed to control storm water discharges and to prevent erosion and sedimentation and to otherwise prevent pollution of wetlands and watercourses.
5. Permits are not transferable without the prior written consent of the Agency.

**C. Conditions specific to this permit**

1. All work and activities conducted pursuant to this permit shall comply with the permit conditions set out in Part B and C. Failure to comply with these conditions shall constitute a violation of the permit and may result in the suspension or revocation of this permit as well as the issuance of fines or court action.
2. For the term of the permit the permittee gives consent to the Agency, its agent, site monitor or town staff to make regular inspections of the permittee's property at reasonable hours to determine the permittee's compliance with the permit.
3. Site monitor:
  - a. There shall be a site monitor designated by the Agency whose duty shall be to monitor the permittee's compliance with the permit and report such findings to the Agency prior to the Agency's regularly scheduled meetings. The site monitor shall not be a commitment to the permittee at any phase in the development of the project. The permittee may petition the Agency for a modification or clarification of the duties or designation of the site monitor.

Final Permit: Application # 06-104

Page 3 of 4

- b. The permittee shall timely pay for the reasonable costs of services of the site monitor required by this permit. The permittee's failure to timely pay the fees for the commission shall be a violation of the permit and a basis to suspend or revoke the permit.
- c. During any month in which activities authorized by the permit have occurred the site monitor shall monitor the site. "Monitoring" means (1) inspection of all construction activities, including but not limited to, land development, infrastructure improvements, storm water collection systems, and individual lot development; and (2) Collection of water quality data on January 15, April 15, July 15, & October 15 of each year of construction and two (2) years after the end of construction, or more often as determined by the site monitor. Sampling should be for analysis provided in the Land Tech Consultants, Inc, Environmental Evaluation Report with planting plan dated 8-17-06.
- d. The permittee shall notify the site monitor at least three days prior to the initiation of any activity authorized under this permit and, in any month when activities authorized under this permit occur, the permittee shall inform the site monitor on a weekly basis as to the progress of all activities related to this permit.
- e. Prior to initiation of each phase of construction, all sedimentation and erosion control measures shall be in place and inspected by the site monitor.
- f. Even if no activities authorized by the permit have occurred in a given month or in addition to the duties set out in 3.e above, the site monitor shall monitor the site within twenty-four hours of a rainfall of 0.5 inches or greater within a 24-hour period and file a report with the Agency.
- g. Even if no activities authorized by the permit have occurred in a given month, in response to a weather prediction by the National Weather Service of 0.5 inches of rainfall or greater within a 24-hour period the site monitor shall confirm that adequate sediment and erosion controls are in place and functioning as designed. The site monitor shall submit such report promptly to the Agency.
4. Any structures, excavations, fill, obstructions, encroachments, or activities not specifically identified and authorized herein shall constitute a violation of this permit.
5. No equipment or material including, without limitation, fill, construction materials, or debris shall be deposited, placed, or stored in any wetlands or watercourse on or off-site unless specifically authorized by this permit.
6. The permittee shall immediately inform the Agency and the site monitor of any unpermitted regulated activities that have occurred within wetlands or watercourses that have developed in the course of or are caused by the work authorized herein. Failure to notify the Agency and the site monitor shall constitute a violation of this permit.
7. Sediment and erosion control measures shall be implemented and maintained as outlined in the "Connecticut Guidelines for Soil, Erosion & Sediment Control" dated May 2002.

Final Permit: Application # 06-104

Page 4 of 4

- as revised or amended. All sediment and erosion control measures shall be removed once final site grading and construction has been completed and suitable vegetative ground cover has been established on all previously disturbed, non-surfaced areas.
8. The permittee shall reprint the conditions set forth in Part B and C of this permit on the final site development plans along with a signature block for the Agency Chairman.
  9. The permittee shall post uniform placards indicating the boundary of conservation areas at such time as a lot has been cleared and prior to the construction of a house may begin. The East Hampton Conservation Commission shall advise the permittee as to the design and location of the placards.
  10. The permittee shall revise and submit the final site development plans consistent with the conditions provided herein and consistent with any remaining staff comments.

Date of issuance: May 29, 2007  
Date of expiration: July 29, 2011  
Issued by: [Signature] [Signature]  
Agency Chairperson/ (printed name)

Drafted: November 29, 2006

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

Approved by the East Hampton Inland Wetlands Agency

[Signature] 7-3-07  
Chairman DATE

Approved by the East Hampton Planning & Zoning Commission

Final Approval [Signature]  
Date: 7-10-07 Chairman

Expiration Date: \_\_\_\_\_

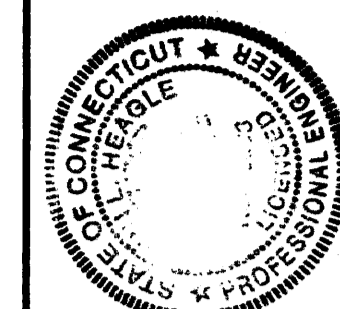
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7-17-07 11:32 AM*

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

THIS MAP PRODUCED BY  
ORIGINAL DRAWING ON  
POLYFILM OR LINEN  
MEGSON & HEAGLE  
81 RANKIN ROAD  
GLASTONBURY, CT 06033

REV. 8-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 5-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

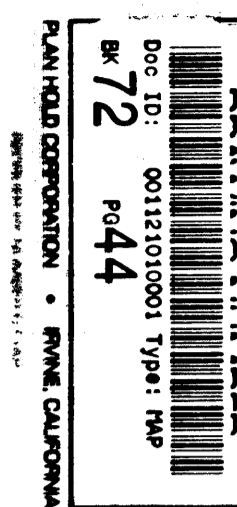
CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: NONE  
SHEET 1 OF 1  
MAP NO. 117-04-1CA



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.  
[Signature]  
JOHN L. HEAGLE  
P.E. # 8308

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0687

CONDITIONS OF APPROVAL  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

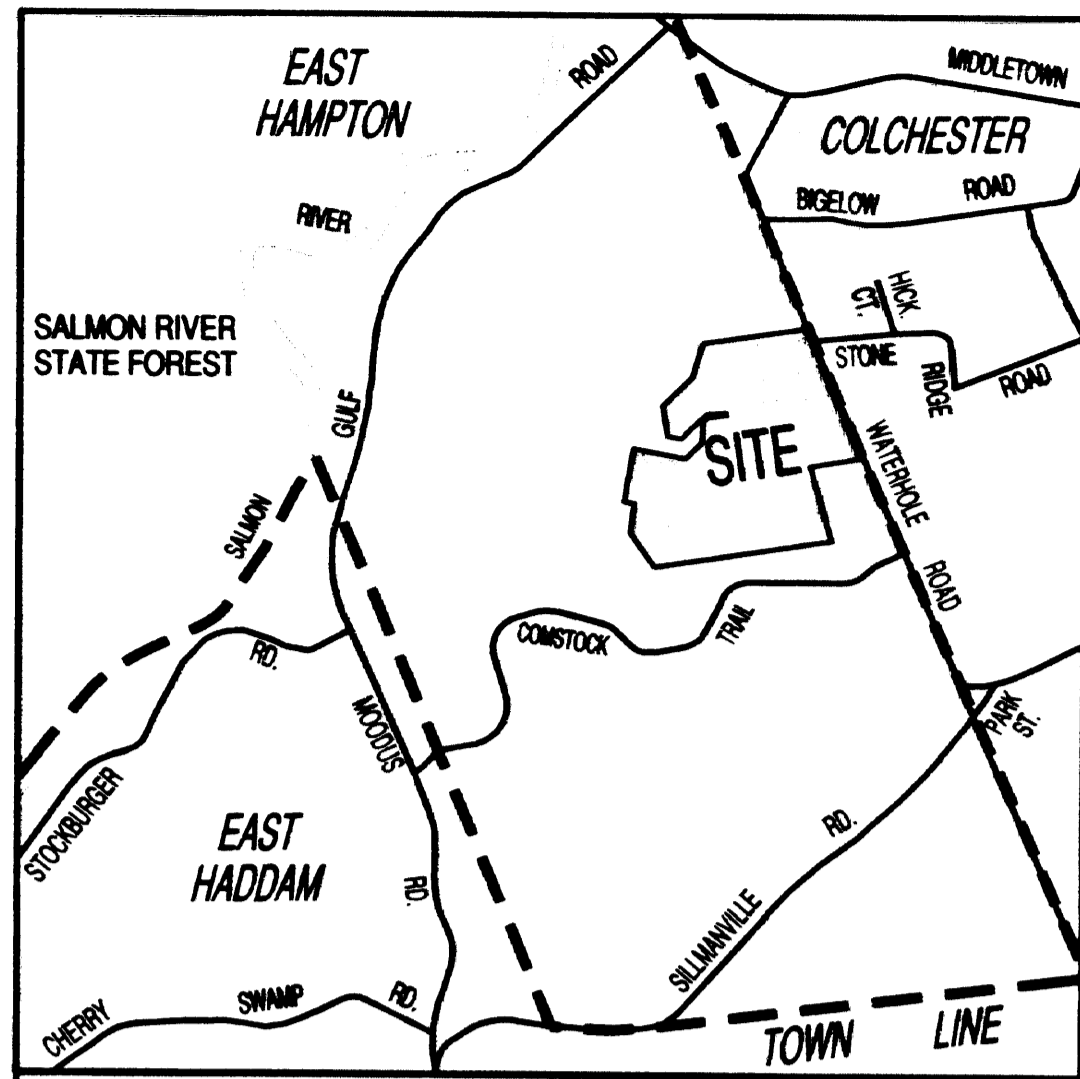


DRAWING NUMBER  
Vol 72

DRAWING NUMBER  
Page 44

DRAWING NUMBER





LOCATION MAP  
SCALE: 1"=2000'

OPEN SPACE

N/F  
ROGER PAUL LAWSON  
49 WATERHOLE ROAD  
EAST HAMPTON, CT 06424

N81°26'05"E  
1075.72'

STONERIDGE ROAD

N/F  
THE CARING COMMUNITIES  
COLCHESTER, CT 06430

S22°46'52"E  
98.69'

N/F  
ROBERT M. & JUNE R.  
COLCHESTER, CT 06430

N/F  
ROBERT & PATRICIA  
COLCHESTER, CT 06430

N/F  
GEORGE E. PLATCH  
MADEIRA, CT 06640

N/F  
PATRICIA W. REILLY  
COLCHESTER, CT 06430

SUBDIVISION BOUNDARY  
AREA = 3,676,161 S.F.  
84.39 AC.

N 05°31'54" W  
25.00'

200.00'  
S 84°52'14" W  
191.44'  
N 84°52'14" E  
66.77'

N 46°20'03" E  
66.77'

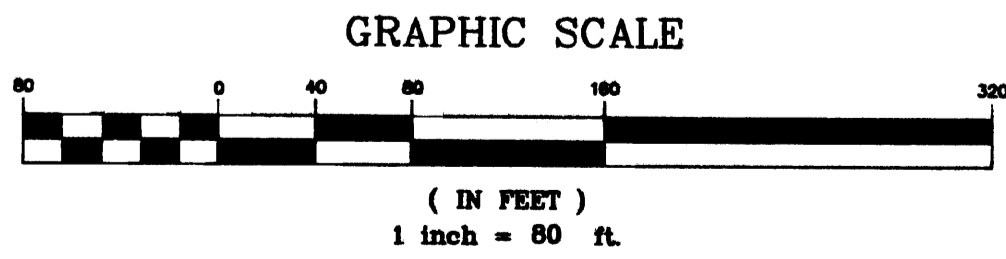
N 03°47'35" E  
215.06'

N 45°08'38" E  
237.31'

N 79°54'41" W  
150.00'

N 45°17'42" E  
437.68'

MATCH MARK SHEET 2 OF 2



LEGEND  
EXISTING IRON PIN  
PROPOSED IRON PIN

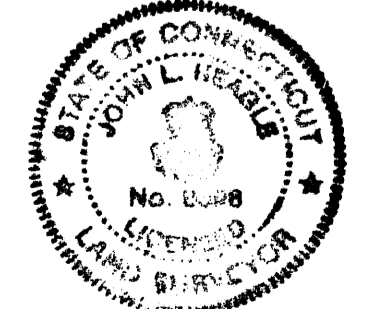
*Ready for Record  
11/16/07 12:00 PM  
Bruce L. Heagle, RLS*

OWNER  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

REFERENCE MADE TO MAP TITLED:  
"SUBDIVISION PLAN SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION) PREPARED FOR  
RECHOVOS CORPORATION EAST HAMPTON, CONN.  
BY MEGSON & HEAGLE C.E. & L.S. LLC GLASTONBURY,  
CONN. DATE: 8-17-08 REV. 6-19-07 SCALE: 1"=40'  
MAP NO. 117-04-15 SHEETS 1-10 OF 10 SHEETS

I HEREBY CERTIFY TO RECHOVOS CORPORATION, VALLEY BANK, LAWYERS,  
TITLE INSURANCE CORPORATION AND SUSMAN, DUFFY & SEGALOFF, P.C. THAT  
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT  
AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE  
REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1  
THROUGH 20-300b-30 AND THE "STANDARDS FOR SURVEYS AND MAPS IN  
THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT  
ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1998.  
THIS SURVEY WAS ACTUALLY MADE UPON THE GROUND, AND THAT THE BOUNDS  
AND MEASUREMENTS SHOWN ON THIS MAP ARE CORRECT AND THAT  
TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME.  
BUILDINGS ARE LOCATED AS SHOWN AND DO NOT ENCRoACH OVER OR UPON  
STREET, TITLE OR BUILDING LINES. THERE ARE NO VIOLATIONS OF ZONING  
REGULATIONS WITH REFERENCE TO THE LOCATION OF SAID BUILDINGS, AND THERE  
ARE NO EASEMENTS OR ENCROACHMENT AFFECTING THIS PROPERTY APPARENT  
FROM A CAREFUL INSPECTION OF SAME OTHER THAN AS SHOWN.

TYPE OF SURVEY: BOUNDARY MAP  
BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY/ORIGINAL SURVEY  
CLASS OF ACCURACY: A-2



JOHN L. HEAGLE L.S. #9396

CK. BY: MWF  
DRW. BY: GFI  
DATE: 11-8-07  
SCALE: 1"=80'  
SHEET 1 OF 2  
MAP NO. 117-04-1CP



DRAWING NUMBER

DRAWING NUMBER  
*102 73*

DRAWING NUMBER  
*Page 48*

DRAWING NUMBER

SAFECO PRODUCTS • NEW HAVEN, CONNECTICUT

SAFECO PRODUCTS • NEW HAVEN, CONNECTICUT

SAFECO PRODUCTS • NEW HAVEN, CONNECTICUT

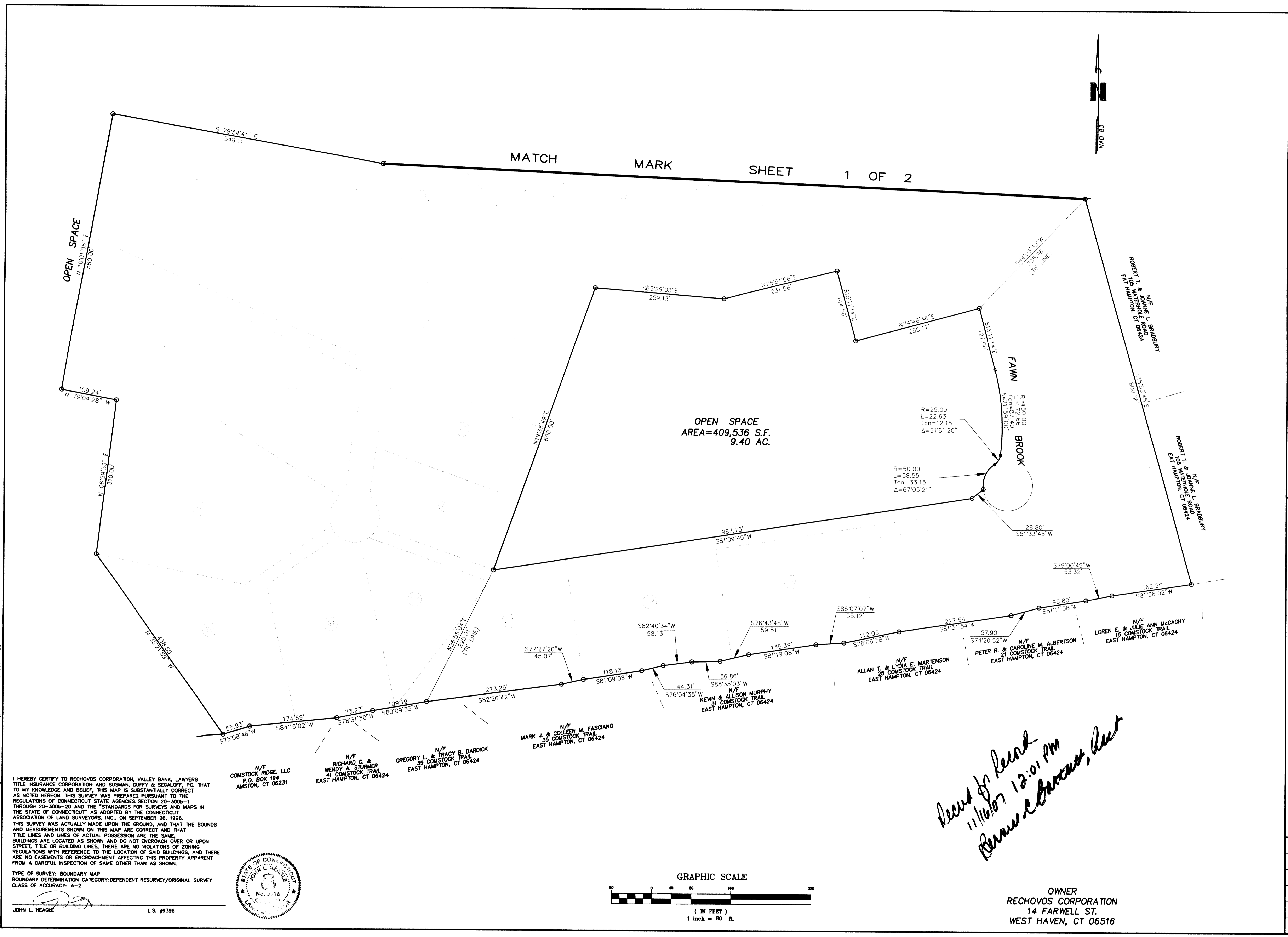
SAFECO PRODUCTS • NEW HAVEN, CONNECTICUT

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DRAWING NUMBER  
102 73

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Page 49

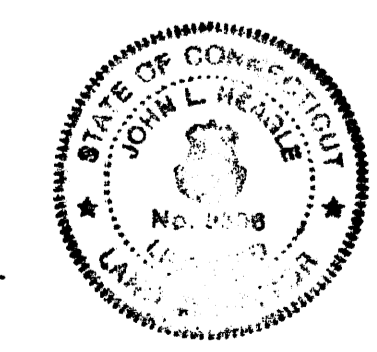
DRAWING NUMBER



I HEREBY CERTIFY TO RECHOVOS CORPORATION, VALLEY BANK, LAWYERS TITLE INSURANCE CORPORATION AND SUSMAN, DUFFY & SEGALOFF, P.C. THAT TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. THIS SURVEY WAS ACTUALLY MADE UPON THE GROUND, AND THAT THE BOUNDS AND MEASUREMENTS SHOWN ON THIS MAP ARE CORRECT AND THAT TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME. BUILDINGS ARE LOCATED AS SHOWN AND DO NOT ENCRDACH OVER OR UPON STREET, TITLE OR BUILDING LINES; THERE ARE NO VIOLATIONS OF ZONING REGULATIONS WITH REFERENCE TO THE LOCATION OF SAID BUILDINGS; AND THERE ARE NO EASEMENTS OR ENCROACHMENT AFFECTING THIS PROPERTY APPARENT FROM A CAREFUL INSPECTION OF SAME OTHER THAN AS SHOWN.

TYPE OF SURVEY: BOUNDARY MAP  
BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY/ORIGINAL SURVEY  
CLASS OF ACCURACY: A-2

JOHN L. HEAGLE L.S. #9396



THIS MAP WAS PREPARED BY ORIGINAL SURVEYOR JOHN L. HEAGLE MEGSON & HEAGLE GLASTONBURY, CT 06033

**MEGSON & HEAGLE**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0687

**CERTIFICATION PLAN**  
SALMON RUN ESTATES  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

73/49

CK. BY: MWF  
DRW. BY: GFI  
DATE: 11-8-07  
SCALE: 1"=80'  
SHEET 2 OF 2  
MAP NO. 117-04-1CP





Approved by the East Hampton Inland Wetlands Agency

Checked by Jeffrey M. Foran DATE 9-11-09

Approved by the East Hampton Planning & Zoning Commission

Final Approval [Signature] Chairman

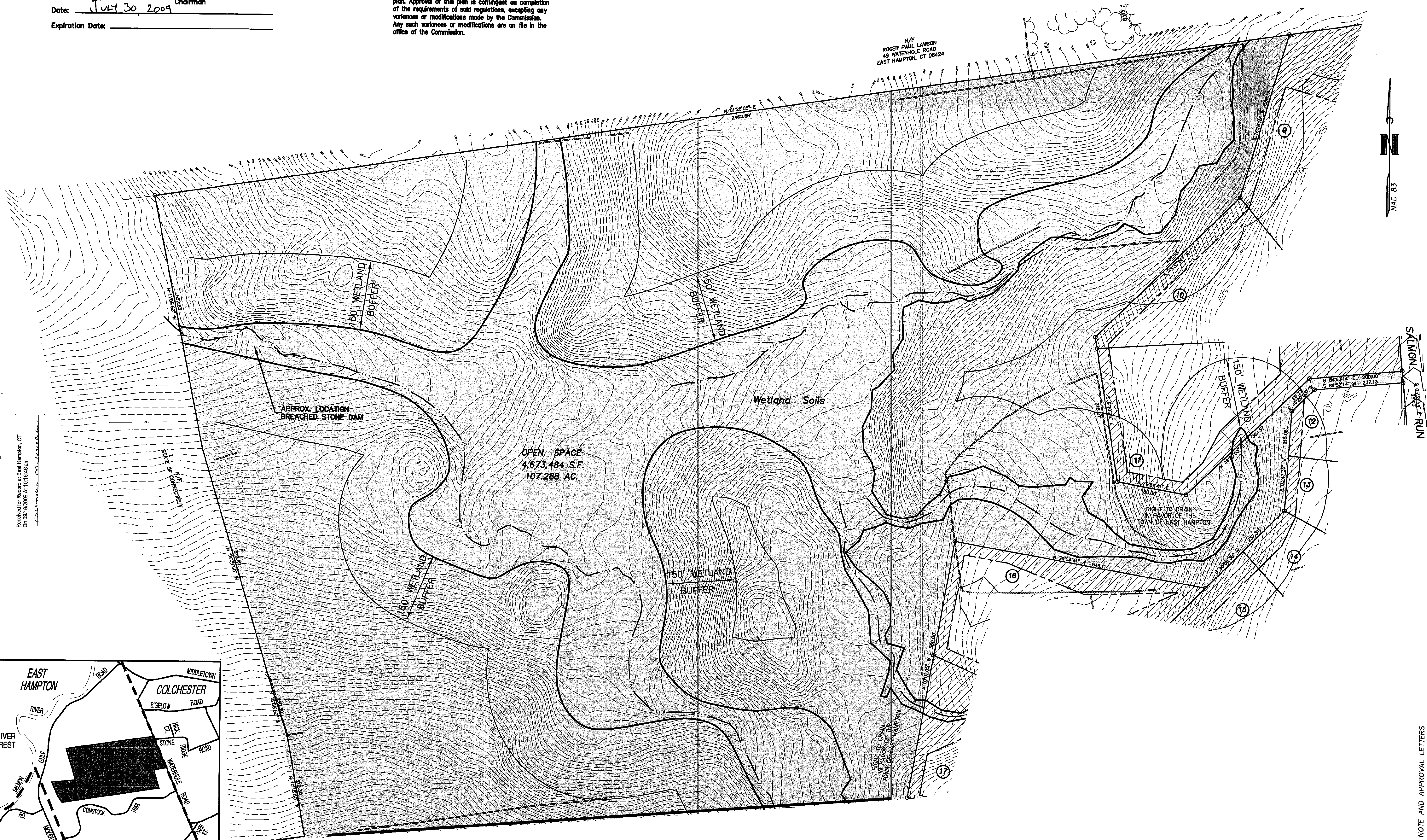
Date: July 30, 2009

Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

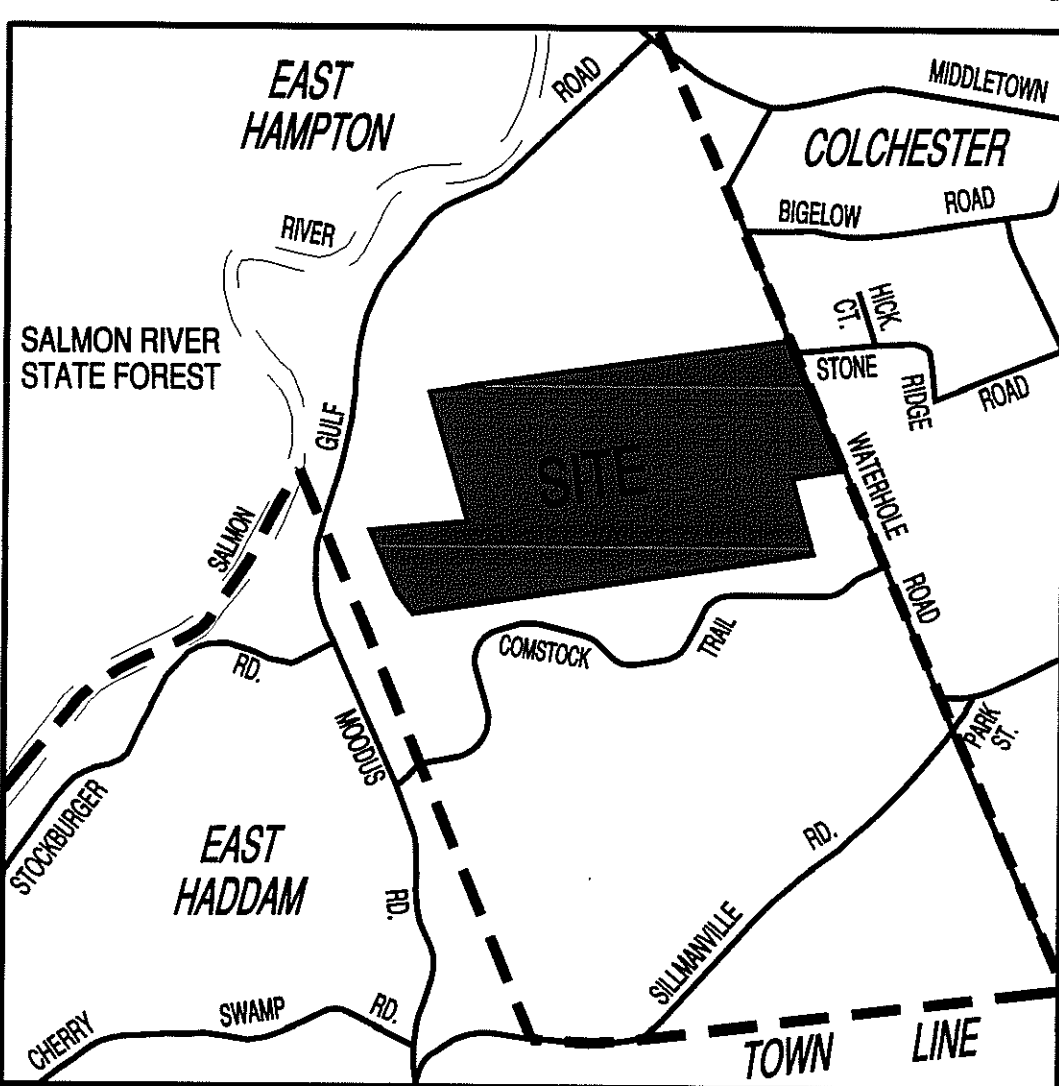
The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

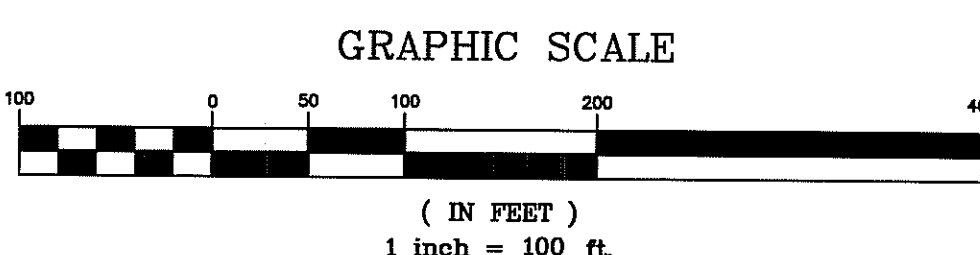


Doc ID: 001560520031 1/1/04 MAP BY 76 PG 6

Received for Record at East Hampton, CT On 09/18/2009 At 10:16:46 am



MATCH MARK SHEET 2



OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING OR POLYFILM OR LINEN  
**MEGSON & HEAGLE**  
81 RANKIN ROAD  
GLASTONBURY, CT 06033

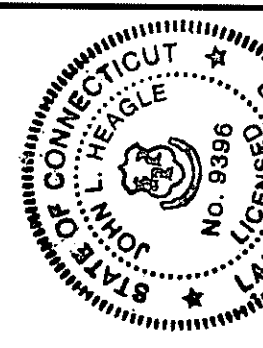
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: 1"=100'  
SHEET 1 OF 2

OPEN SPACE PLAN  
**SALMON RUN ESTATES**  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
**RECHOVOS CORPORATION**

**MEGSON & HEAGLE**  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE CONSENT OF THE STATE OF CONNECTICUT AND THE STATE ARCHIVES SURVEYS THROUGH 20-3000-20 AND THE "STATE ARCHIVES SURVEYS" MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. THIS SUBDIVISION MAP IS A PROFESSIONAL SURVEY AND IS NOT A BOUNDARY DETERMINATION. CATEGORY: RESURVEY - ORIGINAL SURVEY CLASS OF ACCURACY: A-2



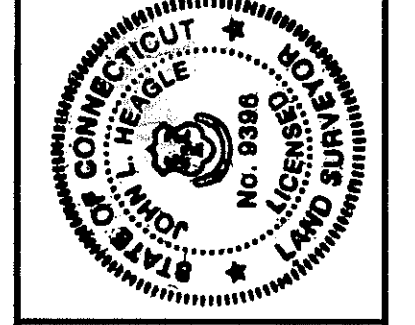
Approved by the East Hampton Inland Wetlands Agency  
 [Signature] DATE 9-11-09  
 Chairman

Approved by the East Hampton Planning & Zoning Commission  
 Final Approval [Signature] Chairman  
 Date: July 30, 2009  
 Expiration Date: \_\_\_\_\_

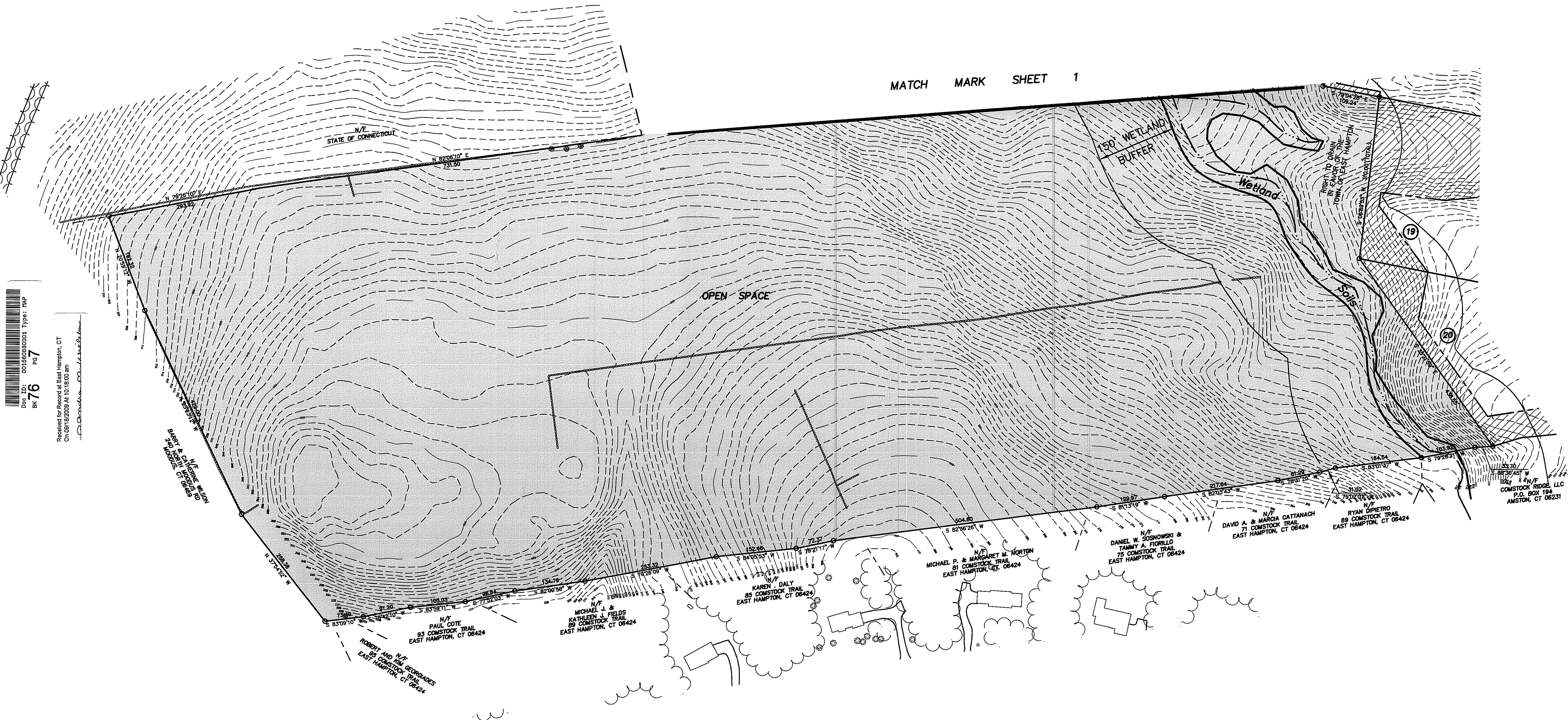
Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_. If all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

"CONDITIONAL APPROVAL ONLY" This subdivision has received conditional approval per Section 8-25 of the Connecticut General Statutes, as amended. No lot shown can be sold or offered for sale until final approval has been received from the Planning & Zoning Commission, and a revised plan indicating said final approval has been filed with the Town Clerk.

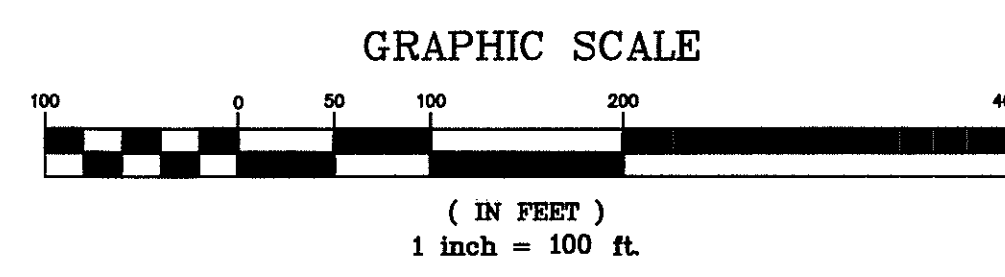


TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1. THE STATE OF CONNECTICUT HAS ADOPTED THE MAPS IN THE ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. TYPE OF SURVEY: SUBDIVISION MAP. SURVEYING CATEGORY: RESURVEY - ORIGINAL SURVEY. CLASS OF ACCURACY: CLASS 2. JOHN L. HEAGLE L.S. # 9388



MATCH MARK SHEET 1

004 132 0016880004 Typert. Top  
 BK 76 Pg 7  
 Received for Record at East Hampton, CT  
 On 09/18/2009 At 10:18:00 am



OWNER/APPLICANT  
 RECHOVOS CORPORATION  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN  
 MEGSON & HEAGLE  
 81 RANKIN ROAD  
 GLASTONBURY, CT 06033

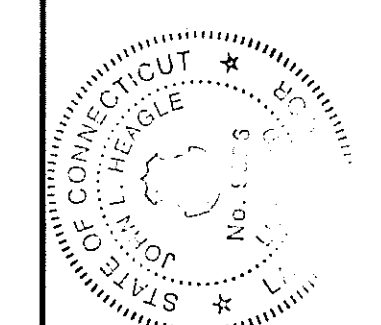
MEGSON & HEAGLE  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0567

OPEN SPACE PLAN  
 SALMON RUN ESTATES  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
 RECHOVOS CONSTRUCTION  
 EAST HAMPTON, CONN.

REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
 REV. 3-25-07 TEMP. CUL-DE-SAC  
 REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY:	MWF
DRW. BY:	SAM
DATE:	8-17-06
SCALE:	1"=100'
SHEET	2 OF 2
MAP NO.	117-04-105

P:\2004\PREL\11704.dwg\hose\UPEN\_SPACE\11704-05.dwg 6/19/2007 11:52:51 AM EDT

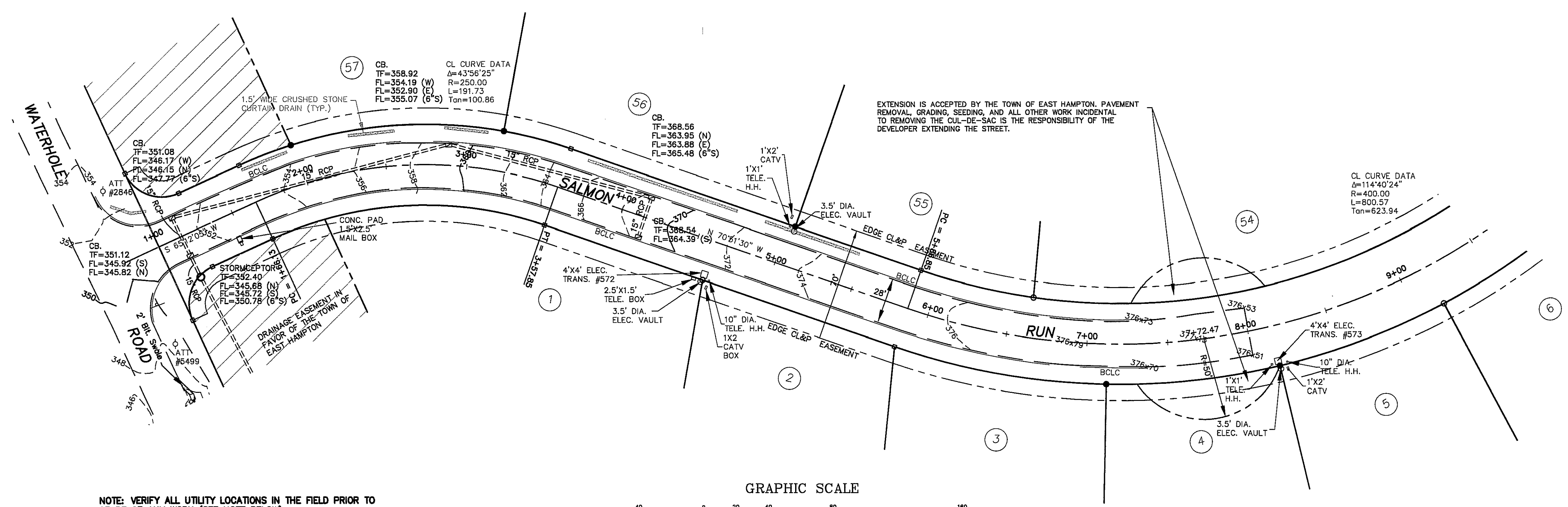


TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REQUIREMENTS OF THE CONSTITUTION AND STATUTES OF THE STATE OF CONNECTICUT AND THE ADDRESS OF SURVEYORS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. THIS MAP IS THE PROPERTY OF MEGSON & HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC. ANY REPRODUCTION OR USE OF THIS MAP WITHOUT THE WRITTEN PERMISSION OF MEGSON & HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC IS PROHIBITED. CLASS OF ACCURACY: A-2, V-2

**MEGSON, HEAGLE & FRIEND**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

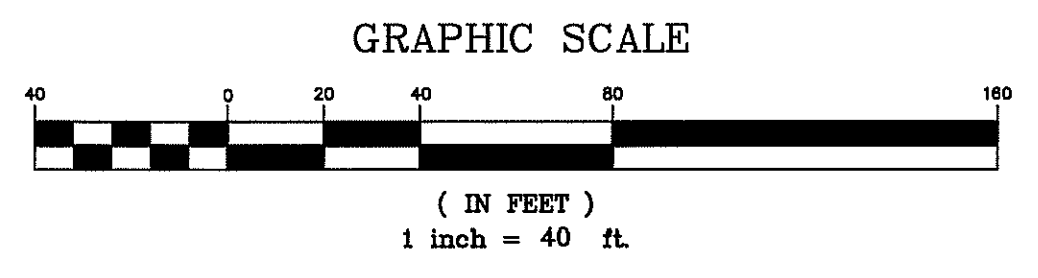
RECORD DRAWING  
**SALMON RUN ESTATES (PHASE 1)**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

CK. BY: MWF  
 DRW. BY: PEJ  
 DATE: 9-24-13  
 SCALE: HORZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 1 OF 2  
 MAP NO. 117-04-1AB



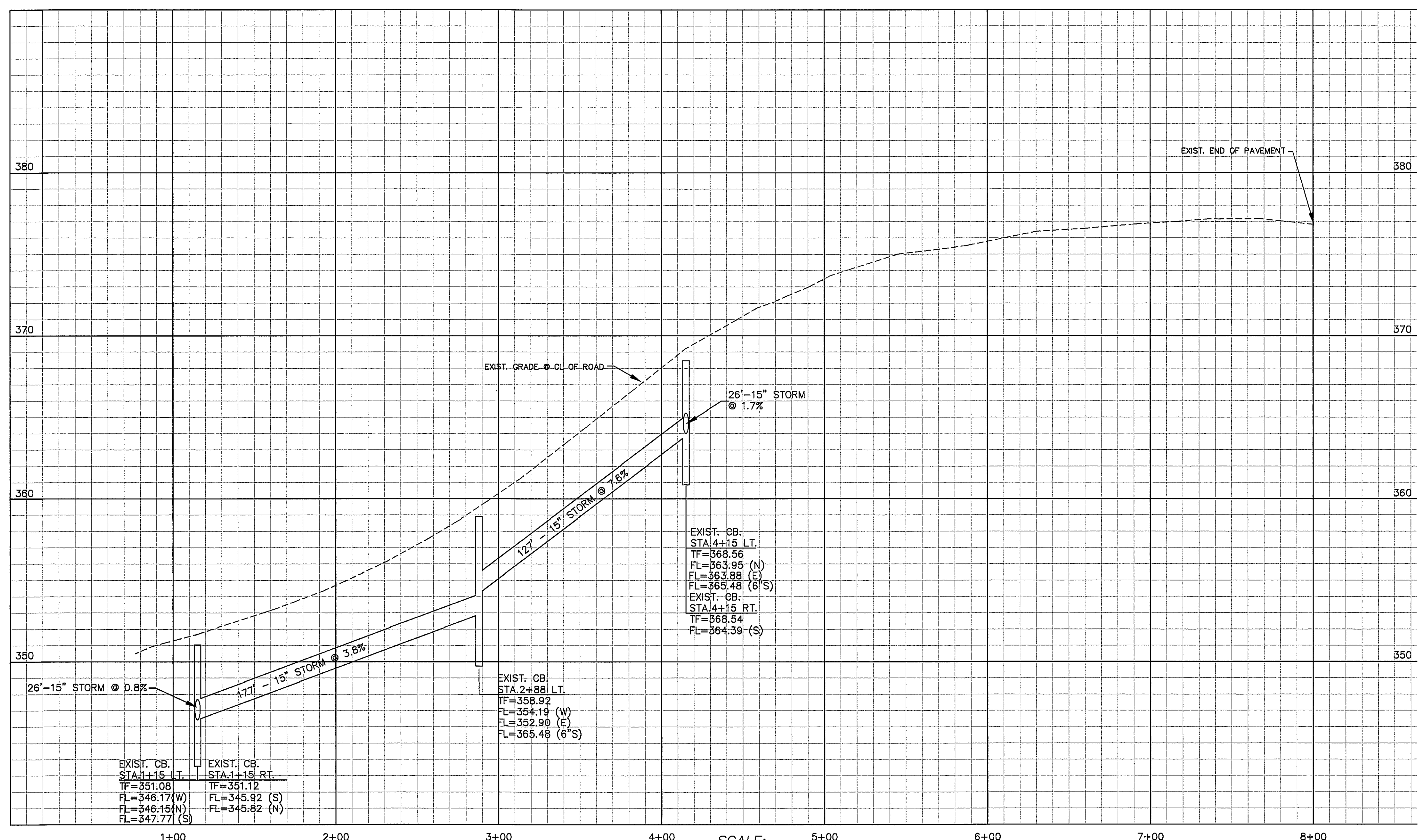
NOTE: VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO START OF ANY WORK (SEE NOTE BELOW).

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.



**LEGEND**

EXISTING MONUMENT □  
 IRON PIN SET ●  
 PROPOSED IRON PIN ○  
 EXISTING SPOT ELEVATION 376x79



SCALE:  
 HORZ. 1" = 40'  
 VERT. 1" = 4'

*Revised On Plans  
 January 27, 2014 3:51 PM  
 James A. Gullett, AIA*

THIS MAP PRODUCED BY ORIGINAL DRAWINGS ON POLYFILM OR LITHO MEGSON, HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD GLASTONBURY, CT 06033

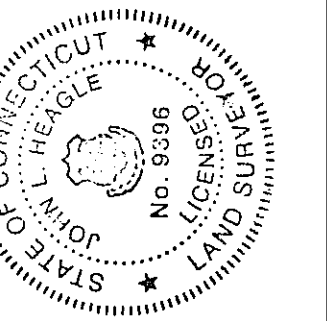
Doc ID: 00294680001 Type: MAP  
 BR81 Pg 47

REFERENCE MADE TO MAPS TITLED:

\*COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF BAY-MAR REALTY, INC. WATERHOLE ROAD, EAST HAMPTON, CONN. SCALE: 1"=100' DATE: 8-13-08 CL&P FILE NO. E8127" BY MEGSON & HEAGLE C.E. & L.S. GLASTONBURY, CONN. MAP NO. 117-04-10LP SHEET 1 OF 1

\*SUBDIVISION PLAN SALMON RUN ESTATES (CONSERVATION SUBDIVISION) PREPARED FOR RECHOVOS CORPORATION EAST HAMPTON, CONN. BY MEGSON & HEAGLE C.E. & L.S. GLASTONBURY CONN. DATE: 8-17-08 REV. 6-19-07 SCALE: 1"=40' MAP NO. 117-04-1S

P:\2004\PROJ\11704\Map\11704-1ab.dwg 9/25/2013 10:26:45 AM EJT

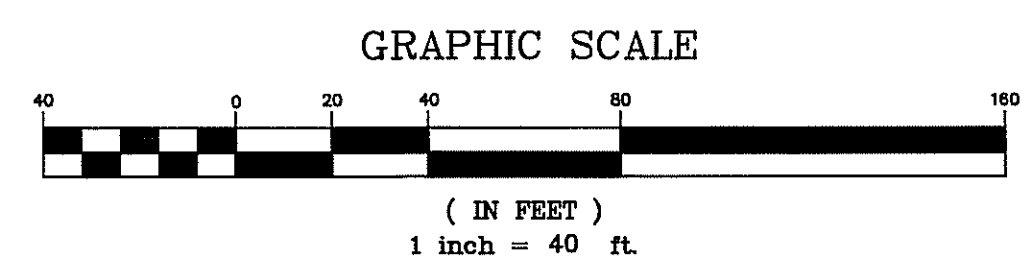
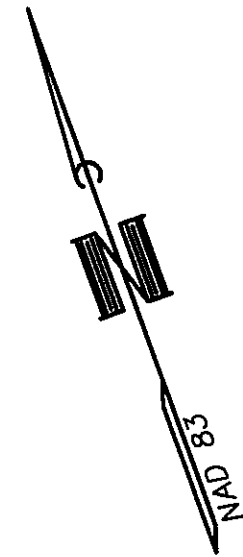
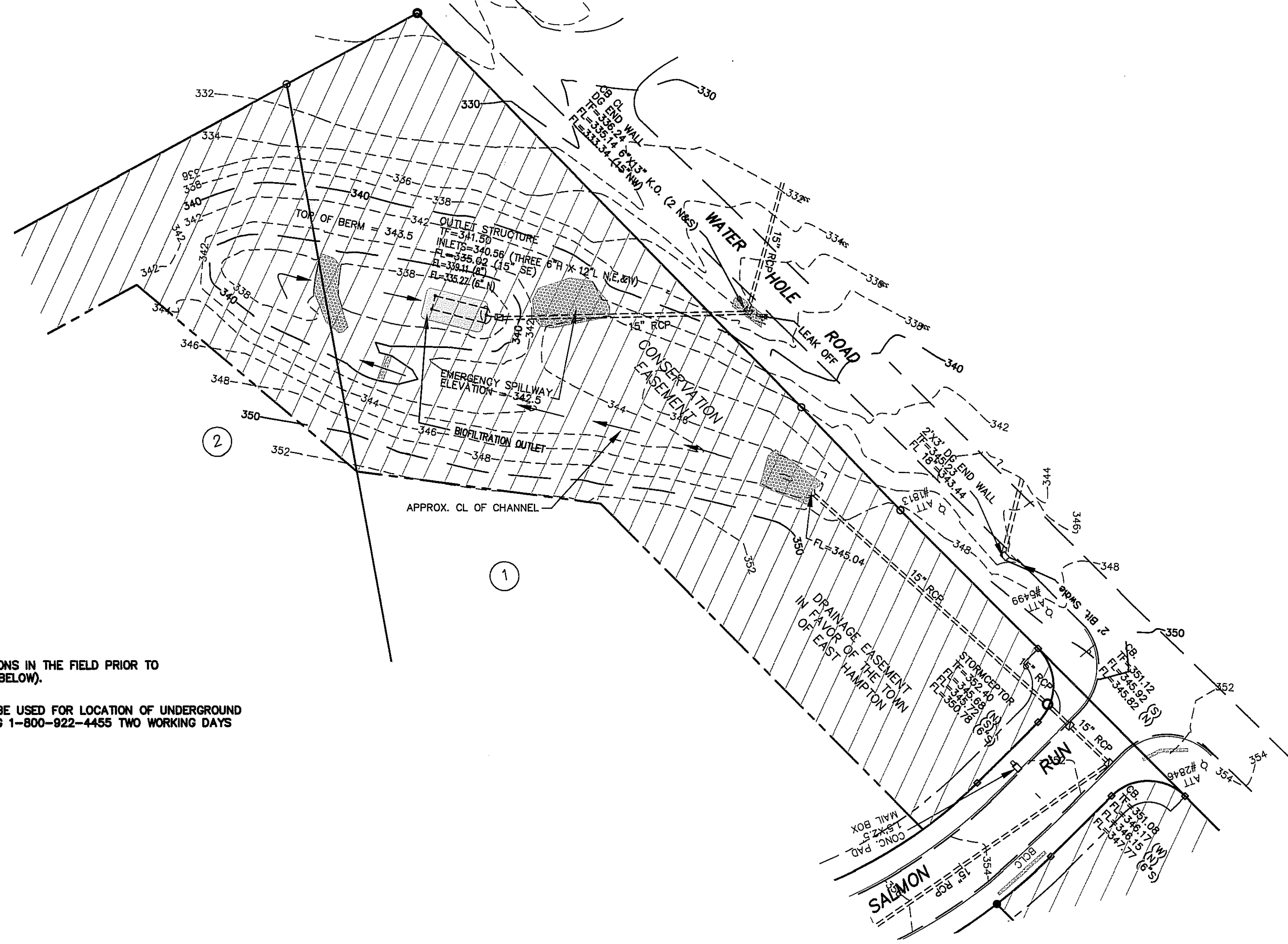


TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1. THE SURVEY OF CONNECTICUT WAS APPROVED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., ON SEPTEMBER 26, 1996. TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY. BOUNDARY DETERMINATION CATEGORY: RESURVEY. CLASS OF ACCURACY: A-2, 1/2"

**MEGSON, HEAGLE & FRIEND**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 FRANKLIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0587

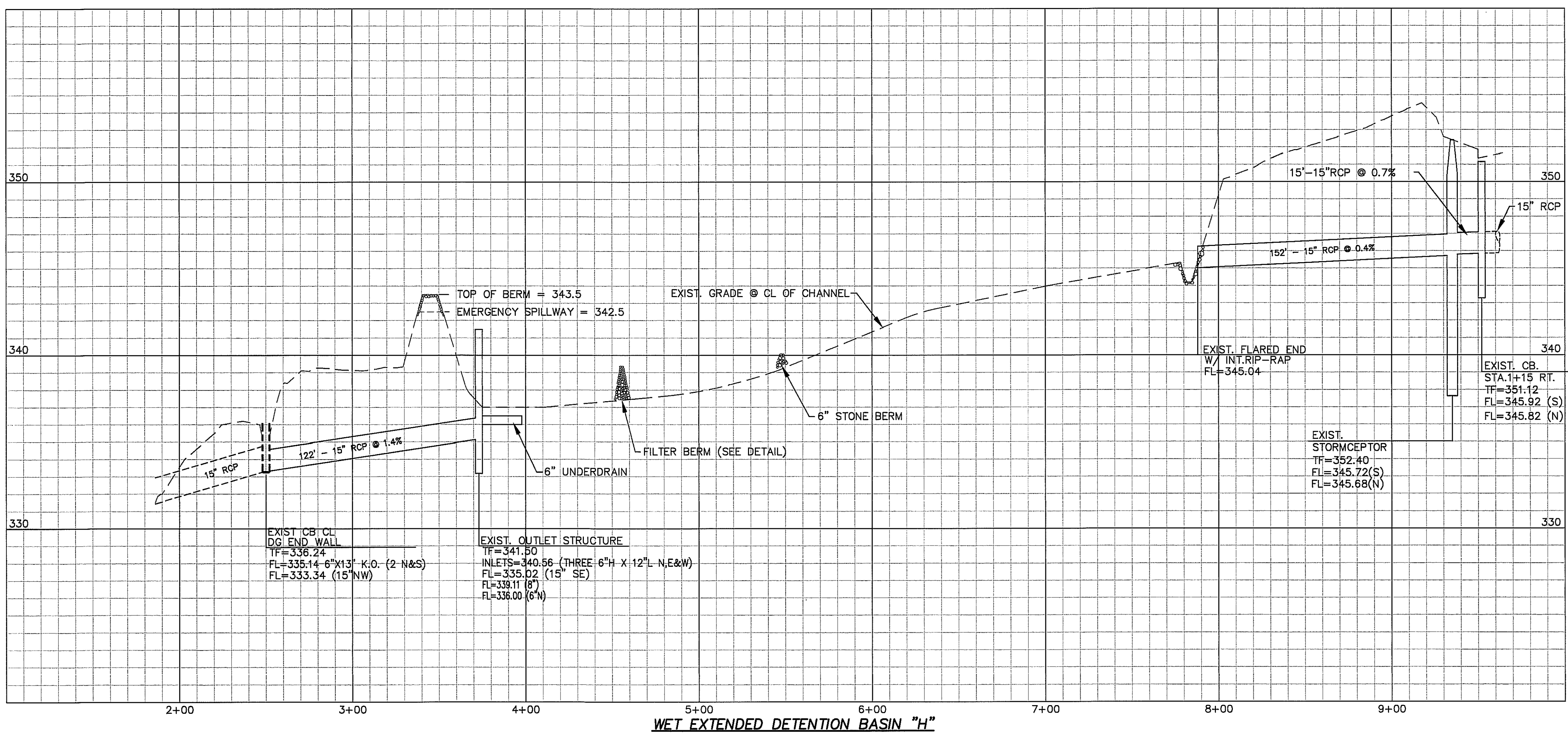
**RECORD DRAWING**  
**SALMON RUN ESTATES (PHASE 1)**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

CK. BY: MWF  
 DRW. BY: PEJ  
 DATE: 9-24-13  
 SCALE: HORIZ. 1"=40'  
 VERT. 1"=4'  
 SHEET 2 OF 2  
 MAP NO. 117-04-1AB



NOTE: VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO START OF ANY WORK (SEE NOTE BELOW).

WARNING: THESE PLANS NOT TO BE USED FOR LOCATION OF UNDERGROUND UTILITIES - CALL BEFORE YOU DIG 1-800-922-4455 TWO WORKING DAYS BEFORE YOU DIG.



**WET EXTENDED DETENTION BASIN "H"**

SCALE:  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

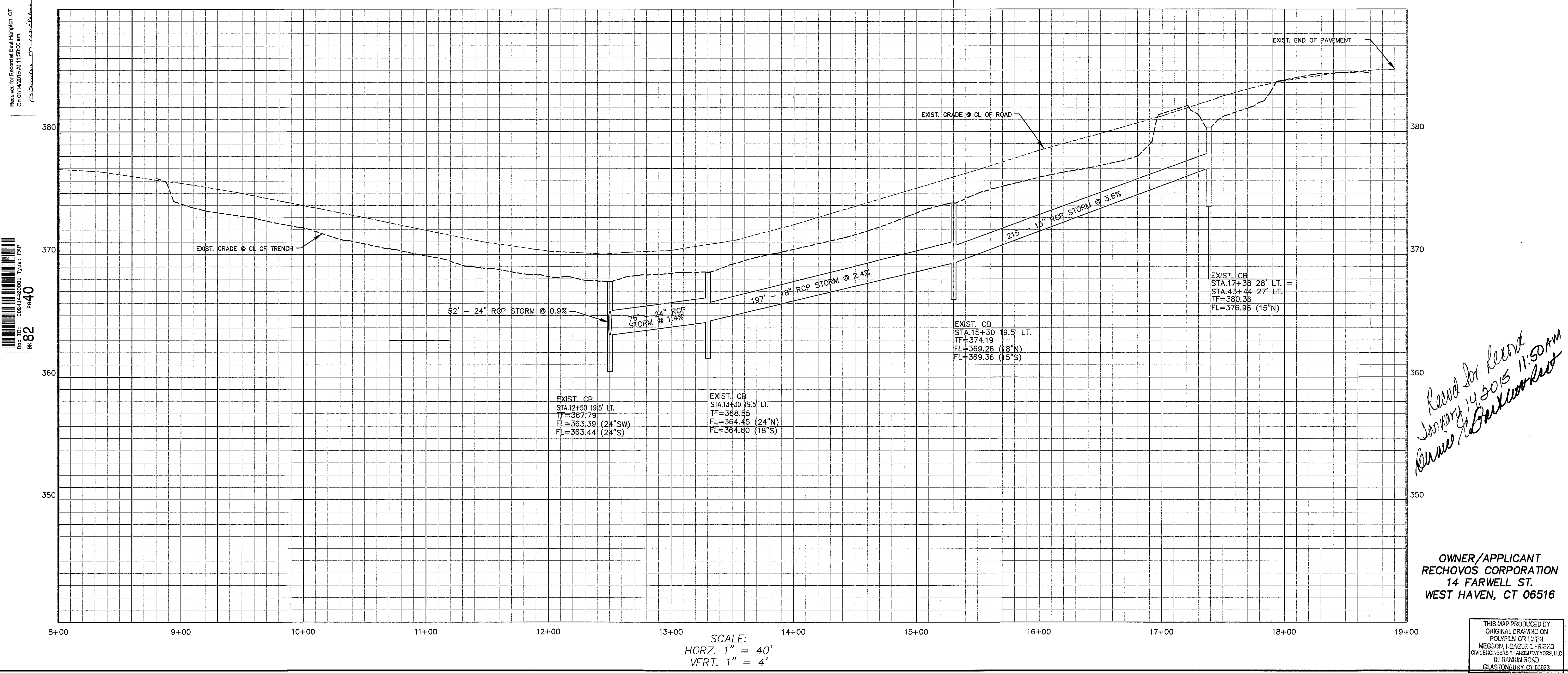
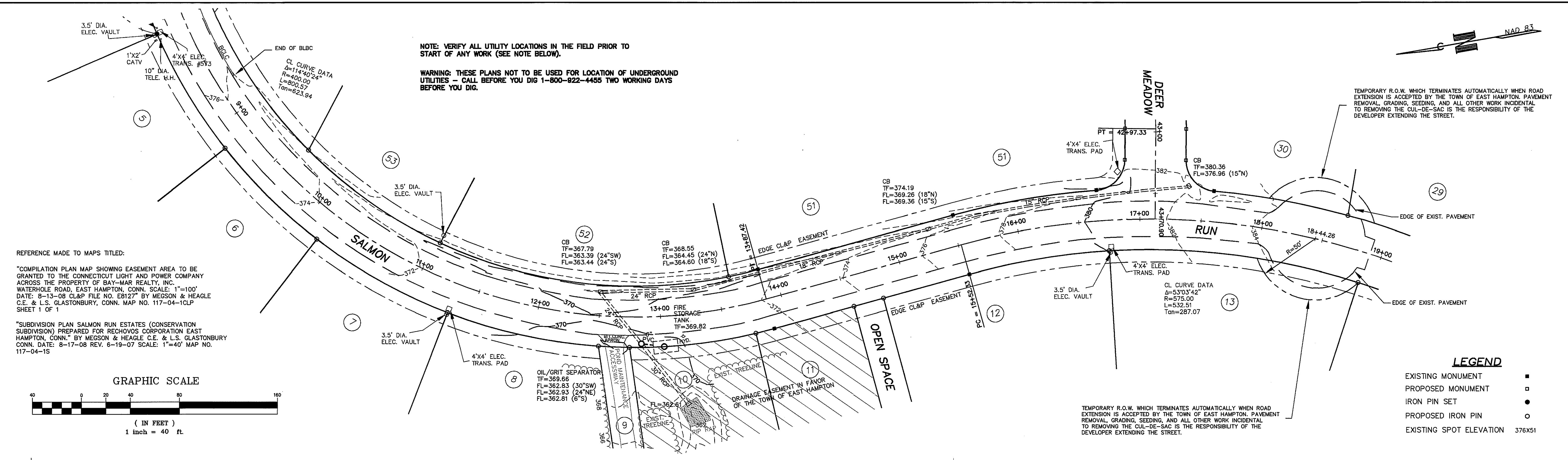
*Record of Plans  
 January 29, 2014 3:53 PM  
 Brad L. Heagle, Inc.*

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LINEN. MEGSON, HEAGLE & FRIEND CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 FRANKLIN ROAD GLASTONBURY, CT 06033

OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

DATE: 09/24/2013 1:48 PM  
 BK 81 Page 48

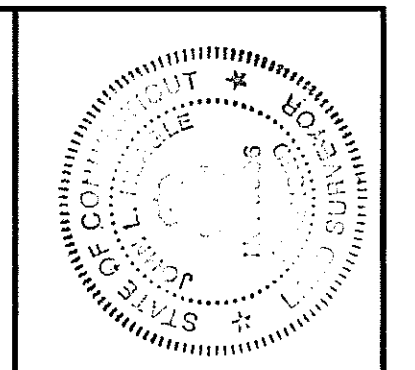
P:\2014\PROJ\11704-Subd\Nassau\11704-subd.dwg 9/25/2013 10:39:23 AM EDT



*Record for Road  
 January 14, 2015 11:50 AM  
 Bruce G. Galloway*

OWNER/APPLICANT  
**RECHOVOS CORPORATION**  
 14 FARWELL ST.  
 WEST HAVEN, CT 06516

THIS MAP PRODUCED BY ORIGINAL DRAWING ON POLYFILM OR LITHO MEGSON, HEAGLE & FREED CIVIL ENGINEERS & LAND SURVEYORS, LLC 81 RANKIN ROAD GLASTONBURY, CT 06033



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY WAS PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-30B-1. THE SURVEY AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. TYPE OF SURVEY: IMPROVEMENT LOCATION SURVEY. BOUNDARY DETERMINATION CATEGORY: SURVEY. CLASS OF ACCURACY: A-2, 1/2".

JOHN L. HEAGLE  
 L.S. # 9396

**MEGSON & HEAGLE**  
 CIVIL ENGINEERS & LAND SURVEYORS, LLC  
 81 RANKIN ROAD  
 GLASTONBURY, CONN. 06033  
 PHONE (860)-659-0687

RECORD DRAWING  
**SALMON RUN ESTATES (PHASE 2)**  
 (CONSERVATION SUBDIVISION)  
 PREPARED FOR  
**RECHOVOS CORPORATION**  
 EAST HAMPTON, CONN.

CK. BY:	MWF
DRW. BY:	SPA
DATE:	12-23-14
SCALE:	HORZ. 1"=40' VERT. 1"=4'
SHEET	1 OF 2
MAP NO.	117-04-1AB2



Office of PLANNING & ZONING OFFICIAL  
jdecarli@easthamptonct.gov

Certified Mail No. 7012 2920 0000 9736 2749

February 16, 2016

Scott Bayne  
Rechovos Corporation  
765 Farmington Avenue  
Bristol, CT 06010

Re: Extension - Permit IW92421

Dear Mr. Bayne,

At the regularly scheduled meeting of the Inland Wetlands & Watercourses Agency held on January 27, 2016, your request for an extension of Permit No. IW92421 for the Salmon Run Open Space Subdivision was approved with all original conditions remaining in place.

This extension was granted pursuant to Connecticut General Statutes Section 22A-42a (g). This is the final extension available for this Subdivision.

Should you have any questions regarding this extension, please feel free to call. Sincerely,

Jeremy DeCarli  
Planning & Zoning Official  
/dcs



Received for Record at East Hampton, CT  
On 03/01/2016 at 4:20:00 pm  
C:\Users\dcarli\Documents\2016\160216\160216.dwg

*Rec'd by Bayne  
March 1, 2016 4:26 PM  
Bayne@rechovos.com*

# SALMON RUN ESTATES (CONSERVATION SUBDIVISION) PREPARED FOR RECHOVOS CORPORATION WATERHOLE ROAD EAST HAMPTON, CONN.



Office of PLANNING & ZONING OFFICIAL  
JEREMY DECARLI  
jdecarli@easthamptonct.gov

CERTIFIED MAIL - 7012 2920 0000 9736 2756

February 25, 2016

Mr. Scott Bayne  
Rechovos Corporation  
765 Farmington Avenue  
Bristol, CT 06010

Re: Extension - Permit PZ2368

Dear Mr. Bayne,

At the regular meeting of the East Hampton Planning and Zoning Commission held on February 3, 2016 your request for an extension of Permit No. PZ2368 for the Salmon Run Open Space Subdivision approved with all original conditions remaining in place. The extension was granted pursuant to Connecticut General Statutes Section 8.26 c (e). This is the final extension available for this Subdivision.

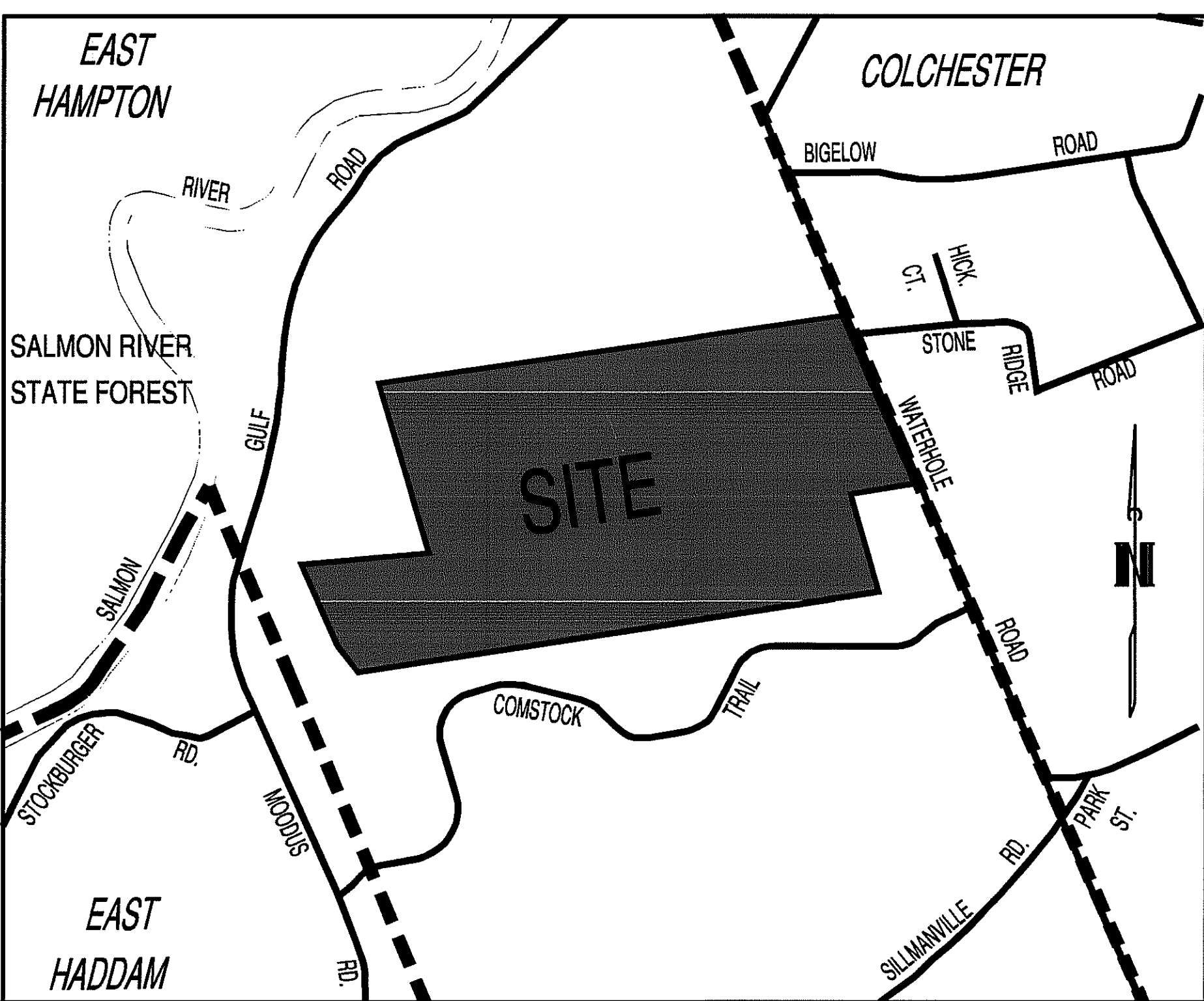
Please submit a Mylar of the first page of the plan as recorded in the Land Records at the time of the original approval to the Planning Office. On this Mylar please correct the numbers which had been transposed at the time of the original recording (Lot Nos. 10 and 11). Both this approval letter and that of the IWWA extension must be on the Mylar. The Mylar must include the owner of record and the street address as it was recorded upon original approval. It must also include a signature block for the Chairman of the Planning and Zoning Commission, including the date of the signature and the expiration date of the extension.

The Mylar must be accompanied by a check payable to the Town of East Hampton in the amount of \$10. Upon approval of the Mylar, the Chairman of the Planning and Zoning Commission will sign the Mylar and it will be recorded in the Land Records by the staff of this office. Please keep in mind that the Mylar must be recorded within 90 days of extension approval. Sincerely,

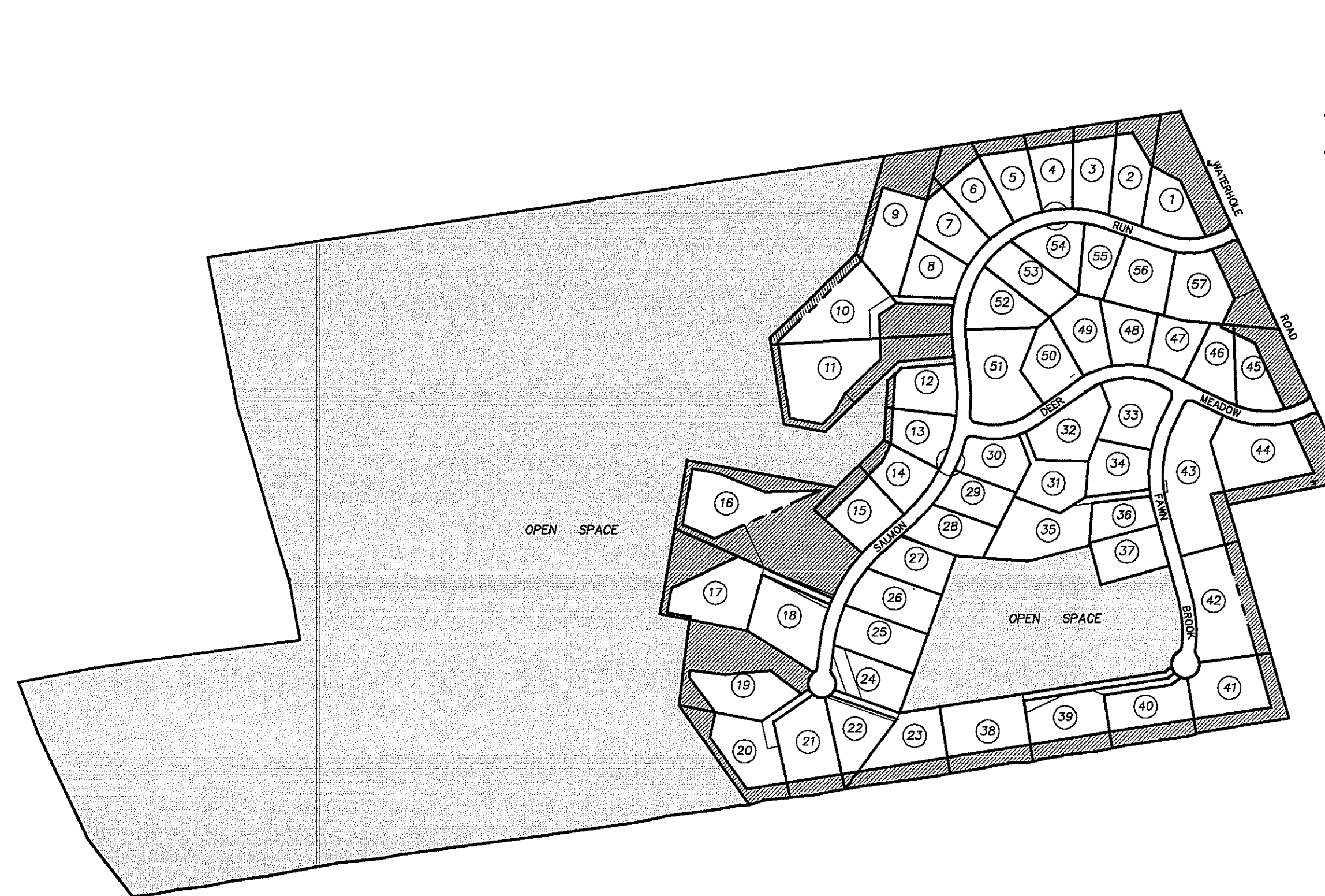
Jeremy DeCarli  
Planning & Zoning Official  
/dcs

20 East High Street, East Hampton, CT 06424 | 860.267.9601 tel | 860.267.6430 fax | www.easthamptonct.gov

20 East High Street, East Hampton, CT 06424 | 860.267.9601 tel | 860.267.6430 fax | www.easthamptonct.gov



LOCATION MAP  
SCALE: 1"=1000'



OVERALL SITE MAP  
SCALE: 1"=400'

TOTAL NUMBER OF LOTS: 57  
TOTAL PARCEL AREA: 8,759,198 S.F. / 201.083 AC.  
PROPOSED OPEN SPACE: 5,083,017 S.F. / 116.69 AC.  
PROPOSED CONSERVATION EASEMENT: 765,745 S.F. / 17.58 AC.

MAP 35 BLOCK 95 LOT 7  
ZONE: R4 - RURAL RESIDENTIAL  
SALMON RIVER PROTECTION AREA

The Subdivision Regulations of the East Hampton Planning & Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any such variances or modifications are on file in the office of the Commission.

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires on \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

INDEX TO SHEETS	
COVER SHEET	1 SHEET
OVERALL PLAN	1 SHEET
INDEX TO SHEETS	1 SHEET
SUBDIVISION PLAN	10 SHEETS
OPEN SPACE PLAN	2 SHEETS
TOPOGRAPHIC MAP	10 SHEETS
PLAN & PROFILE	11 SHEETS
SIGHT LINE DEMONSTRATION MAP	2 SHEETS
STORM WATER POLLUTION CONTROL PLAN	12 SHEETS
STORM WATER POLLUTION CONTROL NOTES & DETAILS	5 SHEETS
GENERAL NOTES & DETAILS	1 SHEET
INTERSECTION GRADING PLAN	1 SHEET
SOILS DATA	7 SHEETS
CONDITIONS OF APPROVAL	1 SHEET

Approved by the East Hampton Inland Wetlands Agency

*Jeffrey M. Foren*  
Chairman  
2/29/16  
DATE

Approved by the East Hampton Planning & Zoning Commission

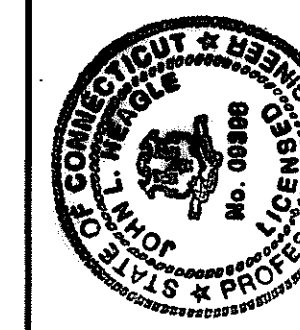
Final Approval *AA* *RAY ZATORSKI*  
Chairman

Date: 2/29/2016

Expiration Date: April 4, 2021

THIS MAP PRODUCED BY  
ORIGINAL DRAWING ON  
POLYFILM OR LINEN  
MEGSON, HEAGLE & FRIEND  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CT 06033

OWNER/APPLICANT  
RECHOVOS CORPORATION  
14 FARWELL ST.  
WEST HAVEN, CT 06516



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

*John L. Heagle*  
JOHN L. HEAGLE  
P. E. # 9386

MEGSON & HEAGLE  
CIVIL ENGINEERS & LAND SURVEYORS, LLC  
81 RANKIN ROAD  
GLASTONBURY, CONN. 06033  
PHONE (860)-659-0587

COVER SHEET  
SALMON RUN ESTATES  
(CONSERVATION SUBDIVISION)  
PREPARED FOR  
RECHOVOS CORPORATION  
EAST HAMPTON, CONN.

REV. 2-25-16 PERMIT LETTERS ADDED  
REV. 6-19-07 CONDITIONAL APPROVAL NOTE AND APPROVAL LETTERS  
REV. 3-25-07 TEMP. CUL-DE-SAC  
REV. 12-27-06 TOWN STAFF COMMENTS

CK. BY: MWF  
DRW. BY: SAM  
DATE: 8-17-06  
SCALE: SHOWN  
SHEET 1 OF 1  
MAP NO. 117-04-1CS