

# SPECIAL PERMIT - SITE PLAN MODIFICATION

193 EAST HIGH STREET  
EAST HAMPTON, CONNECTICUT

PREPARED FOR

**RADHAY, LLC**

AUGUST 17, 2021

REVISED SEPTEMBER 28, 2021

## INDEX OF DRAWINGS

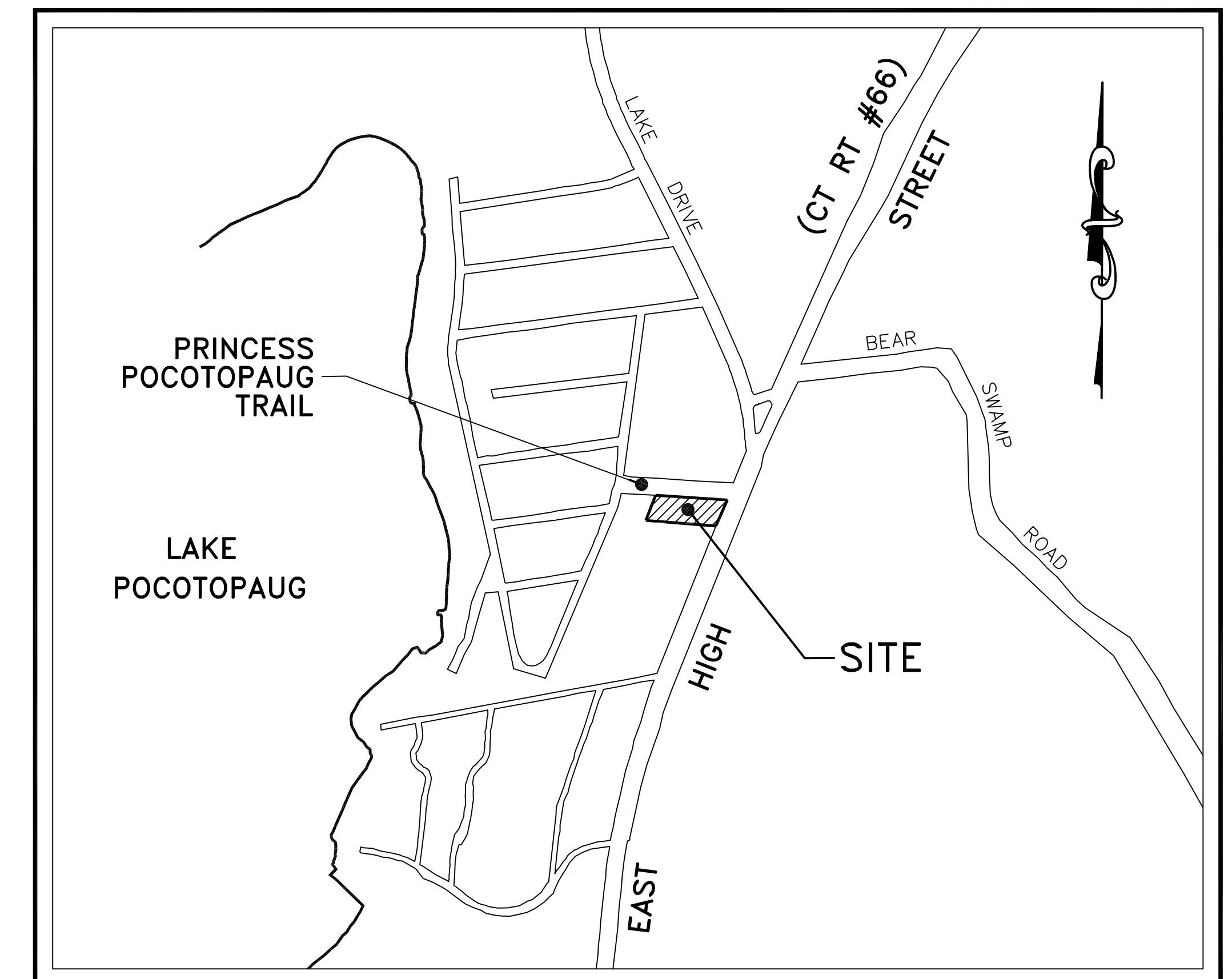
- S1 - EXISTING CONDITIONS PLAN
- C1 - SITE LAYOUT PLAN
- C2 - SITE DEVELOPMENT PLAN
- C3 - SOIL EROSION & SEDIMENT CONTROL NARRATIVE & FUNCTIONAL GROUPS & MEASURES
- C4 - SOIL EROSION & SEDIMENT CONTROL PLAN
- C5 - CONSTRUCTION NOTES & DETAILS
- C6 - CONSTRUCTION DETAILS

**OWNER/APPLICANT**  
**RADHAY, LLC**  
34 LONG VIEW DRIVE  
MANCHESTER, CT 06040  
(860) 978-8106

### **CIVIL ENGINEER & LAND SURVEYOR**

DAVID A. HUGHES  
PROFESSIONAL ENGINEER &  
& LAND SURVEYOR  
57 Norway Street  
Oakville, CT 06779  
(860) 681-7483

KEY MAP



SCALE 1" = 400'

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION		
FINAL APPROVAL	_____	_____
	CHAIRMAN	DATE
DATE OF APPROVAL	_____	_____
EXPIRATION DATE	_____	_____

**NOTES:**

- This map has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
  - \*Type of Survey: **Property and Topographic**
  - \*Boundary Determination Category: **Resurvey**
  - \*Class of Accuracy: **A-2, T-2**
- Zone: (C) Commercial.
- Area of Parcel = 24,819 square feet or 0.57 acres.
- Owner of Parcel: Radhay, LLC.
- Town of East Hampton Assessor's ID: 09A-76-11-5.
- Filed in Volume 434, Pages 130-131 of the Town Clerk's office.
- Vertical elevations are based on an assumed datum.
- Contour interval is one (1) foot.
- Topography was aquired electronically from map reference 12D.
- All monumentation found or set is depicted or noted hereon.
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The subsurface utility locations depicted on this survey have been interpreted from visible evidence or painted markings. However, the indicated existing utilities are based on limited information and all utilities may not be shown. The underground items depicted or noted are approximate and not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

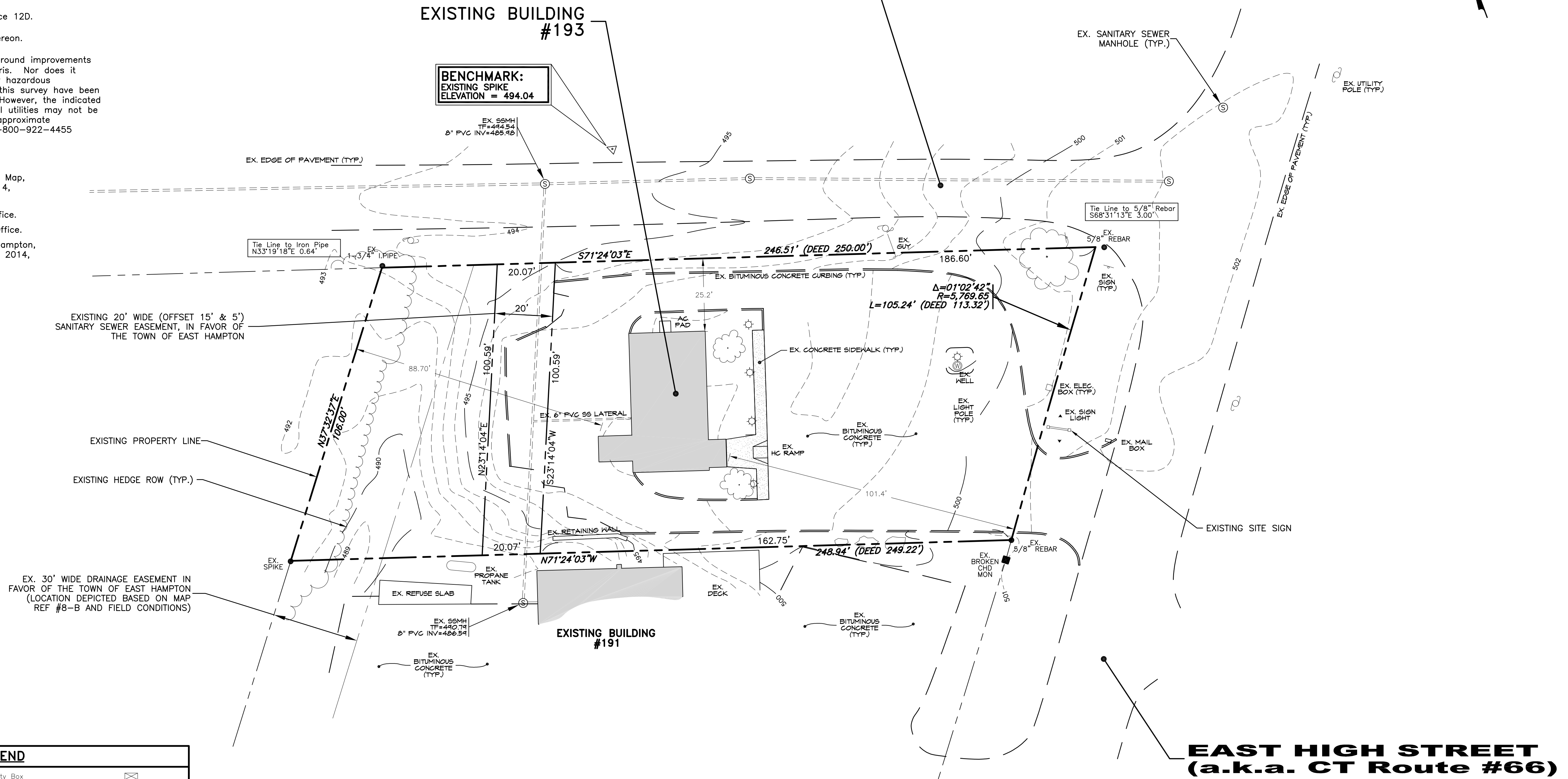
**12. Map Reference:**

- "Connecticut State Highway Department, Right Of Way Map, Town of East Hampton, Number 41-12, Sheet 3 of 4, Scale 1"=40', Dated Oct. 31, 1938".
- Map Volume 32, Page 7 filed in the Town Clerk's Office.
- Map Volume 63, Page 54 filed in the Town Clerk's Office.
- "Zoning Location Survey, Of, 193 High Street, East Hampton, Connecticut, Prepared For, Radhay, LLC, October 10, 2014, Scale 1"=20', By Baseline Surveying, LLC".

N/F WILLIAM J. CHOMA, JR.  
20 NAMONEE TRAIL  
(VOLUME 287, PAGE 412)

EX. 30' WIDE DRAINAGE EASEMENT IN FAVOR OF THE TOWN OF EAST HAMPTON (LOCATION DEPICTED BASED ON MAP REF #8-B AND FIELD CONDITIONS)

**PRINCESS POCOTOPAUG TRAIL**



N/F CHARMIC, LLC  
191 EAST HIGH STREET  
(VOLUME 409, PAGE 547)

**GENERAL LEGEND**

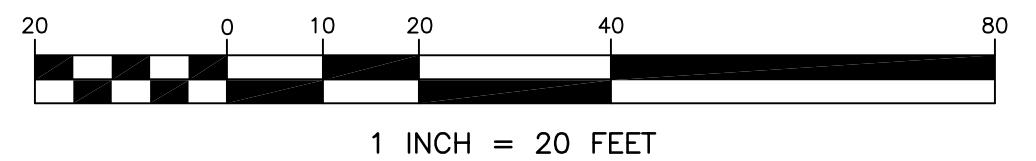
Ex. 5' Contours	---000---	Ex. Utility Box	
Ex. 1' Contours	---000---	Ex. Utility Pole	
Ex. Spot Elevation	x000.0	Ex. Utility Pole w/Street Light	
Ex. Edge of Pavement	-----	Ex. Soil Boring	
Ex. Bit. Curbing	=====	Overhead Electric	—OHE—OHE—
Ex. Blue Stone Curbing	=====	Water Main	—W—W—
Ex. Granite Curbing	=====	Gas Main	—G—G—
Ex. Well		Force Main	—FM—FM—
Ex. Water Valve		Underground Electric	—UGE—UGE—
Ex. Fire Hydrant		Underground Telecom	—TEL—TEL—
Ex. Gas Valve		Underground Traffic Control	—UTC—UTC—
Ex. Traffic Sign		Wire Fence	x x x
Ex. 'C' Catch Basin		Chain Link Fence	o o o
Ex. 'C-L' Catch Basin		Stockade Fence	o o o
Ex. Drainage Manhole		Stonewall	=====
Ex. Drainage Pipe	=====	Treeline	~~~~~
Ex. Sanitary Manhole		Deciduous Tree	
Ex. Sanitary Pipe	-----	Coniferous Tree	

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_



To the best of my knowledge and belief, this map is substantially correct as noted hereon.

DAVID A. HUGHES, L.S. REG. NO. #70111  
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

**ROUTE 66 PACKAGE STORE  
193 EAST HIGH STREET  
PREPARED FOR  
RADHAY, LLC**

**EXISTING CONDITIONS PLAN**

REVISIONS
1
2
3
4
5
6

DRAWN BY: DAH  
DATE: 08/17/21  
SCALE: 1"= 20'  
APPROVED BY: DAH

**DAVID A. HUGHES  
PROFESSIONAL  
ENGINEER &  
LAND SURVEYOR**

57 NORWAY STREET  
OAKVILLE, CT 06479  
(860) 945-6481

PROJECT NO. 0233  
DWG. NO. 01

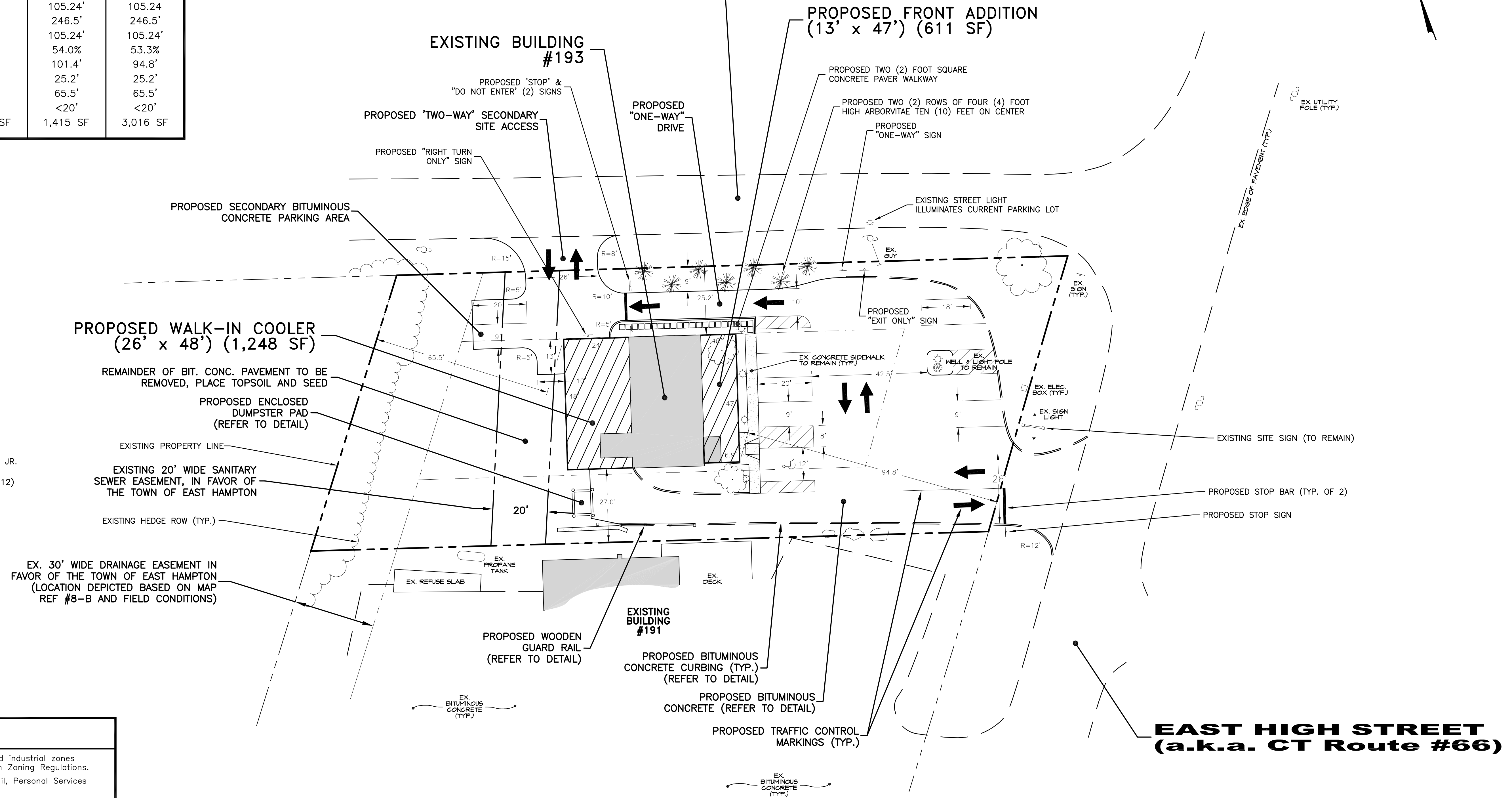
**NOTES:**

1. Site Statistics:

- \*Owner: RADHAY, LLC
- \*Current Zone: (C) Commercial
- \*Total Parcel Area: 0.57 acres

ZONING DATA			
ZONE IS (C) COMMERCIAL			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 SF	24,819 SF	24,819 SF
MINIMUM LOT WIDTH	150'	105.24'	105.24'
MINIMUM LOT DEPTH	175'	246.5'	246.5'
MINIMUM LOT FRONTAGE	100'	105.24'	105.24'
MAXIMUM LOT COVERAGE	60%	54.0%	53.3%
MINIMUM FRONT SETBACK	50'	101.4'	94.8'
MINIMUM SIDE SETBACK	25'	25.2'	25.2'
MINIMUM REAR SETBACK	25'	65.5'	65.5'
MAXIMUM BUILDING HEIGHT	35'	<20'	<20'
MINIMUM GROSS FLOOR AREA	1,500 SF	1,415 SF	3,016 SF

**PRINCESS POCOTOPAUG TRAIL**



N/F WILLIAM J. CHOMA, JR.  
20 NAMONEE TRAIL  
(VOLUME 287, PAGE 412)

N/F CHARMIC, LLC  
191 EAST HIGH STREET  
(VOLUME 409, PAGE 547)

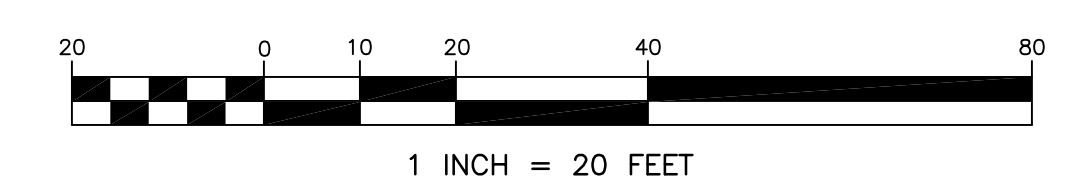
PARKING REQUIREMENTS:	
Refer to off street parking for commercial and industrial zones per Article 7 Section 7.1 of the East Hampton Zoning Regulations.	
- For Commercial - Type Land uses: Retail, Personal Services	
LOWER THRESHOLD:	2 SPACES PER 1,000 SQUARE FEET GFA
UPPER THRESHOLD:	5 SPACES PER 1,000 SQUARE FEET GFA
PARKING SPACE CALCULATION:	
- PROPOSED GFA = 3,215 SQUARE FEET	
- LOWER THRESHOLD 3,215/1,000 = 3.22 x 2 = 6.44 (6) SPACES	
- UPPER THRESHOLD 3,215/1,000 = 3.22 x 5 = 16.10 (16) SPACES	
TOTAL # OF SPACES REQUIRED =	6 TO 16
TOTAL # OF SPACES PROVIDED =	11 (INCLUDING 1 H/C)

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_



#70111  
DAVID A. HUGHES, P.E. REG. NO.  
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

**ROUTE 66 PACKAGE STORE  
193 EAST HIGH STREET  
PREPARED FOR  
RADHAY, LLC**

**SITE LAYOUT PLAN**

REVISIONS	DATE	BY
1	09/28/21	DAH
2		
3		
4		
5		
6		

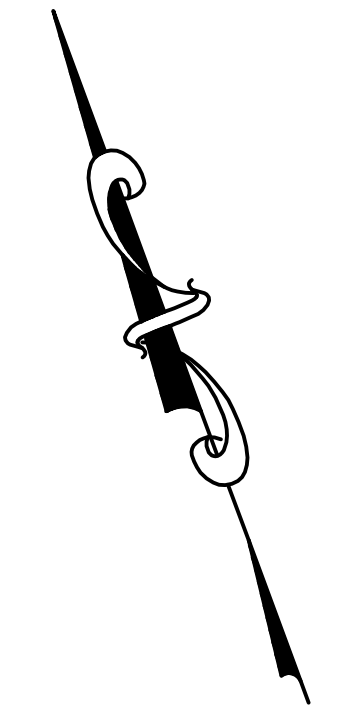
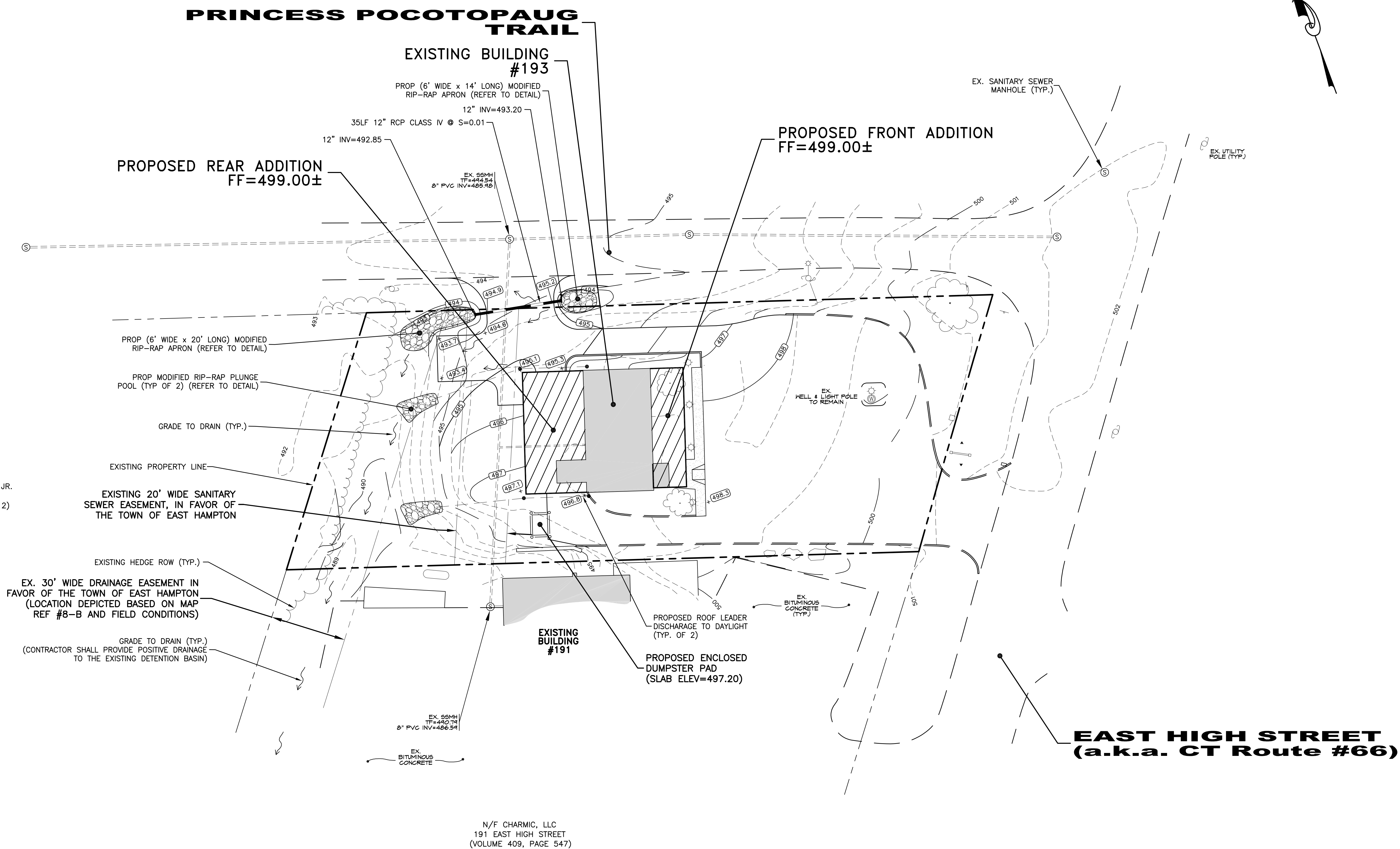
DRAWN BY: DAH  
DATE: 08/17/21  
SCALE: 1" = 20'  
APPROVED BY: DAH

**DAVID A. HUGHES**  
PROFESSIONAL  
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57 NORWAY STREET  
DAKVILLE, CT 06479  
(860) 945-6481

PROJECT NO.  
0233

DWG. NO.  
**01**

NOTES:  
 1. Refer to Sheet C5 for all Construction Notes and Specifications.



**ROUTE 66 PACKAGE STORE**  
**193 EAST HIGH STREET**  
 PREPARED FOR  
**RADHAY, LLC**  
**SITE DEVELOPMENT PLAN**

REVISIONS	DATE
1	09/28/21
2	
3	
4	
5	
6	

DRAWN BY: DAH  
 DATE: 08/17/21  
 SCALE: 1" = 20'  
 APPROVED BY: DAH

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 LAND SURVEYOR  
 57 NORWAY STREET  
 OAKVILLE, CT 06479  
 (860) 945-6481

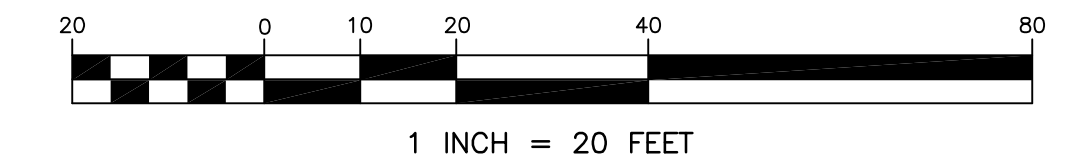
PROJECT NO.  
 0233  
 DWG. NO.  
**C2**

APPROVED BY THE EAST HAMPTON  
 PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

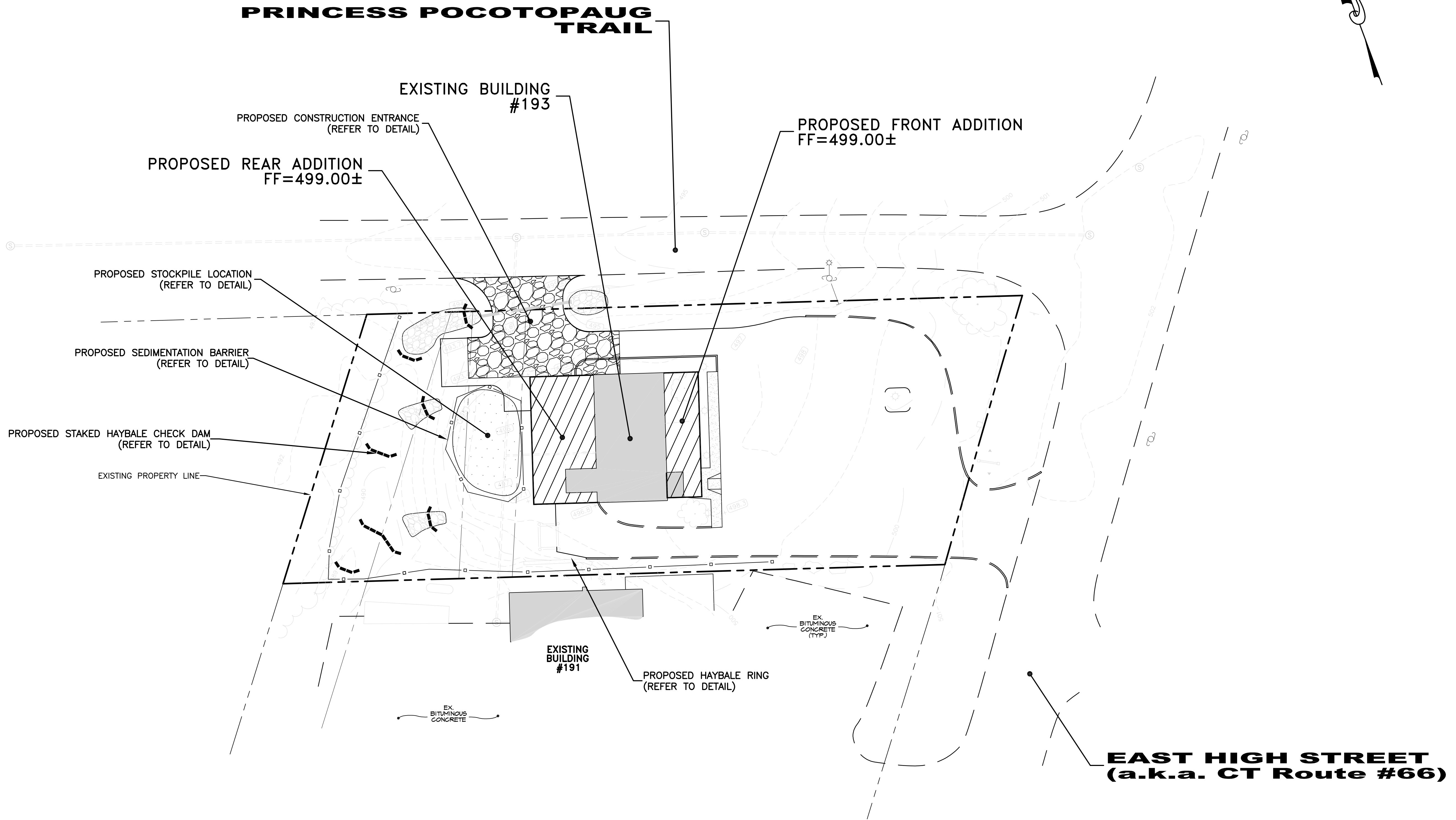


#70111  
 DAVID A. HUGHES, P.E. REG. NO.  
 NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO



NOTES:  
 1. Refer to Sheet C5 for all Construction Notes and Specifications.

SOIL EROSION & SEDIMENT CONTROL MEASURES LEGEND	
SEDIMENTATION BARRIER	
ANTI-TRACKING PAD	
HAY BALE ROW	
HAYBALE RING	
SILT SACK	
SLOPE STABILIZATION	
WATER BREAK	
TEMPORARY SWALE	
STONE CHECK DAM	
HAY BALE CHECK DAM	
RIPRAP OUTLET SPLASH PAD	
PLUNGE POOL	
SEDIMENTATION/STILLING BASIN	



N/F WILLIAM J. CHOMA, JR.  
 20 NAMONEE TRAIL  
 (VOLUME 287, PAGE 412)

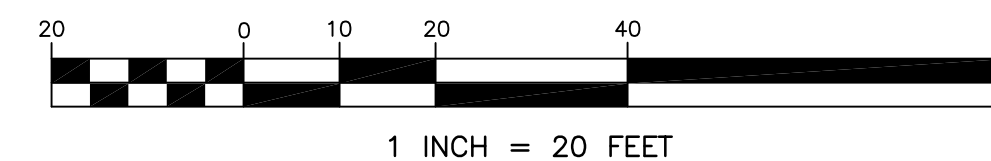
N/F CHARMIC, LLC  
 191 EAST HIGH STREET  
 (VOLUME 409, PAGE 547)

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_



#70111  
 DAVID A. HUGHES, P.E. REG. NO.  
 NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

**ROUTE 66 PACKAGE STORE  
 193 EAST HIGH STREET  
 PREPARED FOR  
 RADHAY, LLC  
 SOIL EROSION & SEDIMENT  
 CONTROL PLAN**

REVISIONS	DATE
1	09/28/21
2	
3	
4	
5	
6	

DRAWN BY: DAH  
 DATE: 08/17/21  
 SCALE: 1" = 20'  
 APPROVED BY: DAH

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 PROFESSIONAL  
 ENGINEER &  
 LAND SURVEYOR  
 57 NORWAY STREET  
 DAKVILLE, CT 06479  
 (860) 945-6481

PROJECT NO.  
 0233  
 DWG. NO.  
**C4**

**CONSTRUCTION SPECIFICATIONS AND STANDARDS:**

**A. MANHOLES, CATCH BASINS AND STRUCTURES:**

1. Catch basins and manholes shall be constructed of class "A" concrete, prefabricated precast sections in accordance with ASTM C-148, latest revised edition. The minimum compressive strength shall be 4,000 psi. Structures can be constructed in the field at the contractor's option if built in accordance with the standard specifications and drawings. Leveling courses may be constructed to insure that the frame meets the proposed grade at the design gradient, to a maximum of twelve inches (12"). A maximum two inch (2") thick layer of mortar may also be used to adjust the top slab. The cost of the welded wire fabric and bar reinforcement shall be included in the price bid for manhole(s) and catch basins.

2. All catch basins shall be CONNECTICUT STATE HIGHWAY DEPARTMENT STANDARD TYPE "C" bituminous curbed unless otherwise specified.

3. All proposed catch basins shall have a minimum of two foot (2') sumps below the invert of the outlet pipe to trap silt and sand from roads or parking areas, except as otherwise specified on the drawings.

4. Manholes shall have concrete aprons and inverts constructed to one-half the diameter of the outlet pipe with aprons sloped to drain.

5. Manhole steps will be required in all manholes deeper than four feet (4'). Spacing will be twelve inches (12") center to center with the top rung within a minimum of two feet (2') to the top of frame and cover and lower rung within eighteen inches (18") of the apron. The steps shall be ALCOA #6005-T5, drop front design, or a copolymer polypropylene conforming to ASTM Z146, type 11, grade 43758 with a grade 60, half inch (1/2") steel rod or an approved equal.

6. Provide a minimum of six inches (6") of gravel bedding under all catch basins, manholes, outlet structures and concrete galleys in earth and twelve inches (12") for rock excavations.

7. Knockout panels, stubs and/or manhole drops and accommodating invert channels shall be constructed to meet line and grade of future construction, as required. Main line and lateral future connections shall be suitably capped or plugged for water tightness. Contractor to provide a 1/2 inch metal rod with a two inch square plate top placed four inches below grade at the end of all capped utilities.

8. The contractor may elect to interchange rectangular manholes for circular manholes with the engineer's approval. The size substituted thereof shall be determined by the engineer. The cost of the new structure shall be the same cost bid per vertical lineal foot as the original structure. Shop drawings will be submitted to the engineer for review.

9. Frames and grates for yard drains shall be Campbell Foundary pattern #4127.

10. All head walls shall be Wing Type Endwalls as detailed by The Connecticut D.O.T. Standard Specifications and drawings, and as manufactured by Connecticut Precast Corp. Monroe CT or approved equal.

**B. STORM SEWER PIPES:**

1. All R.C.P. Storm Sewer Drainage Pipe specified shall be rubber gasketed, CLASS IV in streets and CLASS III in unimproved areas, except fifteen inch (15") catch basin laterals shall be CLASS V, or approved equal.

2. All 12"-24" smooth wall interior Corrugated Plastic Pipe (C.P.P.) specified shall be HANCOR HI-O Sure-Lok 10.8 heavy duty high density polyethylene pipe as manufactured by HANCOR, Inc., or approved equal. The pipe shall meet the requirements of AASHTO M294 Type S, have an annular corrugated exterior.

3. Pipe lengths for the storm drainage system are measured from centerline of structure to centerline of structure with the exception of flared ends which are measured from the outer most edge.

4. Pipe inverts for storm drainage structures are measured at their centerline, while inverts for flared ends measured at their outer most edge.

5. All piping shall be founded on a stone bedding in CLASS "B" and "C" trench installations for either earth or rock excavations, unless otherwise directed by the engineer. Refer to details.

6. All pipe backfill shall be placed in compacted eight inch (8") max. lifts to an AASHTO T-99 density of 95 % to proposed subgrade.

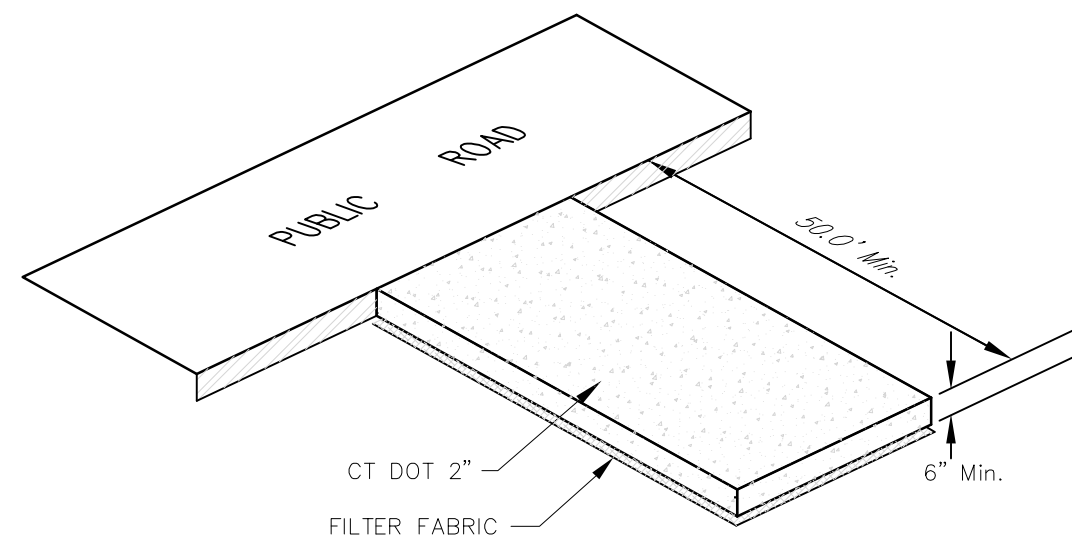
7. Pipes shall be cut flush to the inside walls of all structures. Openings (it knockouts shall be mortared tight with a non-shrink grout. Concrete inverts and aprons shall be constructed to one-half the diameter of the existing pipe within manholes. Aprons shall slope to drain. Smaller pipe sizes entering structures shall, at a minimum, match the crown of the outgoing pipe, except as otherwise specified for critical elevations for upstream structures or in the case of significant grade changes.

**PROJECT NOTES:**

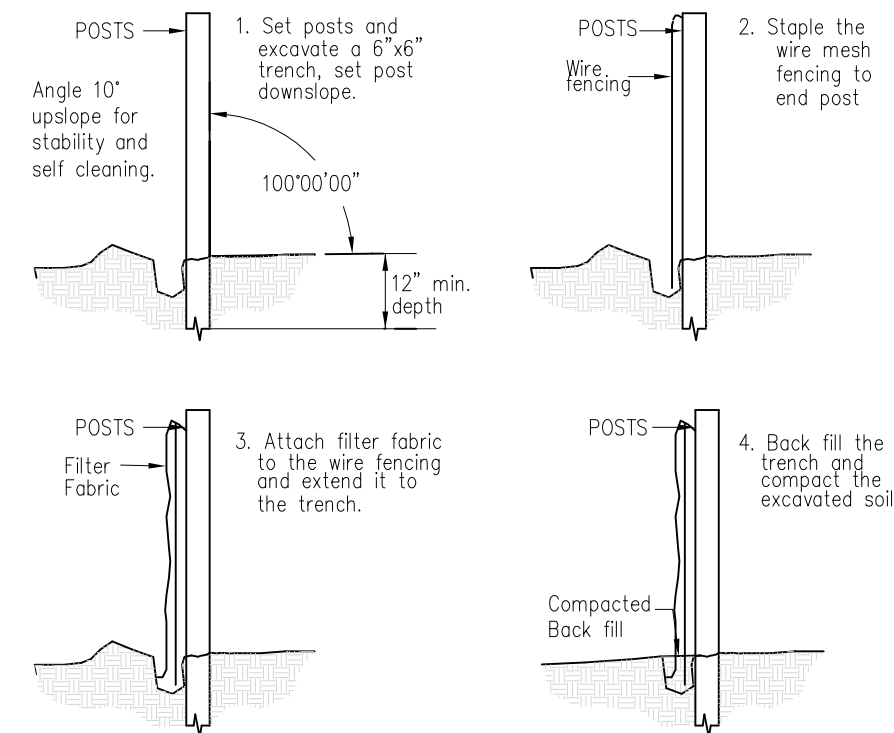
1. ALL CONSTRUCTION MATERIALS, PRACTICES AND PROCEDURES SHALL CONFORM TO THE BOROUGH OF NAUGATUCK ZONING REGULATIONS, AS AMENDED TO DATE.
2. ALL CONSTRUCTION MUST CONFORM TO CTDOT FROM 814A, AS AMENDED TO DATE.

**CONSTRUCTION NOTES:**

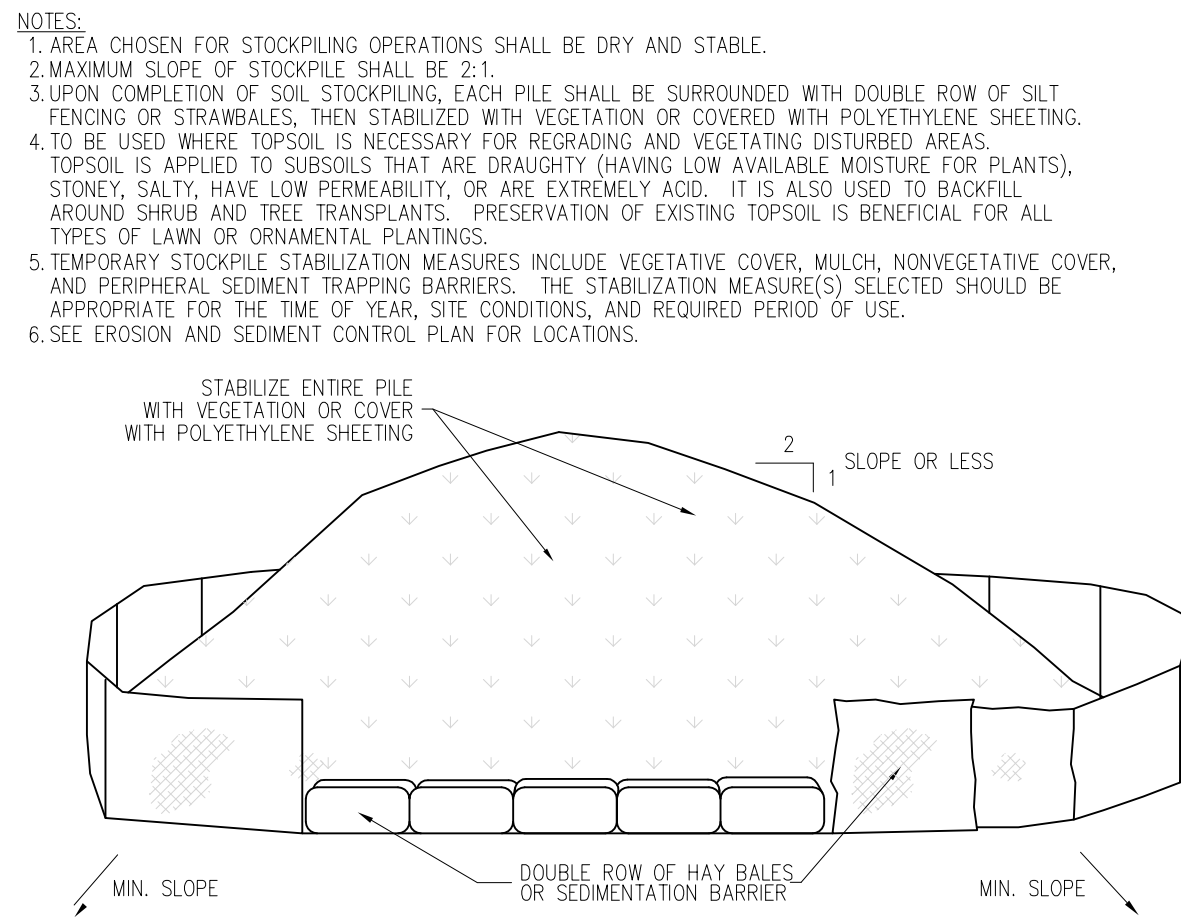
1. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. WHERE LAWS AND REGULATIONS OF PUBLIC AUTHORITY PRESCRIBE A HIGHER DEGREE OF PROTECTION THAN SPECIFIED HEREIN, THEN THE HIGHER DEGREE SO PRESCRIBED SHALL GOVERN.
3. LOCATIONS OF EXISTING UTILITIES HAVE BEEN TAKEN FROM UTILITY MAPS OR BY OTHER MEANS. ACTUAL FIELD LOCATIONS AND ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL UTILITY COMPANIES AFFECTED BY THE WORK ON OR NEAR THE PROJECT AREA SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF THE WORK.
4. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD, AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE ENGINEER SHALL HAVE FINAL SAY AS TO THE ACTUAL DIMENSIONS BY WHICH TO CONSTRUCT. NO ALLOWANCES SHALL BE MADE FOR DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND THOSE SHOWN ON THE DRAWINGS.
5. ALL EXISTING UTILITIES TO BE RELOCATED, RESET AND/OR RECONNECTED, IF IN CONFLICT WITH THE PROPOSED WORK ACTIVITIES, SHALL BE MADE AT NO DIRECT PAYMENT TO THE CONTRACTOR BUT SHALL BE INCLUDED IN VARIOUS ITEMS OF WORK UNDER THE CONTRACT.
6. WHERE EXISTING UTILITY POLES NEED TO BE RELOCATED OR REMOVED BY OTHERS, SUCH WORK SHALL BE AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE SPECIFIED BY THE OWNER OR INDICATED ELSEWHERE. THE RELOCATION OF SAME OR REMOVAL THEREOF MAY NOT COINCIDE WITH THE CONTRACTOR'S WORK SCHEDULE AND, THEREFORE, THE CONTRACTOR SHOULD ANTICIPATE IN HIS BID THE COST OF SUCH WORK WITHIN THE PROJECT'S LIMITS TO PROJECT COMPLETION.
7. THE CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND LICENSES REQUIRED BY FEDERAL, STATE OR LOCAL AUTHORITIES TO PERFORM THE WORK, PAY ALL FEES IN CONNECTION THEREWITH, AND ABIDE BY ALL REGULATIONS, ORDINANCES, CODES AND OTHER RULES OF SUCH AUTHORITIES HAVING JURISDICTION.
8. UNLESS OTHERWISE INDICATED, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
9. THE INFORMATION SHOWN ON THE FOLLOWING SHEETS ARE LIMITED TO THE INFORMATION MADE AVAILABLE AT THE TIME OF THE DESIGN SERVICES WERE RENDERED.
10. THE CONTRACTOR SHALL PROPERLY PROTECT ADJOINING PROPERTY OUTSIDE THE PROJECT LIMITS FROM DAMAGE. ANY DAMAGE TO THE SAME SHALL BE SUBJECT TO REPAIRS BY THE CONTRACTOR WITHOUT COST TO THE OWNER.
11. ALL DRIVEWAYS, ROADS, SIDEWALK AND YARD AREAS DISTURBED BY CONSTRUCTION IN OR OUTSIDE THE PROJECT AREA SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER, AND SHALL BE GRADED TO MEET PROPOSED FINISHED GRADES. GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE LOAMED, FERTILIZED AND SEEDDED OR SODDED, AS IT APPLIES.
12. THE CONTRACTOR SHALL TAKE SPECIAL CAUTION TO PRESERVE AND PROTECT FROM INJURY ALL TREES AND VEGETATION LOCATED WITHIN WETLANDS AND AS INDICATED TO REMAIN. NO UNNECESSARY CUTTING OR TRIMMING OF TREES WILL BE PERMITTED, UNLESS AUTHORIZED BY THE OWNER.
13. ALL EARTHEN FILL MATERIAL SHALL MEET ASTM D 2487 STANDARDS AND SHALL BE FREE OF ROCK OR GRAVEL LARGER THAN THREE (3) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER. ALL EARTHEN FILL MATERIAL SHALL BE FREE OF PETROLEUM, TOXIC OR HAZARDOUS CONTAMINATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE SANITARY SEWER LATERAL THROUGHOUT THE CONSTRUCTION PROCESS.



**CONSTRUCTION ENTRANCE**  
N.T.S.

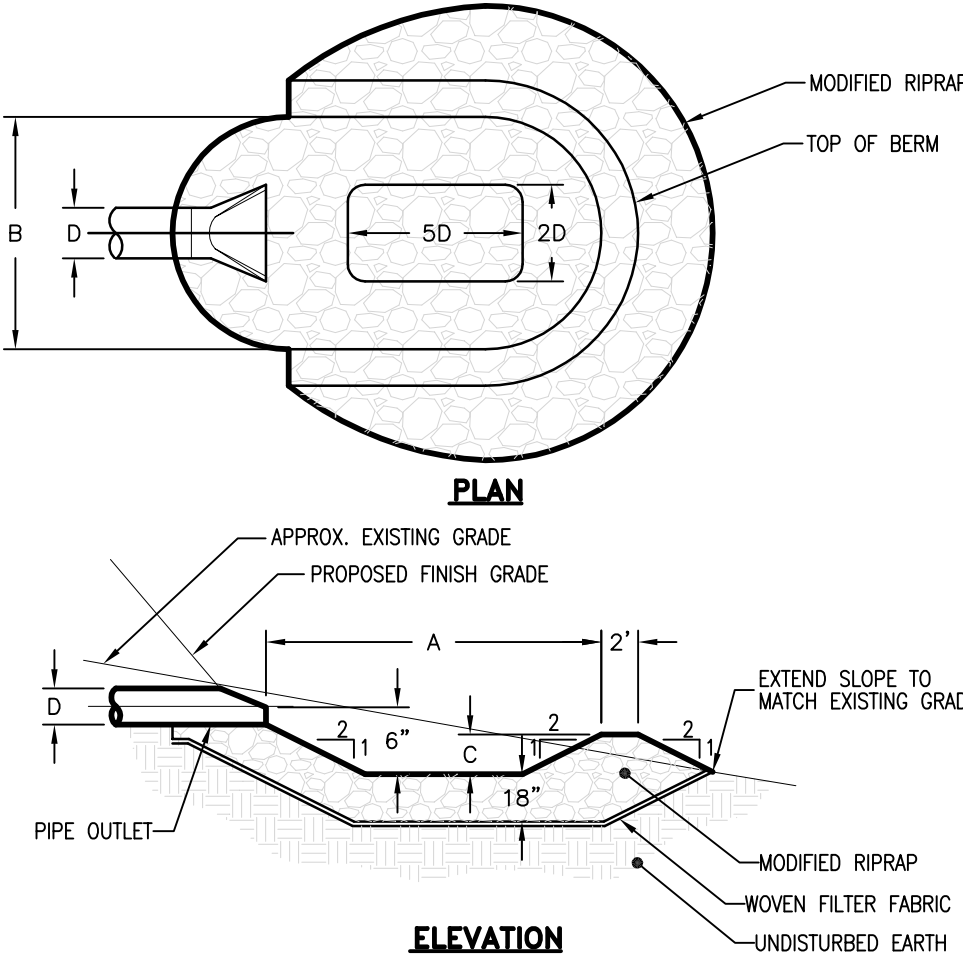


**SEDIMENTATION BARRIER DETAIL**  
N.T.S.



**SOIL STOCKPILE DETAIL**  
N.T.S.

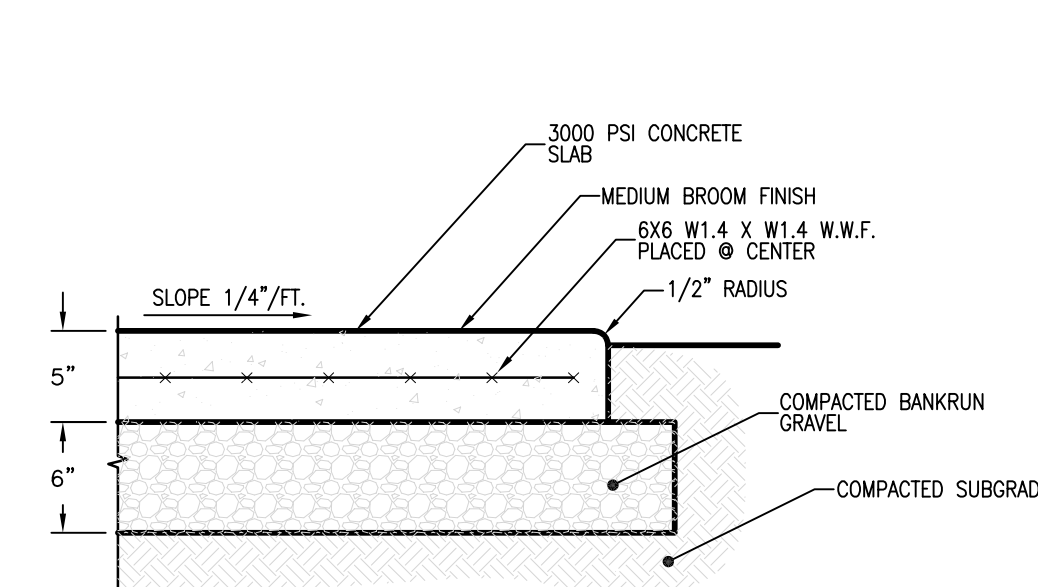
DIMEN.	PIPE DIAMETER "D"							
	18"	21"	24"	30"	36"	42"	48"	
A	11.25'	12.50'	15.75'	17.00'	21.50'	24.00'	30.50'	33.00'
B	6.50'	8.00'	9.50'	10.00'	13.00'	14.00'	19.00'	20.00'
C	1.00'	1.00'	1.50'	1.50'	2.00'	2.00'	3.00'	3.00'



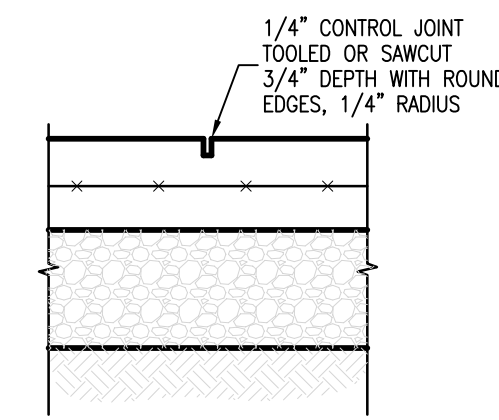
**PLUNGE POOL DETAIL**  
N.T.S.

**STAKED HAYBALE DETAIL**  
N.T.S.

**CONSTRUCTION DETAILS:**

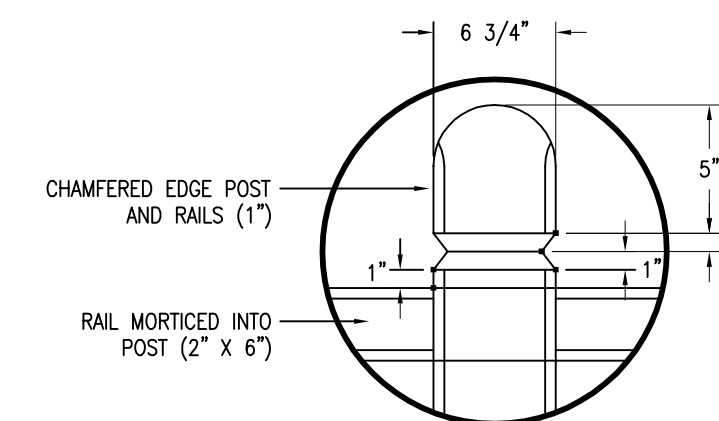


**TYPICAL SECTION**

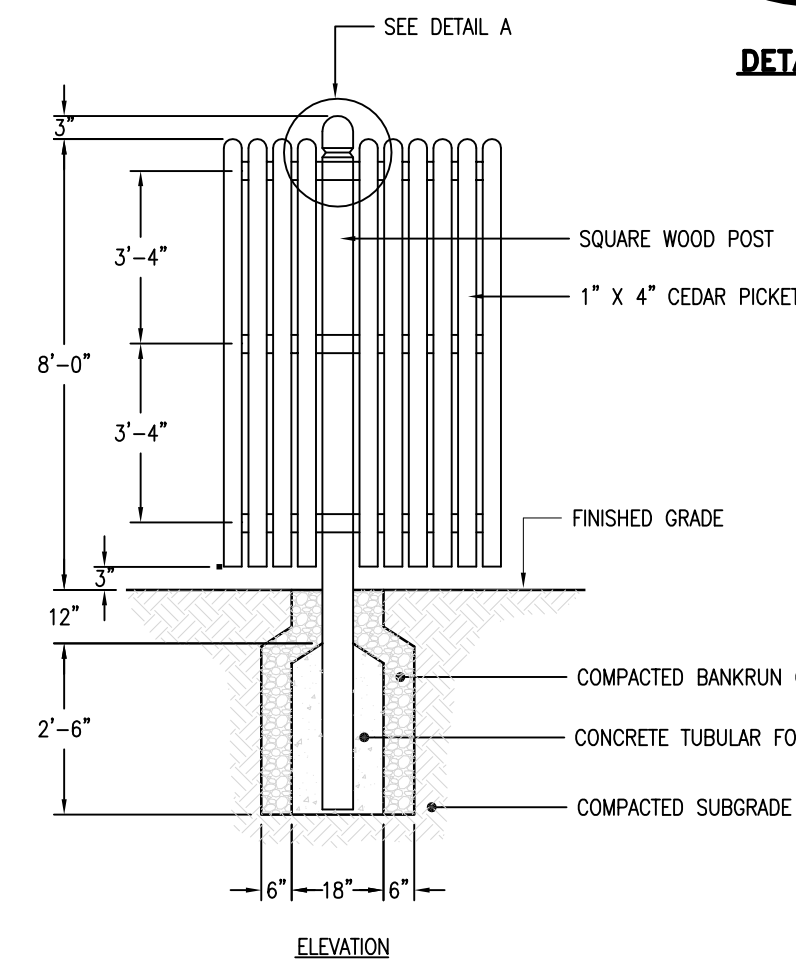


**EXPANSION JOINT**

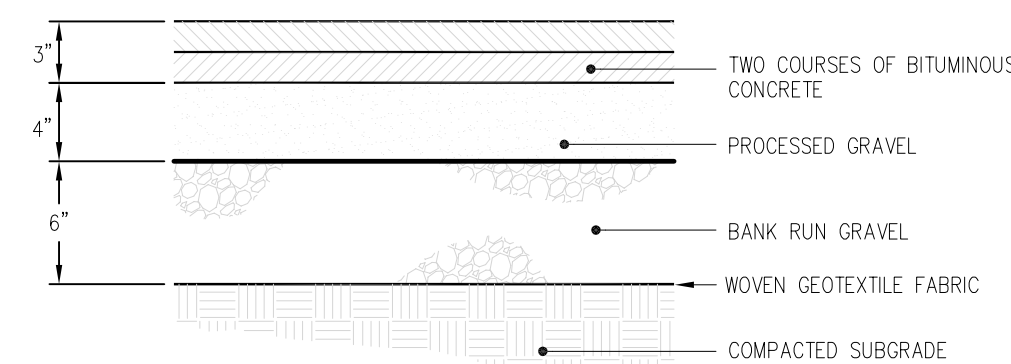
**REFUSE CONCRETE SLAB DETAILS**  
N.T.S.



**DETAIL A**

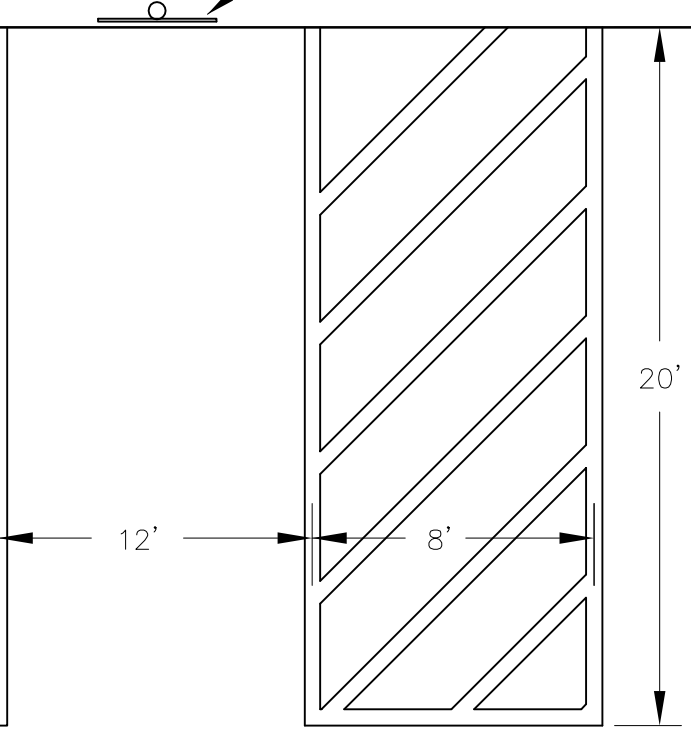
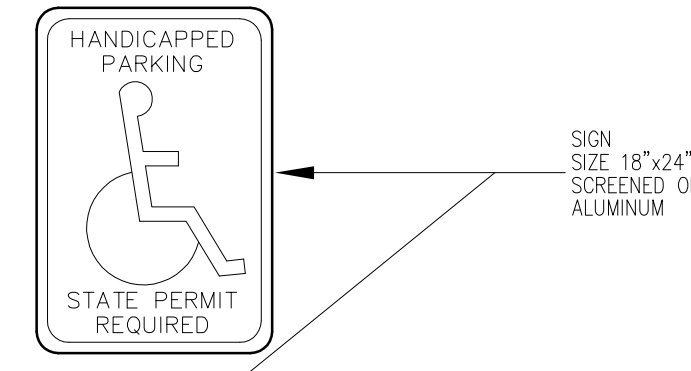


**DUMPSTER VINYL FENCE ENCLOSURE**  
N.T.S.

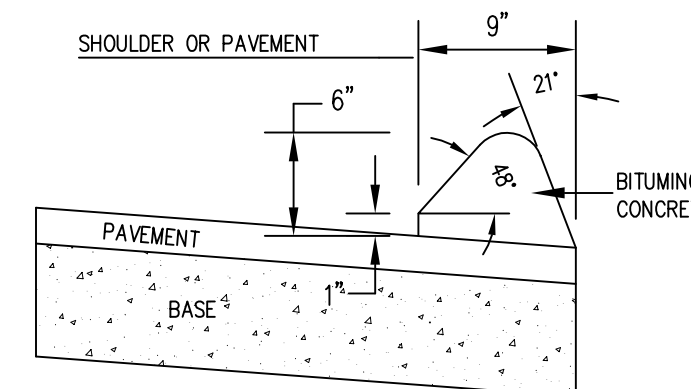


**BITUMINOUS CONCRETE PAVEMENT DETAIL**  
N.T.S.

NOTES:  
1. HANDICAP PARKING SPACES SHALL BE POSTED AND PAINTED ACCORDING TO THE TOWN OF EAST HAMPTON STANDARDS.

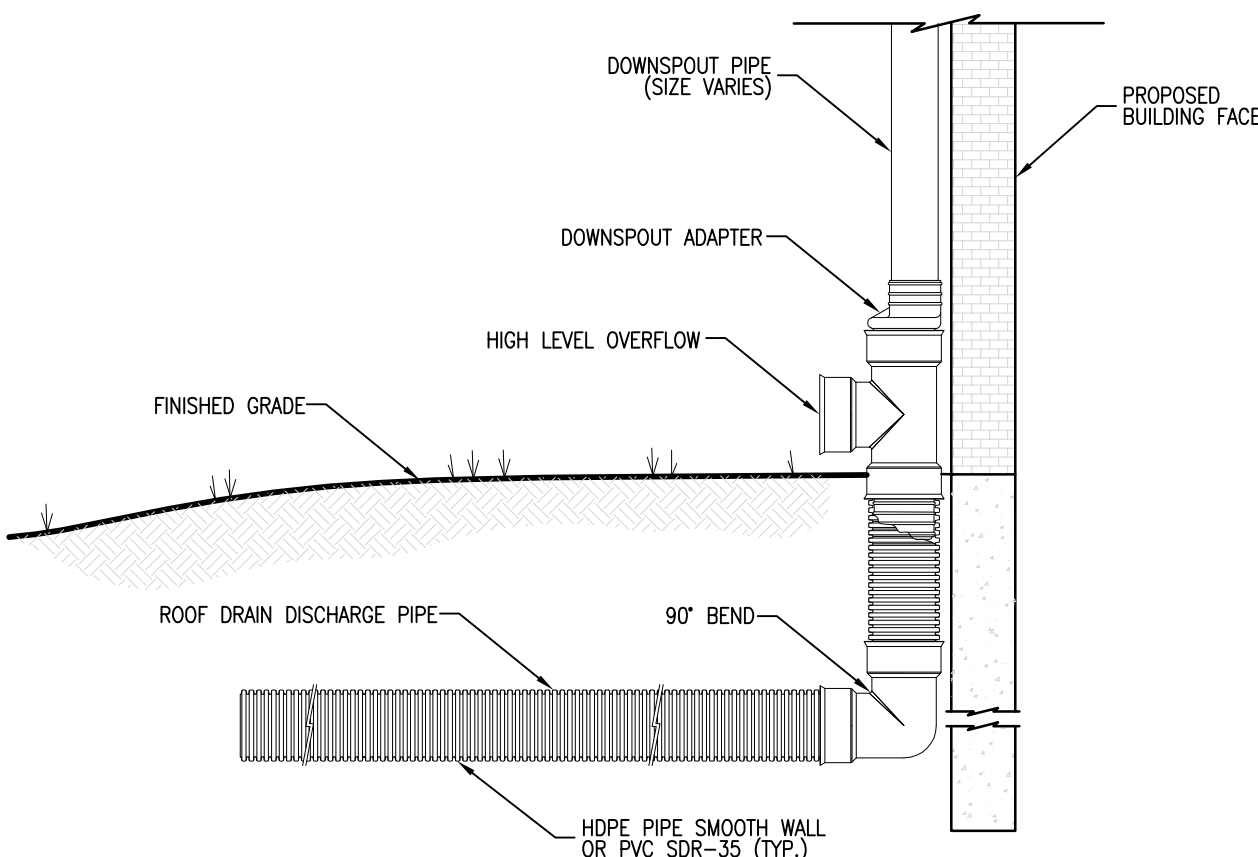


**TYPICAL HANDICAPPED PARKING SPACE**  
N.T.S.

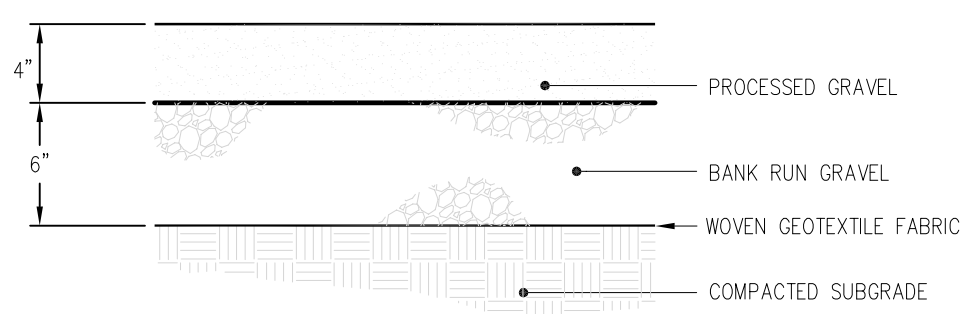


**BITUMINOUS CONCRETE LIP CURBING**  
N.T.S.

NOTES:  
1. ALL JOINTS SHALL BE WATERTIGHT.



**ROOF DRAIN WITH HIGH LEVEL OVERFLOW**  
N.T.S.



**GRAVEL SIDEWALK DETAIL**  
N.T.S.

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

**ROUTE 66 PACKAGE STORE  
193 EAST HIGH STREET  
PREPARED FOR  
RADHAY, LLC  
CONSTRUCTION NOTES &  
DETAILS**

NO.	REVISIONS
1	
2	
3	
4	
5	
6	

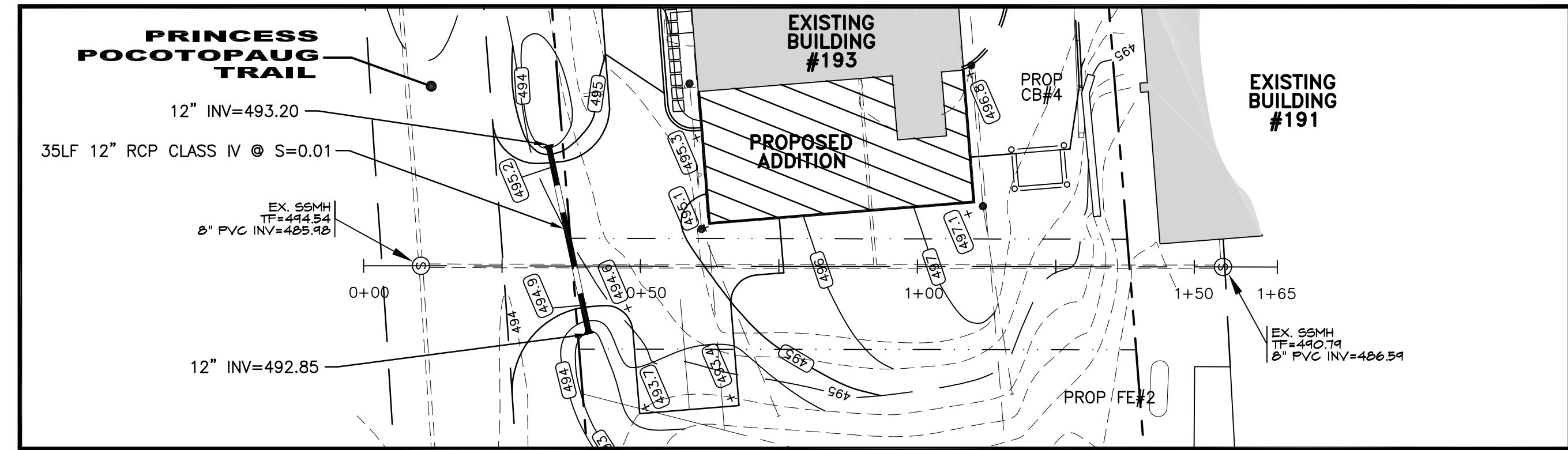
DRAWN BY: DAH  
DATE: 08/17/21  
SCALE: AS NOTED  
APPROVED BY: DAH

**DAVID A. HUGHES**  
PROFESSIONAL  
ENGINEER &  
LAND SURVEYOR  
57 NORWAY STREET  
DANVILLE, CT 06479  
(860) 945-6481

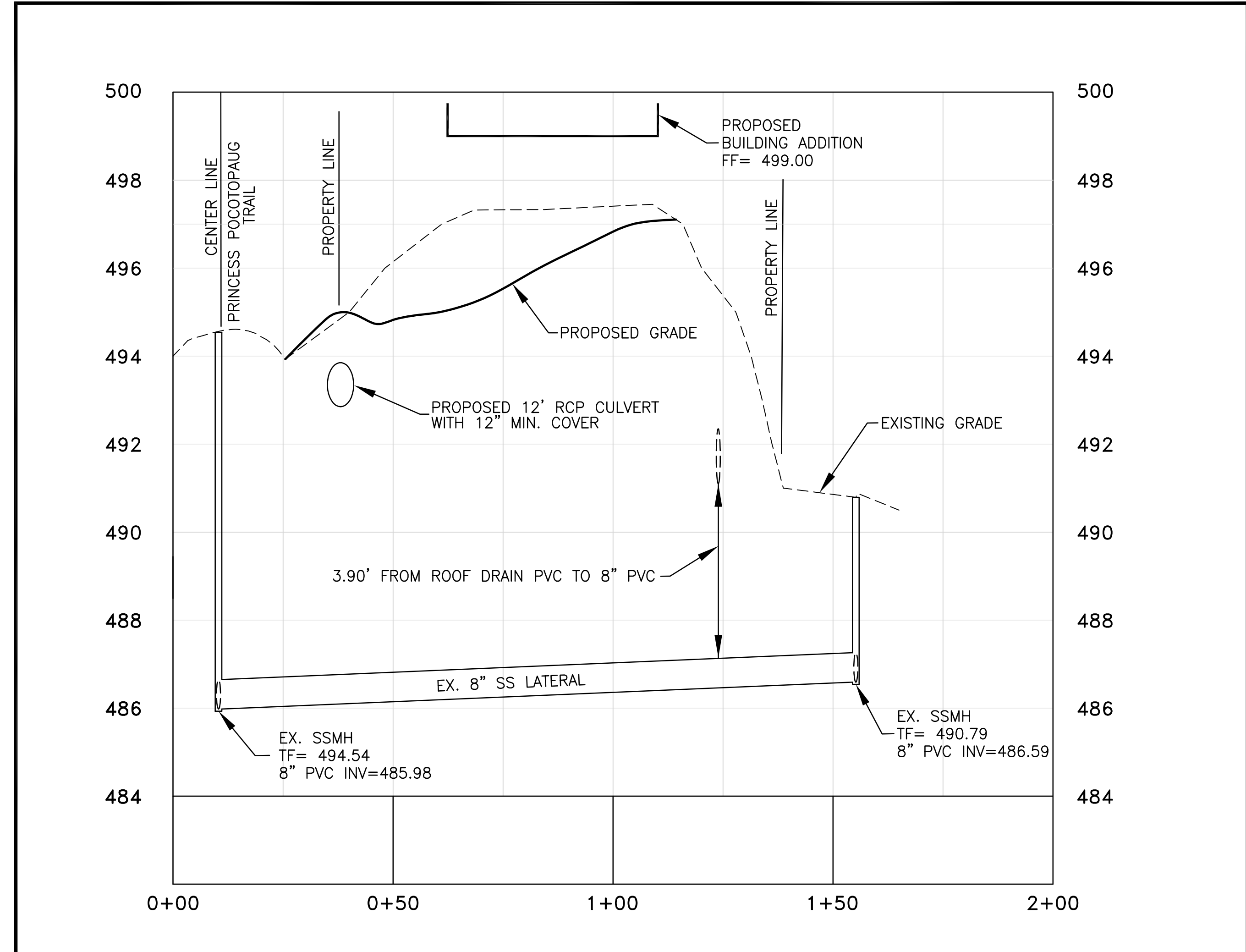
PROJECT NO.  
0233  
DWG. NO.



#70111  
DAVID A. HUGHES, P.E. REG. NO.  
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO



PLAN  
SCALE: 1"=20'



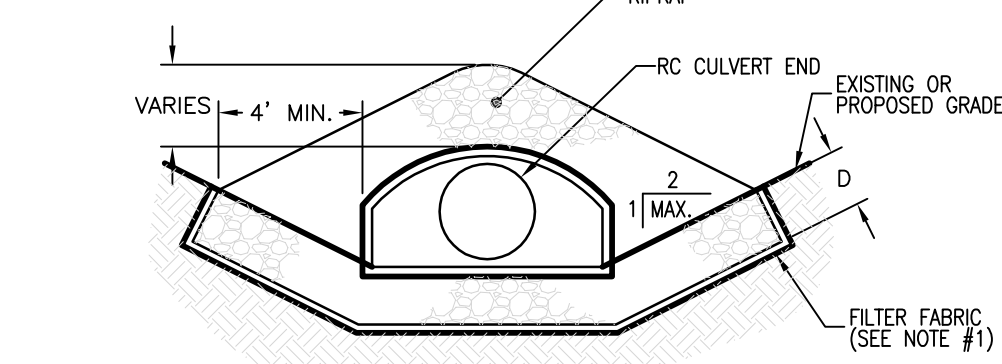
EXISTING SANITARY SEWER LATERAL PROFILE

PROFILE  
SCALE: HORIZ. = 1"=20'  
SCALE: VERT. = 1"=2'

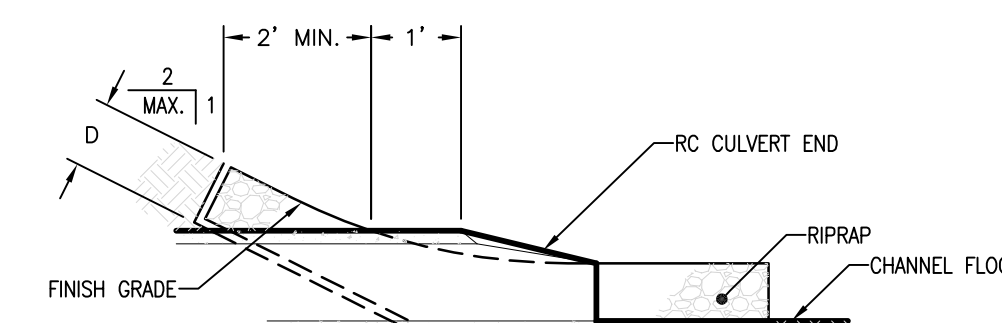
**CONSTRUCTION DETAILS:**

- NOTES:  
1. TAPER TRANSITION FOR CHANNEL INSTALLATIONS AS REQUIRED TO MATCH CHANNEL WIDTH, OR AS INDICATED ON THE PLANS.  
2. ALL TOTAL WIDTHS AND LENGTHS FOR SPREADER PAD INSTALLATIONS ARE AS INDICATED ON PLANS.  
3. FILTER FABRIC SHALL BE A WOVEN MONOFILAMENT FABRIC AS MANUFACTURED BY MIRAFI FABRIC 600X OR AMOCO FABRICS CO PROPEX 1325.

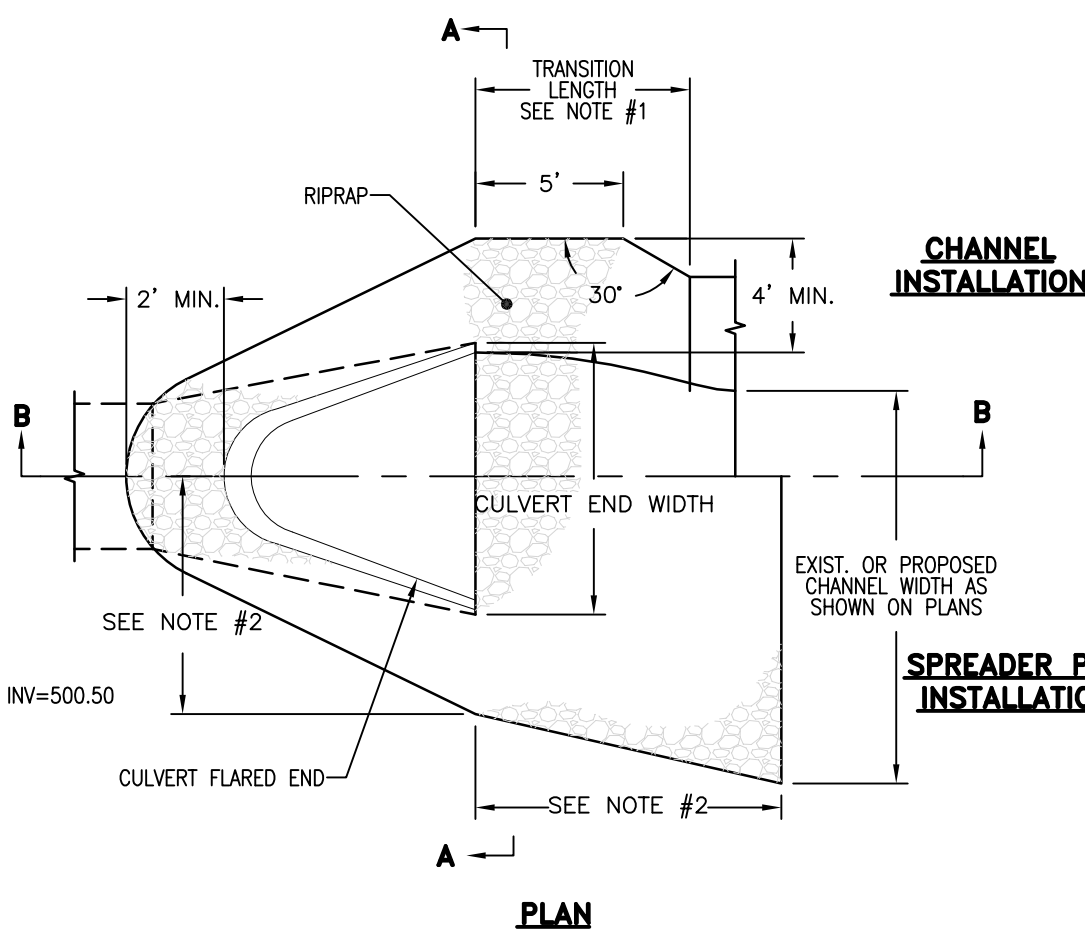
RIPRAP AS SPECIFIED ELSEWHERE ON THE DRAWINGS. DEPTH SHALL BE:  
D = MODIFIED 18"  
= INTERMEDIATE 27"  
= STANDARD 36"



SECTION A-A

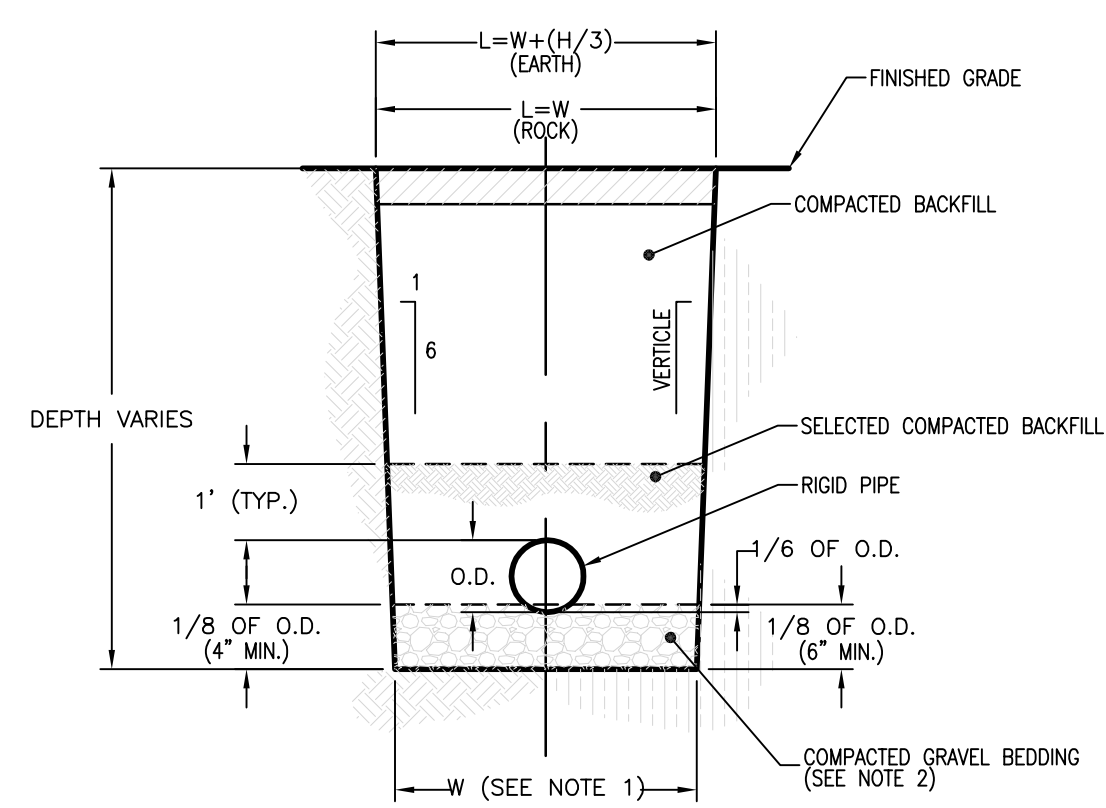


SECTION B-B

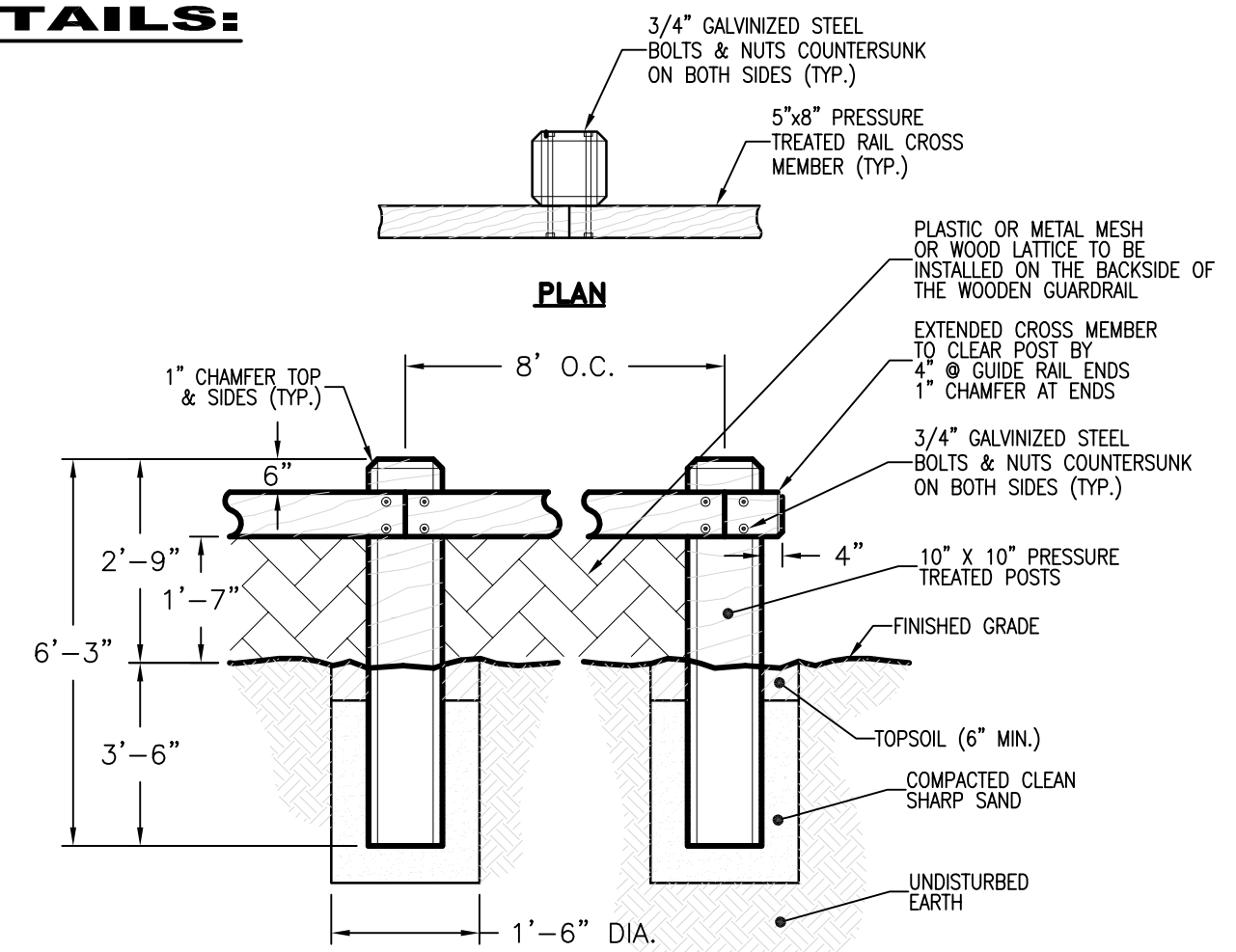


RIPRAP SPLASHPAD DETAIL  
N.T.S.

- NOTES:  
1. FOR UNSHEETED TRENCH WHERE PIPE O.D. IS 6" OR LESS THAN, PAYMENT WIDTH (W) = 2'-6", WHERE PIPE O.D. IS GREATER THAN 6" BUT LESS THAN OR EQUAL TO 36" THEN, W = O.D. + 2'-0"; WHERE PIPE O.D. IS GREATER THAN 36" THEN, W = O.D. + 3'-0".  
2. IF SUITABLE GRANULAR PIPE BEDDING MATERIAL IS AVAILABLE FROM ON SITE EXCAVATIONS, IT SHALL BE UTILIZED PROVIDED IT CONFORMS WITH THE "STATE OF CT STANDARD SPECIFICATIONS", AMENDED TO DATE AND IS APPROVED BY THE ENGINEER. IF NO SUITABLE ON SITE MATERIAL EXISTS, THE CONTRACTOR MUST USE BANK RUN GRAVEL COMPACTED TO 95% DRY DENSITY. NO PAYMENT SHALL BE MADE FOR THIS MATERIAL.  
3. TYPICAL FOR PIPE MATERIALS SPECIFIED, AS CAST IRON (C.I.), CONCRETE PIPE, VITRIFIED CLAY PIPE, DUCTILE IRON PIPE OR STEEL PIPE.  
4. SHEETING OR SHORING OF TRENCH WALLS, WHERE UNSUITABLE CONDITIONS EXIST, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
5. FOR ROCK REMOVAL DEPTHS (H) GREATER THAN 10', INCREASE PAYMENT WIDTH (W) BY 6". REMOVAL DEPTH SHALL BE MEASURED FROM THE TOP OF EXPOSED SURFACE.



CLASS 'C' TRENCH DETAIL  
N.T.S.



TYPICAL TIMBER GUIDERAIL DETAIL  
N.T.S.

**ROUTE 66 PACKAGE STORE  
193 EAST HIGH STREET  
PREPARED FOR  
RADHAY, LLC**

1	REVISIONS	09/28/21
2		
3		
4		
5		
6		

1	REVISIONS	09/28/21
2		
3		
4		
5		
6		

DRAWN BY: DAH  
DATE: 08/17/21  
SCALE: AS NOTED  
APPROVED BY: DAH

**DAVID A. HUGHES**  
PROFESSIONAL  
ENGINEER &  
LAND SURVEYOR  
57 NORWAY STREET  
DANVILLE, CT 06279  
(860) 945-6481

APPROVED BY THE EAST HAMPTON  
PLANNING & ZONING COMMISSION

FINAL APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
CHAIRMAN

DATE OF APPROVAL \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

PROJECT NO.  
0233  
DWG. NO.  
**C6**