LEGEND & ABBREVIATIONS

±	MORE OR LESS
TYP	TYPICAL
PVC	POLYVINYL CHLORIDE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
S.F.	SQUARE FEET
FF	FINISHED FLOOR
CS	CRAWLSPACE
GAR	GARAGE
SMH	SANITARY MANHOLE
TF	TOP OF FRAME
INV	INVERT
W/	WITH
WF #1	WETLAND FLAG
CONC	CONCRETE
REC	RECOVERED
N/F	NOW OR FORMERLY
AG	ABOVE GRADE
BG	BELOW GRADE
x 200.0	EXISTING SPOT ELEVATION
x 200.0	PROPOSED SPOT ELEVATION

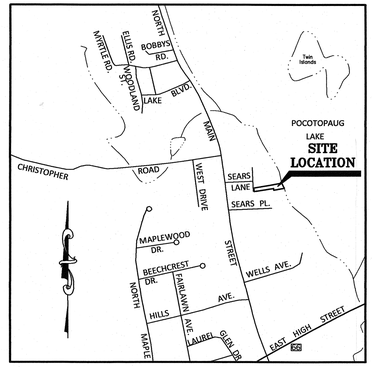
BSL	BUILDING SETBACK LINE
472	EXISTING CONTOUR
472	PROPOSED CONTOUR
	TREE LINE
	PROPOSED TREE LINE
	FINISHED WALL
	STONE WALL
E	UNDERGROUND ELECTRIC
	OVERHEAD WIRES
S	SANITARY SEWER
W	WATER
	ANGLE POINT
	IRON PIN
	FENCE POST
	UTILITY POLE
	GUY WIRE
S	SANITARY MANHOLE
	AUGER HOLE
W	WELL
	WETLAND FLAG

REFERENCE MAPS

1. BOUNDARY STAKE-OUT MAP, PROPERTY OF GUY & KAREN BRUNETTE #13 SEARS LANE, EAST HAMPTON, CONNECTICUT, SCALE: 1"=20', DATED: AUGUST 21, 2019, PREPARED BY: FLYNN LAND SURVEYING.
2. MAP SHOWING EASEMENTS TO BE ACQUIRED FROM LOUIS BRUNETTE BY THE TOWN OF EAST HAMPTON, EAST HAMPTON WATER & SEWER AUTHORITY, EAST HAMPTON, CONNECTICUT SANITARY SEWER PROJECT – CONTRACT NO. 4, SCALE: 1"=40', DATED: MAY, 1978, MAP NO. 41. PREPARED BY: CAHN ENGINEERS, INC.

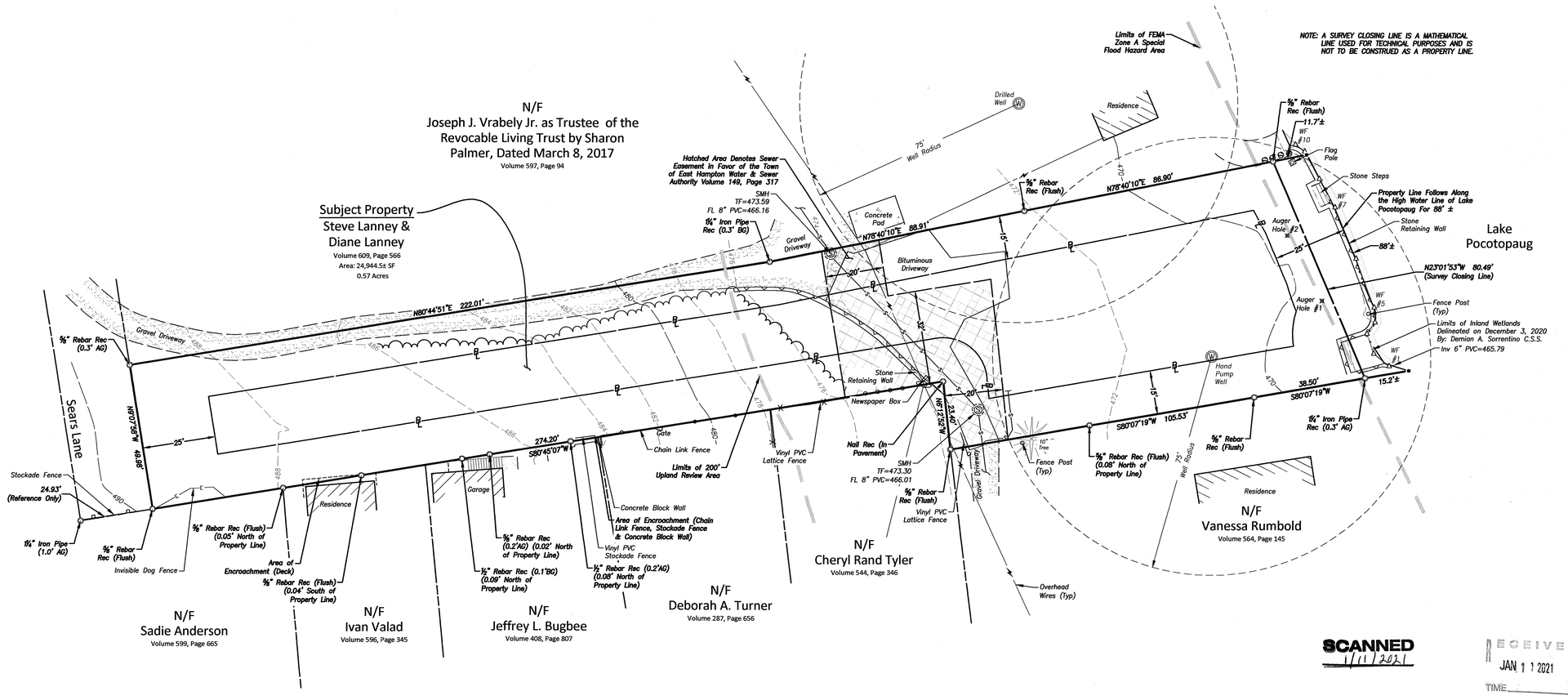
SURVEY NOTES

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. IT IS AN IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY BASED ON RESURVEY AND CONFORMS TO HORIZONTAL CLASS A-2 AND TOPOGRAPHIC CLASS T-2 ACCURACY STANDARDS. IT IS INTENDED TO BE USED FOR MUNICIPAL PERMITTING.
2. NORTH ORIENTATION DEPICTED HEREON IS APPROXIMATE NORTH AMERICAN DATUM 1983 (NAD83) BASED UPON GLOBAL POSITIONING SYSTEM OBSERVATIONS, OBSERVED ON DECEMBER 4, 2020.
3. VERTICAL DATUM DEPICTED HEREON IS APPROXIMATE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) BASED GLOBAL POSITIONING SYSTEM OBSERVATIONS USING GEOIDE12B ON DECEMBER 4, 2020.
4. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON THE LOCATION OF ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY OTHERS. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. ALL SUBTERRANEAN FEATURES AND IMPROVEMENTS MAY NOT BE DEPICTED OR NOTED HEREON. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. CONTACT "CALL BEFORE YOU DIG" AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS.
5. THE FIELD SURVEY WAS COMPLETED ON DECEMBER 4, 2020. LAND RECORD AND RELATED RESEARCH WAS COMPLETED ON NOVEMBER 20, 2020.
6. RECORD TITLE TO THE SUBJECT PROPERTY MAY BE REFERENCED TO A WARRANTY DEED FROM GUY BRUNETTE AND KAREN BRUNETTE TO STEVE LANNEY AND DIANE LANNEY RECORDED OCTOBER 15, 2020 IN THE TOWN OF EAST HAMPTON LAND RECORDS VOLUME 609 PAGE 566.
7. A PORTION OF THE PROPERTY IS LOCATED WITHIN THE ZONE A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD MAP PANEL 09007C0134G EFFECTIVE DATE AUGUST 28, 2008. NO STRUCTURES ARE PROPOSED WITHIN THE SPECIAL FLOOD HAZARD AREA.
8. THE PROPERTY IS LOCATED WITHIN THE LAKE POCOTOPAUG PROTECTION ZONE.



LOCATION MAP

SCALE: 1"=1000'



SCANNED 1/11/2021

RECEIVED JAN 11 2021 TIME

GRAPHIC SCALE

40 20 10 0 20

(IN FEET)
1 inch = 20 ft.

I HAVE CONDUCTED AN ON-SITE SOIL INVESTIGATION OF THE PARCEL OF LAND DEPICTED HEREON. THE INTERMITTENT WATERCOURSES AND INLAND WETLAND BOUNDARIES AS PORTRAYED ARE AN ACCURATE REPRESENTATION OF THE DELINEATION PERFORMED IN THE FIELD.

DAMIAN A. SORRENTINO, C.S.S. — 1/11/21 DATE

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

JOHN U. FAULISE JR. L.S. — 20016 LICENSE NO. — 1/11/21 DATE

CIVIL ENGINEERING LAND SURVEYING LAND USE PLANNING SOIL SCIENCE
BOUNDARIES
Boundaries LLC
179 Portage River Drive, Griswold, CT 06351
T 860.376.0200 | www.boundariesllc.net

Improvement Location & Topographic Survey "Existing Conditions Plan"

Prepared for
Steve and Diane Lanney
13 Sears Lane - East Hampton, Connecticut

N

SCALE:	1" = 20'
DATE:	January 2021
JOB I.D. NO.	20-2932
	Revisions

SHEET NO.
1
3

\\192.168.2.3\PROJECTS\CIVIL 3D PROJECTS\2020\20-2932 LANNEY\DWG\DESIGN\LANNEY-SITE PLAN.DWG

LEGEND & ABBREVIATIONS

±	MORE OR LESS
TYP	TYPICAL
PVC	POLYVINYL CHLORIDE
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S	SANITARY SEWER
W	WATER
	ANGLE POINT
	IRON PIN
	FENCE POST
	UTILITY POLE
	GUY WIRE
	SANITARY MANHOLE
	AUGER HOLE
W	WELL
	WETLAND FLAG

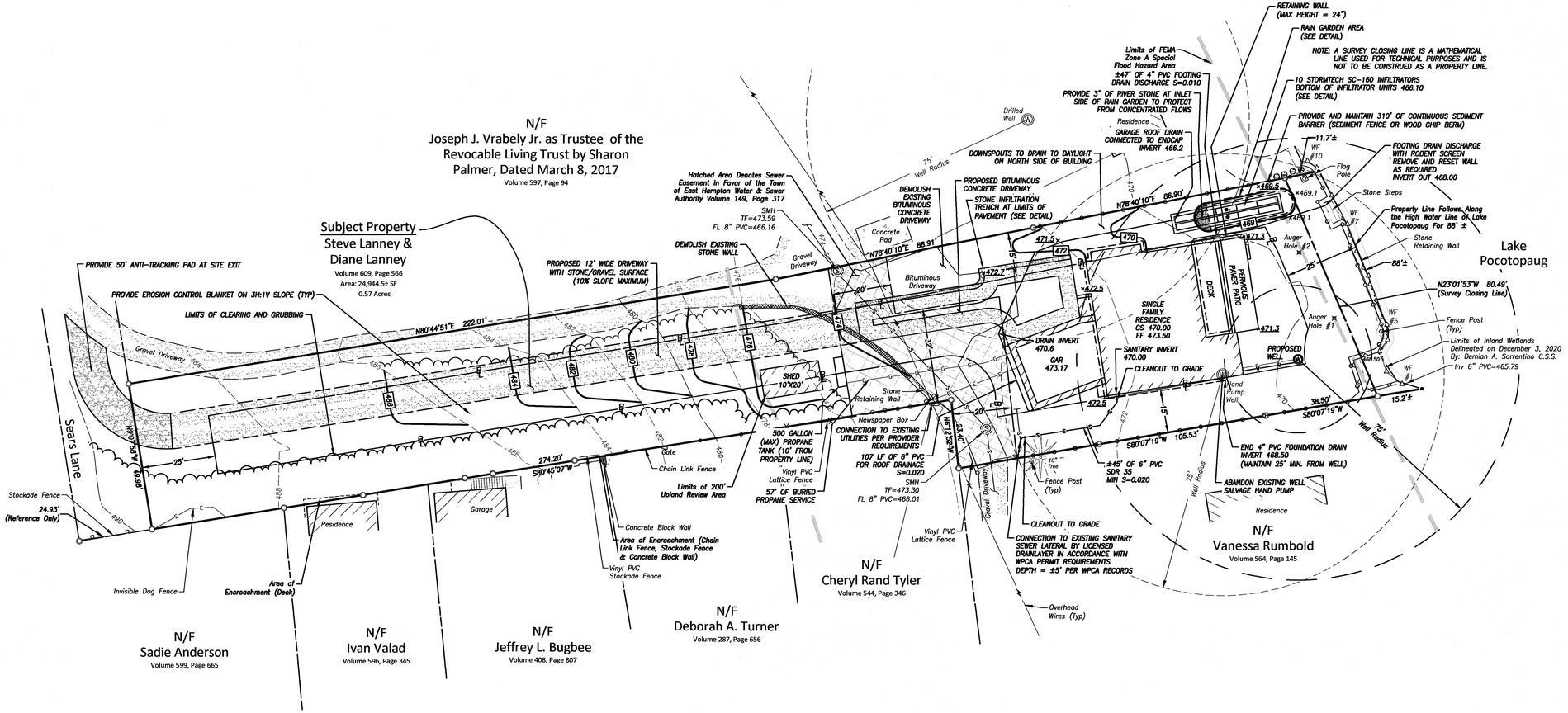
ZONING COMPLIANCE TABLE: "R-1" DISTRICT (WITH SEWER)

ITEM	REQUIRED	PROVIDED
MINIMUM LOT AREA	20,000 SF	24,944 SF
MINIMUM LOT WIDTH	125 FT	50 FT*
MINIMUM LOT DEPTH	125 FT	409 FT
MINIMUM LOT FRONTAGE	100 FT	50 FT*
MAXIMUM LOT COVERAGE	20%	17.3%**
MINIMUM FRONT YARD	25 FT	296 FT
MINIMUM SIDE YARD	15 FT	11.7 FT (N)*** 15.0 FT (S)
MINIMUM REAR YARD	25 FT	46 FT
MAXIMUM BUILDING HEIGHT	30 FT	<30 FT
WATER SUPPLY	PRIVATE WELL	
SANITARY	MUNICIPAL	

*EXISTING NON-CONFORMING LOT OF RECORD
**LOT COVERAGE CALCULATION
BUILDING = 2,598 SF
DECK = 317 SF
SHED = 200 SF
BITUMINOUS DRIVEWAY = 1,207 SF
TOTAL = 4,322 SF
***MINIMUM SIDE YARD OF PREVIOUS STRUCTURE IS 11.3 FT PER TOWN RECORDS.

RAIN GARDEN SIZING

RAIN GARDEN SIZED FOR 1" RAINFALL FROM THE PROPOSED ROOF AREA AND BITUMINOUS DRIVEWAY.
APPROXIMATE ROOF AREA = 2,861 SF
BITUMINOUS DRIVEWAY AREA = 1,207 SF
REQUIRED VOLUME FOR 1" RAINFALL = 339 CF
STORAGE PROVIDED BY STONE INFILTRATION TRENCH = 46 CF (78 FT X 1.5 FT X 1 FT X 40%)
STORAGE PROVIDED BY RAIN GARDEN = 145 CF ((251 SF + 329 SF)/2 X 0.5 FT)
STORAGE PROVIDED BY INFILTRATORS BELOW RAIN GARDEN = 150 CF (10 SC-160 X 15.0 CF)
TOTAL STORAGE PROVIDED = 341 CF



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DEMIAN A. SORRENTINO, C.S.S. — 1/11/21 DATE

DAVID C. MCKAY, P.E. — 29102 LICENSE NO. — 1-8-21 DATE

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

JOHN H. FAULISE JR. L.S. — 70016 LICENSE NO. — 1/11/21 DATE

\\192.168.2.3\PROJECTS\CIVIL 3D PROJECTS\2020\20-2932 LANNEY\DWG\DESIGN\LANNEY-SITE PLAN.DWG

CIVIL ENGINEERING LAND SURVEYING LAND DEVELOPMENT PLANNING SOIL SCIENCE
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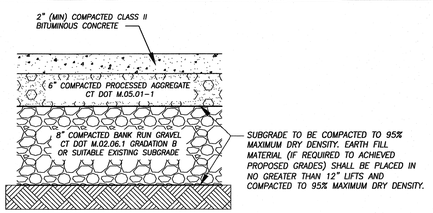
T 860.376.3006 | www.boundariesllc.net

Improvement Location & Topographic Survey
"Residential Site Development Plan"
Prepared for
Steve and Diane Lanney
13 Sears Lane - East Hampton, Connecticut

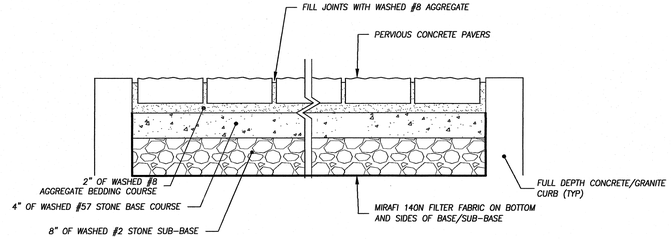
SCALE: 1" = 20'
DATE: January 2021
JOB I.D. NO. 20-2932
Revisions

SHEET NO.
2
3



BITUMINOUS CONCRETE PAVEMENT DETAIL

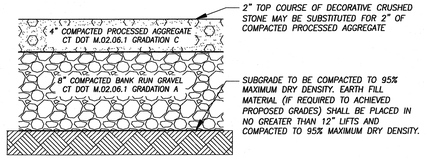
NOT TO SCALE



NOTE: SEE PLAN FOR LOCATION AND DIMENSIONS.

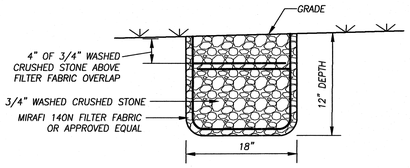
PERVIOUS PAVER PATIO DETAIL

NOT TO SCALE



TRAFFIC BOUND GRAVEL SURFACE DETAIL

NOT TO SCALE



STONE INFILTRATION TRENCH

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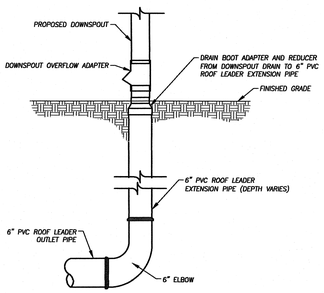

BELOW GRADE DOWNSPOUT ASSEMBLY

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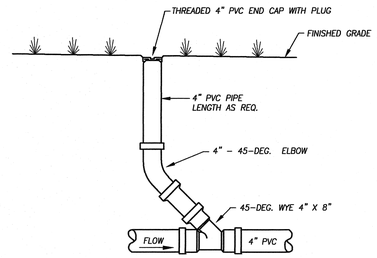
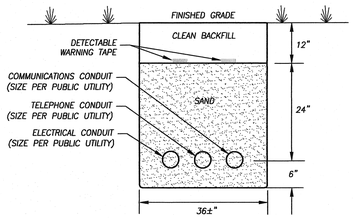


4" PVC CLEANOUT DETAIL

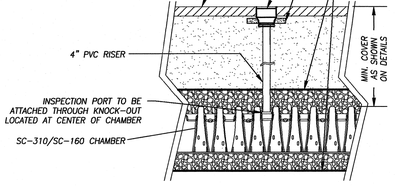
NOT TO SCALE



NOTE: CONTRACTOR TO CONFIRM UTILITY CONDUIT REQUIREMENTS PRIOR TO CONSTRUCTION

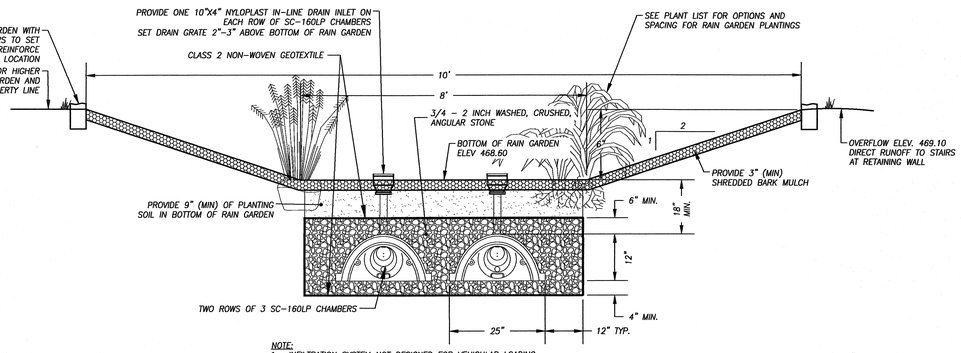
UTILITY TRENCH DETAIL

NOT TO SCALE



INFILTRATION CHAMBER OVERFLOW DETAIL

NOT TO SCALE



NOTE:
1. INFILTRATION SYSTEM NOT DESIGNED FOR VEHICULAR LOADING.
2. INSTALL INFILTRATION SYSTEM (TWO ROWS OF 5 SC-160LP CHAMBERS) IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. PROVIDE ONE YARD DRAIN PER ROW OF CHAMBERS ON INSPECTION CLEANOUT.

RAIN GARDEN WITH INFILTRATION SYSTEM DETAIL

NOT TO SCALE

NARRATIVE

THIS PROPOSAL INVOLVES IMPROVEMENTS TO AN EXISTING 0.57± ACRE PROPERTY LOCATED AT 13 SEARS LANE IN EAST HAMPTON, CONNECTICUT. THE PROPERTY RECENTLY CONTAINED A SINGLE–FAMILY RESIDENCE WHICH BURNED AND WAS DEMOLISHED IN 2013. THIS PROPOSAL INCLUDES THE CONSTRUCTION OF A NEW SINGLE–FAMILY RESIDENCE AND ASSOCIATED SITE IMPROVMENTS. THE CURRENT ZONING DESIGNATION OF THE SUBJECT PROPERTY IS R–1, AND THE PROPERTY IS ALSO LOCATED IN THE LAKE POCOTOPAUG PROTECTION ZONE.

IMPROVEMENTS TO THE SITE REQUIRED TO SUPPORT THE PROPOSED USES INCLUDE: A TWO–STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE; A DETACHED STORAGE SHED (200 SQUARE FEET); A NEW STONE/GRAVEL DRIVEWAY TO ACCESS THE PROPERTY; A PAVED AREA IN FRONT OF THE PROPOSED GARAGE; A PERVIOUS PAVER PATIO; STORMWATER INFILTRATION SYSTEMS AND A RAIN GARDEN; A NEW POTABLE WATER SUPPLY WELL; AND ASSOCIATED SITE GRADING.

ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR THE STATE OF CONNECTICUT, THE SOILS LOCATED UPON THE SUBJECT PROPERTY CONSIST OF:

57B GLOUCESTER GRAVELLY SANDY LOAM, 3–8% SLOPES

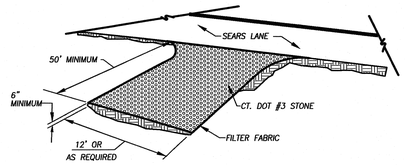
INLAND WETLANDS AND WATERCOURSES LOCATED UPON THE SUBJECT PROPERTY WERE DELINEATED BY DEMIAN A. SORRENTINO, CERTIFIED SOIL SCIENTIST. THERE ARE NO ACTIVITIES PROPOSED WITHIN A WETLAND OR WATERCOURSE. REGULATED ACTIVITIES PROPOSED WITHIN THE 200' UPLAND REVIEW AREA INCLUDE: CLEARING, GRUBBING, GRADING, CONSTRUCTION OF PARKING AREAS AND VEHICULAR CIRCULATION DRIVES, CONSTRUCTION OF THE SINGLE–FAMILY RESIDENCE AND ASSOCIATED IMPROVEMENTS; RAIN GARDEN AND STORMWATER INFILTRATION SYSTEMS; LANDSCAPING; AND EROSION & SEDIMENTATION CONTROLS.

TOPSOIL WILL BE STOCKPILED ON SITE FOR REUSE IN CONJUNCTION WITH FINAL GRADING AND STABILIZATION, FOR STABILIZING AREAS OUTSIDE OF BUILDINGS, CIRCULATION AND PARKING AREAS AFTER GRADING IS COMPLETED, A 4" MINIMUM DEPTH OF TOPSOIL WILL BE PLACED AND SEEDED WITH GRASS AND MULCH FOR PERMANENT STABILIZATION.

SEDIMENT FENCE OR WILL BE INSTALLED AT LOCATIONS SHOWN PRIOR TO ANY EARTHWORK OPERATIONS. THESE MEASURES WILL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.

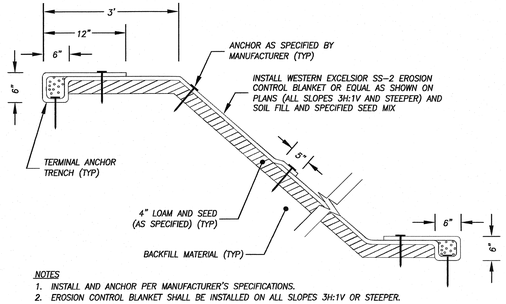
CONSTRUCTION SEQUENCE

1. SECURE ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS.
2. ROUGH GRADE DRIVEWAY ENTRANCE AND INSTALL ANTI–TRACKING PAD. INSTALL SEDIMENT FENCE IN SPECIFIED LOCATION AS SHOWN DOWNGRADIENT OF PROPOSED DEVELOPMENT AREAS.
3. CLEAR AND GRUB DEVELOPMENT AREA AND DISPOSE OF VEGETATION OFF–SITE AT AN APPROVED LOCATION.
4. STRIP TOPSOIL FROM DEVELOPMENT AREA AND STOCKPILE AT AN APPROVED LOCATION FOR LATER REUSE. SURROUND STOCKPILE WITH SEDIMENT FENCE INSTALLED PER DETAIL AND SEED TOPSOIL STOCKPILE WITH RYEGRASS FOR TEMPORARY STABILIZATION.
5. ROUGH GRADE SITE, CONSTRUCT DRIVEWAY.
6. CONSTRUCT HOUSE, WATER SUPPLY WELL, UTILITIES, AND PERFORM FINAL SITE GRADING.
7. AT COMPLETION OF CONSTRUCTION, LOAM ALL DISTURBED AREAS (4" MINIMUM), SEED WITH GRASS AND MULCH. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE EROSION CONTROL MEASURES.



ANTI-TRACKING PAD AT DRIVEWAY

NOT TO SCALE



NOTES
1. INSTALL AND ANCHOR PER MANUFACTURER'S SPECIFICATIONS.
2. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER.

EROSION CONTROL BLANKET DETAIL

NOT TO SCALE

RAIN GARDEN PLANT OPTIONS LIST

PERENNIALS AND GRASSES IN RAIN GARDENS – PLANT POTS AT 30" OC / PLUGS AT 18" OC

CD	BOTANICAL NAME	COMMON NAME	SIZE
AP	ASTER N.A. PURPLE DOME	PURPLE DOME ASTER	5 PT. POT
CK	CALAMAGROSTIS KARL FOERSTER	FEATHER REED GRASS	2 GAL. POT
CL	CAREX LURIDA	LURID SEDGE	2" PLUG
EM	ECHINACEA P. MAGNUS	MAGNUS CONEFLOWER	5 PT. POT
EG	EUPATORIUM F. GATEWAY	GATEWAY JOE PYE WEED	GAL. POT
HD	HEMEROCALLIS DARING DECEPTION	REDBLOOMING DAYLILY	5 PT. POT
IV	IRIS VERSICOLOR	BLUE FLAG	2" PLUG
IS	IRIS SIBERICA	SIBERIAN IRIS	5 PT. POT
JE	JUNCUS EFFUSUS	COMMON RUSH	2" PLUG
JU	JUNCUS EFFUSUS UNICORN	GIANT SPIRAL RUSH	GAL. POT
JT	JUNCUS TENUOUS	PATH RUSH	2" PLUG
LK	LIATRIS SPICATA KOBOLD	GAYFEATHER	5 PT. POT
RG	RUDBECKIA F. GOLDSTREAM	BLACK EYED SUSAN	5 PT. POT

DAVID C. MCKAY, P.E. — 29102 LICENSE NO. — 12-21 DATE

OPERATION & MAINTENANCE OF EROSION CONTROLS

NO CONSTRUCTION SHALL PROCEED UNTIL PROPER SEDIMENTATION AND EROSION CONTROL METHODS HAVE BEEN INSTALLED AS THE SEQUENCE OF CONSTRUCTION NECESSITATES.

ALL TEMPORARY FILL, STORAGE OR STOCKPILE AREAS SHALL BE PROPERLY STABILIZED TO PREVENT EROSION AND SUITABLY CONTAINED TO PREVENT TURBID RUNOFF. ALL AREAS AFFECTED BY TEMPORARY FILLS SHALL BE RESTORED TO THEIR ORIGINAL CONTOURS, AND RE–VEGETATED WITH SUITABLE VEGETATION. THE USE OF TEMPORARY FILL AND/OR EXCAVATION SHALL BE MINIMIZED TO ONLY THAT AREA REQUIRED TO PERFORM THE WORK.

DUMPING OF OIL OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE DEVELOPER OR CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL FROM EQUIPMENT USED ON SITE. VEHICLE MAINTENANCE SHALL BE COMPLETED OFF SITE. ALL OIL SPILLS SHALL BE IMMEDIATELY REPORTED TO THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION/HAZARDOUS MATERIALS OFFICE. FAILURE TO DO SO MAY RESULT IN THE IMPOSITION OF FINES UNDER THE APPLICABLE CONNECTICUT GENERAL STATUTES.

EVERY PRECAUTION SHALL BE USED DURING CONSTRUCTION TO PREVENT AND MINIMIZE THE DEGRADATION OF THE EXISTING WATER QUALITY. ALL ACTIVITIES SHALL BE IN CONFORMANCE TO AND CONSISTENT WITH ALL APPLICABLE WATER QUALITY STANDARDS AND MANAGEMENT PRACTICES AS SET FORTH BY LOCAL, STATE AND FEDERAL AGENCIES.

DURING THE PERIOD OF CONSTRUCTION, THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL MEASURES. SAID MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINSTORM. ACCUMULATED DEPOSITS OF SEDIMENT AND SILT SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE EROSION AND SEDIMENT CONTROL BARRIERS, AND UPON ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. SUCH MATERIALS REMOVED SHALL BE SPREAD AND STABILIZED IN NON–WETLAND AREAS WHICH ARE NOT SUBJECT TO EROSION, OR WHICH ARE NOT TO BE PAVED OR BUILT UPON.

HAY BALES, SEDIMENT FENCE AND OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, CLEANED AND/OR REPLACED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO MAINTAIN COMPLETE AND INTEGRAL EROSION AND SEDIMENT CONTROL PROTECTION. ONCE IN PLACE, ALL EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES ARE TO REMAIN IN PLACE AND IN PROPER CONDITION AND BE CONTINUOUSLY MAINTAINED UNTIL FINAL GRADING HAS BEEN COMPLETED, ALL DISTURBED AREAS UPGRADIENT OF SAID FACILITIES HAVE BEEN PERMANENTLY STABILIZED, AND ALL NEWLY GRASSED AREAS HAVE HAD AT LEAST TWO MOWINGS. FOLLOWING SUCH PERMANENT STABILIZATION, THE FACILITIES SHALL BE DISMANTLED, REMOVED, AND DISPOSED OF IN AN APPROVED MANNER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE SHOWN ON THE PLANS OR PRESCRIBED HEREIN SHALL BE PUT IN PLACE, WHENEVER NECESSARY, TO ADDRESS FIELD CONDITIONS AND/OR AS ORDERED BY THE TOWN OF NORTH STONINGTON.

DISTURBANCE OF THE LAND SHALL BE LIMITED TO THE MINIMUM EXTENT NECESSARY TO COMPLETE THE PROPOSED DEVELOPMENT. ALL EXISTING TREES AND SHRUBS SHALL BE CONSERVED WHERE POSSIBLE, EXCEPT THOSE WHOSE REMOVAL IS REQUIRED TO PERFORM THE PROPOSED WORK. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD PRIOR TO STARTING ANY ACTUAL CONSTRUCTION ACTIVITIES AND SHALL BE GENERALLY AS DEPICTED ON THIS PLAN.

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE SITE IN ACCORDANCE WITH THE PROCEDURES AS OUTLINED IN THE "GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES" AS ADOPTED BY THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION, EFFECTIVE ON OCTOBER 1, 2013.

THE CONTRACTOR SHALL INSPECT ALL DISTURBED AREAS OF CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF RAIN EVENTS WITH 0.5 INCHES OR GREATER OF RAINFALL. WHERE SITES HAVE BEEN TEMPORARILY OR FINALLY STABILIZED, SUCH INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH FOR THREE CONSECUTIVE MONTHS.

DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND MAINTENANCE TO ASSURE PROPER PERFORMANCE OF THE SEDIMENTATION AND EROSION CONTROL SYSTEM. INSPECTING AND MAINTAINING SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
- INSPECTION OF ALL SEDIMENT FENCE AND STAKED HAY BALES, REMOVE ACCUMULATED SEDIMENT IF REQUIRED (GREATER THAN 4" DEPTH)
- INSPECTION OF ANTI–TRACKING PAD, REMOVE, DISPOSE AND REPLACE IF PAD IS NO LONGER FUNCTIONAL IN THE CATCHMENT OF SEDIMENTS FROM VEHICULAR/TRUCK TRAFFIC.
- INSPECTION OF ALL DRIVEWAY AND PARKING AREAS AFTER PAVING, REMOVE ACCUMULATED SEDIMENT AND ANY LITTER/DEBRIS.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO INSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS OR POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO DOWNSTREAM WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF–SITE SEDIMENT TRACKING.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE DEPICTED HEREIN SHALL BE PUT IN PLACE WHENEVER NECESSARY TO ADDRESS FIELD CONDITIONS AND/OR AS ORDERED BY THE TOWN OF NORTH STONINGTON, OR THEIR DESIGNATED AGENT.

THE CONTRACTOR SHALL APPOINT AN AGENT WHO SHALL BE PERSONALLY RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN AND ENFORCING THE PRESCRIBED SAFEGUARDS DURING THE CONSTRUCTION PERIOD.

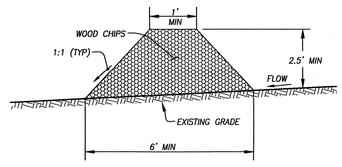
THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PROPER TOWN AGENCIES AND OFFICIALS OF ANY TRANSFER OF THIS RESPONSIBILITY, AND CONVEYING A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED TO A THIRD PARTY.

EROSION CONTROL NOTES

1. ALL UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT "CALL–BEFORE–YOU–DIG" AT 1–800–922–4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. THE RESPONSIBLE PARTY WITH RESPECT TO THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES IS THE PROPERTY OWNER WHO CAN BE REACHED AT (860) 367–7877.
3. THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION, DEP BULLETIN 34, SHALL BE USED FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES. THE PROPERTY OWNER SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY IF DIRECTED BY THE ENGINEER OR THE TOWN OF NORTH STONINGTON STAFF.
4. SEEDING FOR PERMANENT STABILIZATION SHALL BE COMPLETED BETWEEN APRIL 15 THROUGH JUNE 15 OR BETWEEN AUGUST 15 THROUGH SEPTEMBER 15. IF SEEDING CANNOT BE COMPLETED WITHIN THESE TIMES, APPLICATION OF TEMPORARY MULCH WILL BE CONDUCTED UNTIL THE NEXT SEEDING PERIOD. SEED MIXTURE SHALL BE AS FOLLOWS:

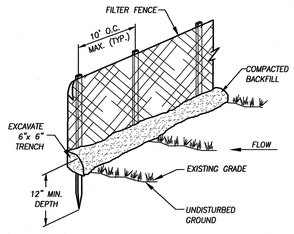
KENTUCKY BLUEGRASS	20 LBS/ACRE	OR	0.45 LBS/1,000 SF
CREEPING RED FESCUE	20 LBS/ACRE	OR	0.45 LBS/1,000 SF
PERENNIAL RYEGRASS	5 LBS/ACRE	OR	0.10 LBS/1,000 SF

5. MULCH SHALL BE A GOOD QUALITY HAY OR STRAW AND SHALL BE APPLIED AT A RATE OF APPROXIMATELY 2–3 BALES/1,000 SF.
6. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAIN EVENTS WITH GREATER THAN 0.5" OF RAINFALL IN A 24–HOUR PERIOD, AND REPAIRED OR REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.



WOOD CHIP BERM

NOT TO SCALE



SEDIMENT FENCE DETAIL

NOT TO SCALE

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BOUNDARIES
CIVIL ENGINEERING LAND SURVEYING LAND USE PLANNING SOIL SCIENCE
Boundaries LLC
179 Pautipaug River Drive, Griswold, CT 06351
T 860.376.2006 | www.boundariesllc.net

Improvement Location & Topographic Survey
"Notes and Details"
Prepared for
Steve and Diane Lanney
13 Sears Lane - East Hampton, Connecticut

SCALE: As Noted
DATE: January 2021
JOB I.D. NO. 20-2932
Revisions

SHEET NO. 3 / 3