

Inland Wetlands & Watercourses Agency Application



Office Use Only

Fee Paid 335CK#115 Date Approved Permit Number IW-23-025
Public Hearing: YES NO Agent Approval: YES NO

TOWN OF EAST HAMPTON
INLAND WETLANDS & WATERCOURSES AGENCY (Revised 1/27/2012)

Date: 9.29.23

1. Name of Applicant* Jacob Sapia
Phone Numbers: Home, Business, Cell (860) 301-9895
Home Address: Street 12 Brook Trail Town East Hampton State/Zip 06424
Business Address: Street Town State/Zip

* All applications MUST list contact phone numbers. If the applicant is a Limited Liability Corporation or a Corporation, provide the managing member's or responsible corporate officer's name, address, and telephone number.

2. Name of Property Owner (if different from Applicant): See Above Phone
Address: Street Town State/Zip

As the legal owner of the property listed on this application I hereby consent to the proposed activities. I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.

Printed Name: X Jacob Sapia Signature: X Date: X 10-11-2023

3. Provide the applicant's interest in the land. Owner

4. Site Location and Description: Assessor's Map 10A, Block 78, Lot 28
Address: Street 15 Brook Trail Town East Hampton State/Zip CT, 06424

Note: It is the applicant's responsibility to provide the correct site address, map, block, and lot number for the legal notice.

Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation.

Area of Wetland to be disturbed: 0.0 acres or sq. ft.
Area of Watercourse to be disturbed: 0.0 acres or sq. ft.
Area of Upland Review Area to be disturbed: 0.089 ac. acres or sq. ft. (Area within 100' of wetland)

TOTAL AREA OF DISTURBANCE 0.089 ac. acres or sq. ft.

Will fill be needed on site? Yes No X If yes, how much fill is needed? cubic yards

The property contains (circle one or more)

WETLANDS, BROOK, RIVER, INTERMITTANT STREAM, VERNAL POOL, SWAMP, OTHER

Description of soil types on site: see attached

(http://websoilsurvey.nrcs.usda.gov/app/)

Description of wetland vegetation: see attached

Name of Soil Scientist and date of survey: Eric Davison C.S.S. July 2023

5. Attach a written narrative of the purpose and description of the proposed activity and proposed erosion and sedimentation controls, best management practices, and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including but not limited to; measures to: (1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance or create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: construction schedule, sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computations, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer. Include a construction schedule, impacts to vegetation, and pictures that clearly show the existing conditions of all areas to be disturbed and/or cleared of vegetation.

6. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagramed on a site plan or drawing.

(Attach plans showing all alternatives considered.)

The proposed house is placed as far as possible from the wetlands based on the front building setback. line
The house size is also very small at 33' x 21'. There is no other location on this small pre-existing lot for the house
to be placed.

7. Attach a site plan showing the proposed activity and existing and proposed conditions in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands or watercourses. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.

8. Attach the names and mailing addresses of adjacent landowners. Attach additional sheets if necessary.

Name See Attached Address _____
Name _____ Address _____
Name _____ Address _____

9. Attach a completed DEP reporting form.

The Agency shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-39-14 of the Regulations of Connecticut State Agencies.

10. Attach the appropriate filing fee based on the fee schedule in Section 19 of the regulations.

Fee: ~~8360.00~~ 335 (Make check payable to "The Town of East Hampton")

11. Name of Erosion Control Agent (Person Responsible for Compliance): Jacob Sapia
Phone Numbers: Home _____, Business _____, Cell (860) 301-9895
Address: Street 12 Brook Trail Town East Hampton, CT State/Zip 06424

12. Are you aware of any wetland violations (past or present) on this property? YES NO X
If yes, explain _____

13. Are you aware of any vernal pools located on or adjacent (within 500') to the property? YES NO X

14. For projects that do not fall under the ACOE Category 1 general permit – Have you contacted the Army Corps of Engineers? YES NO N/A

15. Is this project within a public water supply aquifer protection area or a public water supply watershed area?
YES NO X
If so, have you notified the Commissioner of the Connecticut Department of Public Health and the East Hampton WPCA?
YES NO
(Proof of notification must be submitted with your application.)

16. PUBLIC HEARINGS ONLY. The applicant must provide proof of mailing notices to the abutters prior to the hearing date.

17. As the applicant I am familiar with all the information provided in the application and I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

Printed name: Jacob Sapia, Signature: [Signature], Date: 10-11-2023

Please Note: You or a representative must attend the Inland Wetlands meeting to present you application.



Office Use Only	
Project#	IW-23
Address:	15 Brook Hill
MBL:	10A/78/28

Minimum Requirements for Submission of Application to Inland Wetlands and Watercourses Agency

This form must be submitted with your application

Please check all that are being submitted:

- Completed Application Form (4 Pages)
 - Fee Paid
 - Site Plan (Showing project location, extent of wetlands, dimensions, etc) – PDF & 4 Copies of 11 x 17s
 - PDF & 4 Copies Project Narrative – PDF & 4 Copies of 11 x 17s
 - Soils Report (As Required)
 - Stormwater Report (As Required)
 - Completed Application Checklist (Page 3 of Application)
 - Schedule a Site Visit with Planning & Zoning Official at time of Application
- Date of Site Visit: _____

I certify that this application is complete:

Signature of Applicant: _____ Date: _____

The Agency reserves the right to add additional requirements in accordance with the Regulations.

Only Complete Application Packages Will Be Accepted

Abutters List:

FENNELLY, SALLY
5 GREEN MEADOW DR
GRANBY, CT 06035
Parcel ID: 10A-78-29

LEOR20210328 LLC
4 SHERRY DRIVE
EAST HAMPTON, CT 06424
Parcel ID: 10A-78-10

DAVID ROBERT, EVERTON JR
73 TREVOR LN
BREWSTER, MA 02653
Parcel ID: 10A-78-11

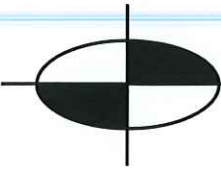
FLOOD MICHAEL J
11 BROOK TRL
EAST HAMPTON, CT 06424
Parcel ID: 10A-78-25

CHECKLIST FOR A COMPLETE APPLICATION

- A narrative of the purpose and description and methodology of all proposed activities;
 - Alternatives considered by the applicant, reasons for leaving less than a 10' buffer between clearing and the wetlands. Such alternatives to be diagrammed on a site plan or drawing and submitted to the commission as part of the application;
 - Names and mailing addresses of abutting property owners;
 - Three copies of approximately 1"=40' scale plans
 - Locations of existing and proposed land uses
 - Locations of existing and proposed buildings
 - Locations of existing and proposed subsurface sewage disposal systems, and test hole descriptions
 - Existing and proposed topographical and man-made features including roads and driveways, on and adjacent to the site. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.
 - Location and diagrams of proposed erosion control structures
 - Pictures of existing conditions clearly showing all areas to be disturbed, and/or cleared of vegetation.
 - Assessor map, block and lot number
 - Key or inset map
 - North arrow
 - Flood zone classification and delineation *N/A*
 - Use of wetland and watercourse markers where appropriate.
 - Soil types classification and boundary delineation (flagged and numbered boundary), Soil Scientist's original signature and certification on plans
 - Soil Scientist's (or other wetland scientist) report on the function of the wetlands
 - Watercourse channel location and flow direction, where appropriate *N/A*
 - 100 ft. regulated area depicted on plans
 - Conservation easements where appropriate *N/A*
 - A detailed erosion and sediment control plan which meets requirements set forth in the most recent revision of the *Connecticut Guidelines for Soil Erosion and Sediment Control*, published by the Connecticut Council on Soil and Water Conservation, including:
 - Location of areas to be stripped of vegetation and other unprotected areas
 - Schedule of operations including starting and completion dates for major development phases
 - Seeding, sodding, or re-vegetation plans for all unprotected or un-vegetated areas
 - Location and design of structural sediment control measures
 - Timing of planned sediment control measures
 - Use of wetland and watercourse markers
 - Proper certification on the application documents and plans
- In the case of filling in wetlands, watercourses, or regulated upland areas, the following items are necessary:
- Area to be filled
 - Volume of requested fill
 - Finished slopes of filled areas
 - Containment and stabilization measures
 - Proposed finished contours
 - Evaluation of the effect of filling the wetlands with respect to storage volume and its impact downstream showing before and after development flows, and the evaluation of storm water detention including the existing need for flood control downstream

Other required items:

- Proof of adjoining Town notification, where required;
- All application fees required by Section 19 of these regulations; →
- A written narrative detailing how the effects of the applicant's proposed activities upon wetlands and watercourses shall be mitigated.
- A written description of any and all future plans which may be linked to the activities proposed in the current application.
- Address the potential to enhance the current buffer area.
- Review drainage information with Town Engineering
- Mailing requirements for abutters (public hearing only)



BASCOM & BENJAMIN, LLC

SURVEYING and ENGINEERING CONSULTANTS

360 MAIN STREET DURHAM, CT 06422
TEL. (860) 349-1676
www.bascombenjamin.com
bascombenjamin@yahoo.com

LETTER OF TRANSMITTAL

DATE	10/ / 23	JOB NO	1317-01
ATTENTION			
RE:	15 Break trail.		

To East Hampton Wetland Comp.

WE ARE SENDING YOU

- Shop drawings
 Prints
 Filing Mylar

COPIES	DATE	NO	DESCRIPTION
4	10/7/23	1	SITE PLAN 24 x 36
7	10/7/23	1	11 x 17
1	-	1	WETLAND APP. CHECK # 335
1	-	1	ABUTMENT LIST
1	-	1	DEEP FORM

THESE ARE TRANSMITTED as checked below

- For approval
 For your use
 For review and comment

- Received by _____
 Date _____

Remarks _____

Wetlands Application Narrative.

This project involves the development of a single family residential building lot. A Site Development Plan with a larger house was approved by the Wetlands Commission in 2006. That permit has expired. A wetland band is located to the rear of the property. A small two-story house is being proposed with a 693 s.f. footprint. The house is being constructed on a slab further reducing the site disturbance. The proposed house location is set as far as possible from the wetlands, immediately adjacent to the front building setback line. The house will tie into the existing sanitary sewer system. Silt fence is around the areas to be disturbed. The silt fence on the downhill side adjacent to the wetlands is back up by staked haybales for additional silt removal. The slopes on the sides and rear of the proposed house will be covered with a stake in place erosion control blanket to reduce silt runoff from the site. The roof water will be directed to an underground gallery infiltration system with an overflow for large storm water events. The Site Development Plan contains a Construction Sequence and Erosion and Sedimentation Control Notes and details for the project.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions on pages 2 and 3 and mail to:
DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106
Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions - one code only): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (print name): EAST HAMPDEN, CT
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the activity is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: Moorus or number: 69
subregional drainage basin number: 4709
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): JACOB SAPIA
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (print information): 15 BROOK TRAIL
briefly describe the action/project/activity (check and print information): temporary permanent description: SINGLE FAMILY HOUSE
- ACTIVITY PURPOSE CODE (see instructions - one code only): B
- ACTIVITY TYPE CODE(S) (see instructions for codes): 2, 14, 12
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, must provide acres or linear feet):
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): 0.089 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

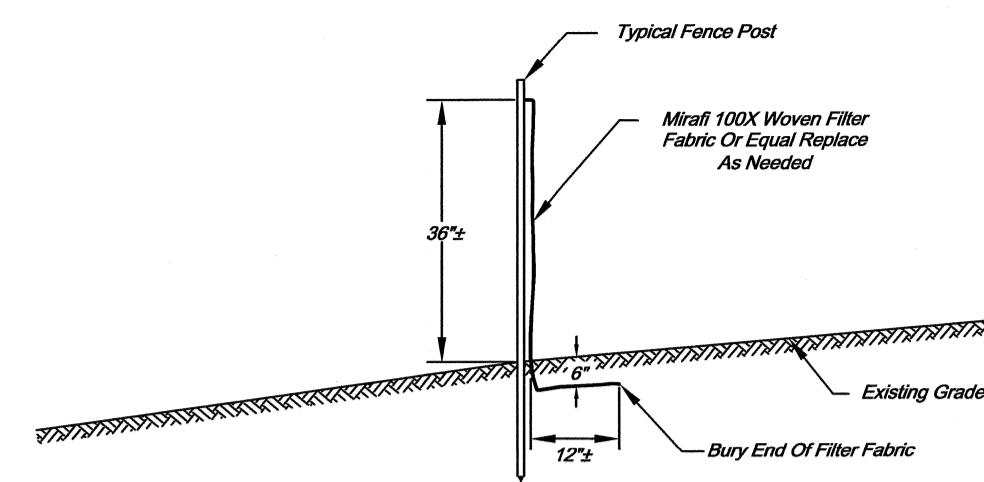
DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

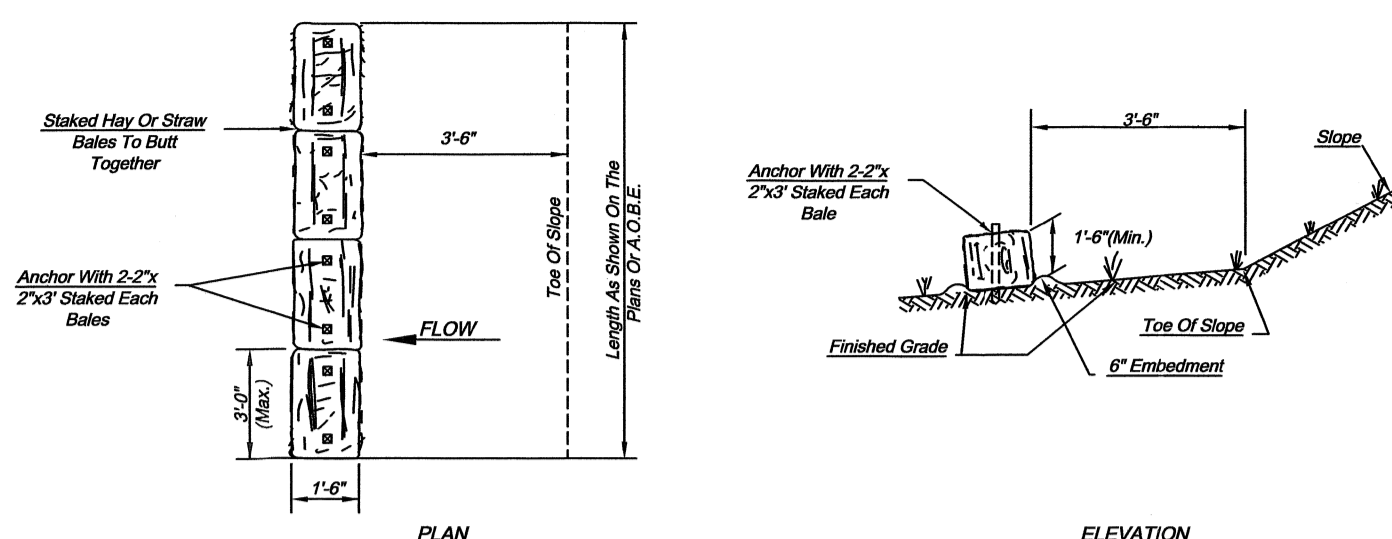
FORM CORRECTED / COMPLETED: YES NO

EROSION AND SEDIMENT CONTROL NOTE

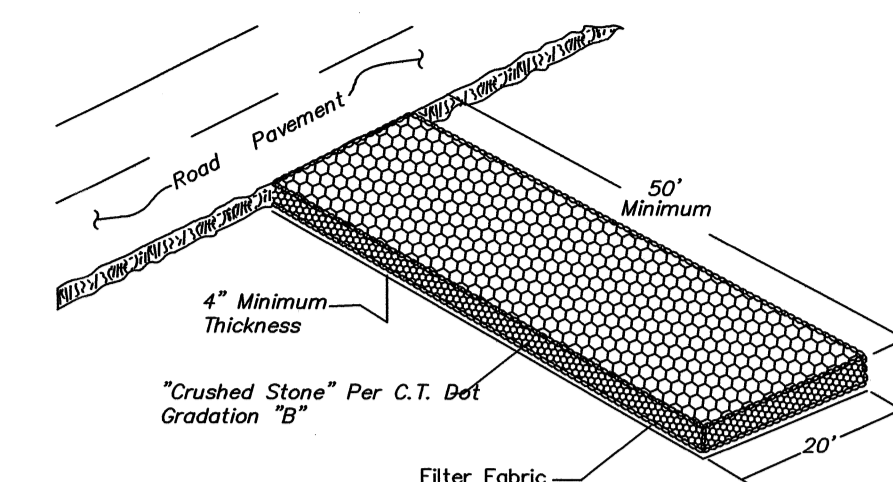
1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE STATE OF CONN. "GUIDELINES FOR SEDIMENT AND EROSION CONTROL" 2002 EDITION.
2. LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND LAND RESTABILIZATION SCHEDULED AS SOON AS PRACTICABLE.
3. ALL CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED.
4. HAY BALE FILTERS OR FABRIC FENCE SHALL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
5. AFTER CONSTRUCTION IS COMPLETED, TOPSOIL SHALL BE EVENLY DISTRIBUTED OVER THE DISTURBED AREA, PROPERLY TREATED, AND SEEDED.
6. GRADING SHALL NOT BE DONE IN SUCH A MANNER SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THAT LANDOWNER AND THE COMMISSION.
7. ADDITION EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE TOWN ENGINEER.



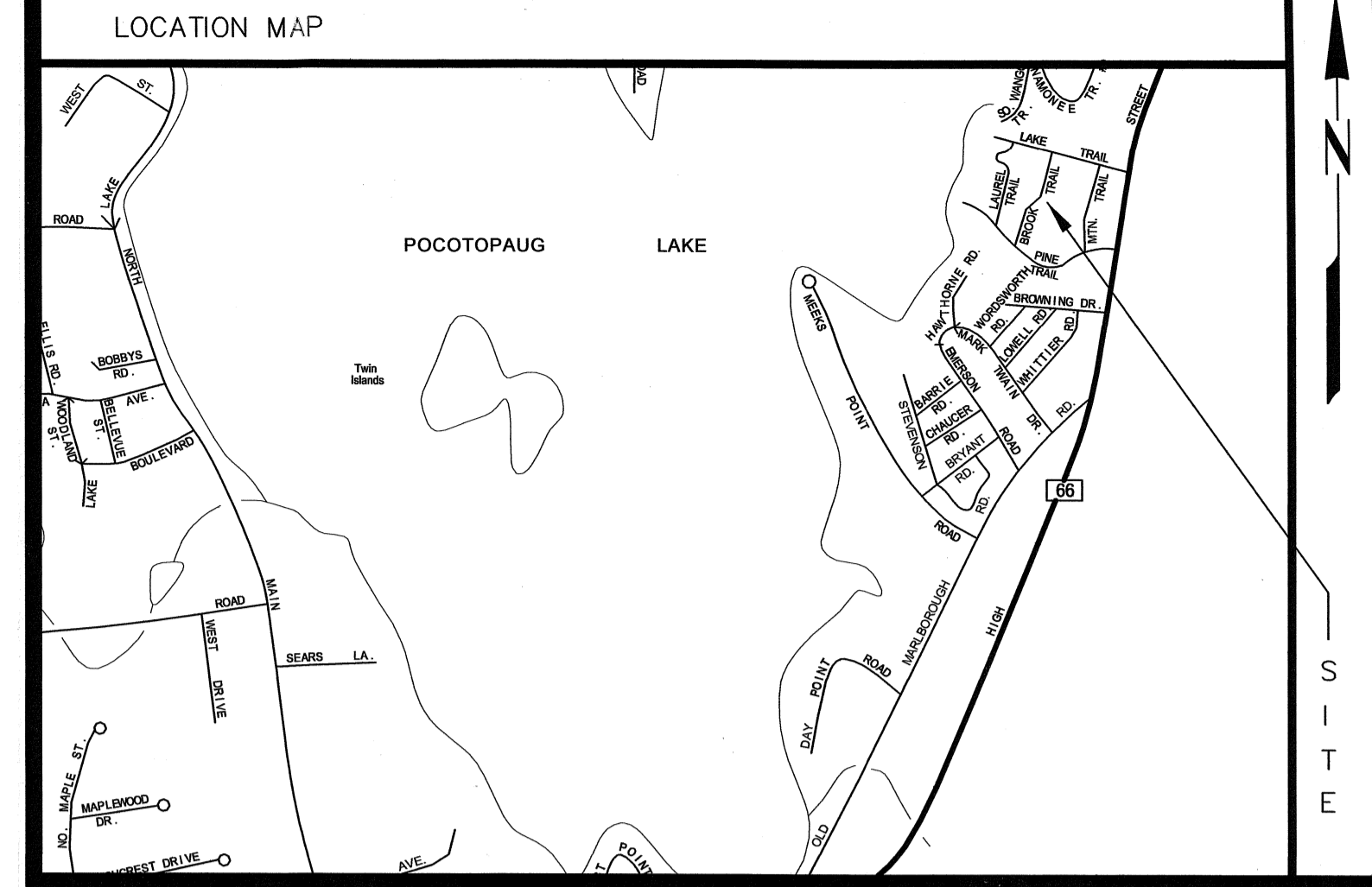
SEDIMENT FILTER FENCE
N. T. S.



STAKED HAYBALE DETAIL
N. T. S.



TEMPORARY CONSTRUCTION ENTRANCE DETAIL
N. T. S.



GENERAL SITE DEVELOPMENT NOTES

1. Existing topography from field survey by Bascom & Benjamin LLC.
2. Wetlands were flagged in the field by Eric Davison, C.S.S.
3. Elevation datum is approximate NAVD 1988.
4. This property is located in the R1, Residential District.
5. This lot is serviced by sanitary sewer and private well.
6. All grades adjacent to fills shall be blended so as to prevent ponding.
7. For locations of underground electric, telephone, gas, cable television, or other utilities, inquire at the appropriate utility company and contact CALL BEFORE YOU DIG at 1-800-922-4455.
8. All work to conform to Town of East Hampton specifications and regulations.
9. The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown are in the exact location indicated on the plans. The contractor shall confirm the location of all underground utilities prior to the commencement of excavation.
10. The contractor is required to provide and install all items as shown on the site development plans, and/or as required by the owner.
11. The contractor shall verify and report any discrepancies between the design plans and actual field conditions to the owner, general contractor, or design engineer prior to the commencement of construction.
12. This parcel is shown on Tax Map 10A, Block 78, Lot 28.
13. The owner and applicant are Jacob Sapia, 12 Brook Trail, East Hampton, CT, 06424.
14. The contractor shall replace, restore, and reset all disturbed areas to a condition equal to or better than existing conditions per the owner.

LOT CONSTRUCTION SEQUENCE

1. INSTALL TEMPORARY DRIVEWAY CONSTRUCTION ENTRANCE.
2. EXCAVATE THE EXISTING SANITARY LATERAL AND CONFIRM THE INVERT ELEVATION.
3. FLAG LIMITS OF CLEARING PER THE APPROVED PLAN. LIMITS OF CLEARING TO BE FLAGGED BY SURVEYOR OF RECORD.
4. CUT TREES WITHIN APPROVED LIMITS OF CLEARING.
5. PLACE HAYBALES AND SILT FENCE EROSION CONTROLS FOR ENTIRE WORK AREA.
6. STUMP WORK AREA, CUT AND FILL DRIVEWAY GRADE, AND STABILIZE EMBANKMENTS WITH TEMPORARY SEEDING AND MULCHING OF DISTURBED AREAS.
7. STRIP TOPSOIL AND STOCKPILE.
8. CONSTRUCT HOUSE, RELATED DRAINAGE AND UTILITY FACILITIES.
9. PREPARE FINAL GRADING AND SEEDING OF ALL DISTURBED AREAS.
10. EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED, OR AS APPROVED BY THE W.E.O. OR Z.E.O.

I. EAST HAMPTON LAND RECORDS

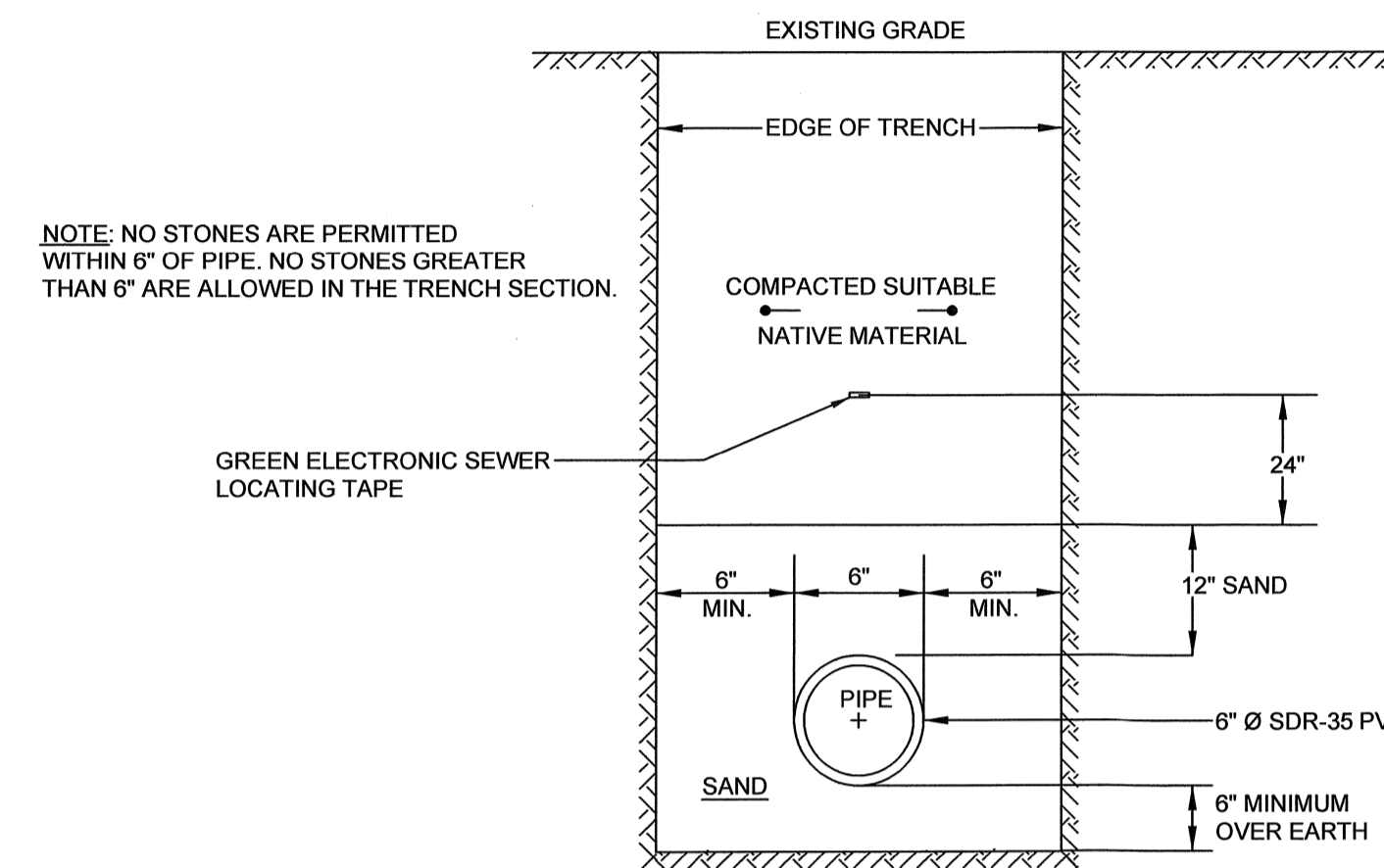
- A. DEED TYPE VOL-PG DATE
1. Sapia, J.P. W 637:751 3 March 2023

B. MAPS

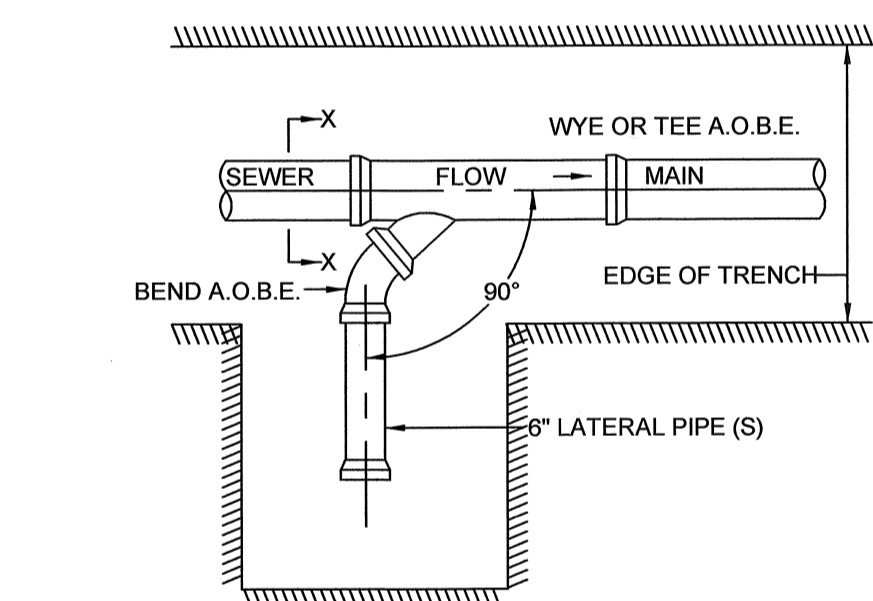
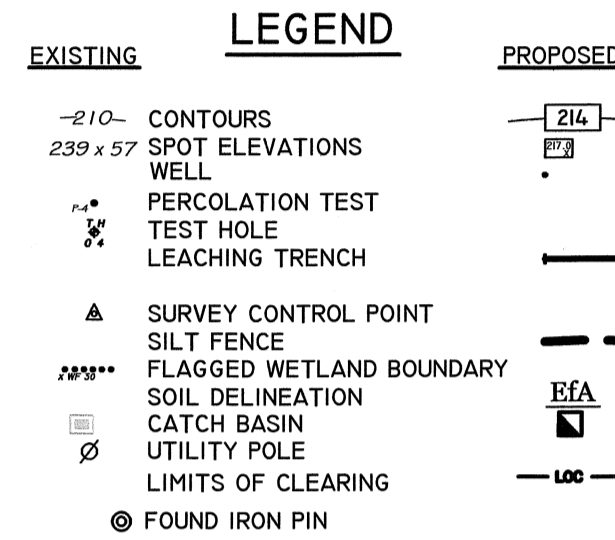
1. East Hampton Assessors Map 10A Block 78 Lot 28.
2. Map Book 3, Page 124: Map of Lake Pocotopaug Terrace, East Hampton, Conn. owned by Olafsson and Jensen, Scale: 1"=50', Date: June, 1925, By: Edgar T. Duncan, C.E.
3. Map 23-1269: Map showing assessments to be acquired from Lake Pocotopaug Terrace Association by the Town of East Hampton, East Hampton Water & Sewer Authority, East Hampton, Connecticut, Sanitary Sewer Project - contract No. 8, By: Cahn Engineers, Inc. Revised to November 1979.
4. Map Vol: 74, page 01: Zoning Location Survey prepared for Ernest Kunz, Lot 52 "Lake Pocotopaug Terrace" Brooke Trail, East Hampton, Connecticut, Scale: 1"=20', Date: 08-02-2006, revised 10-23-2006, By: Richard F. Mihok, P.E.
5. Map Book 84 page 73: Property Survey prepared for Sally J. Fennelly properties known as 18 Brook Trail, Assessor's map 10a/block 79/ lot 3 & vacant land on Brook Trail Assessor's map 10a/ block 78/ lot 29, East Hampton, Connecticut, Scale: 1"=20', Date: September 18, 2017, By: Kenneth J. Picard, L.S.
6. Property Surveyed for Lauren L. & Jeanne B. Poulin no. 7, 9, & 11 Brook Trail, East Hampton, Connecticut, Scale: 1"=20', Date: 23 Aug. 1989, by: Hallisey & Herbert civil engineers and land surveyors.

II. Underground utilities were not investigated as part of this survey.

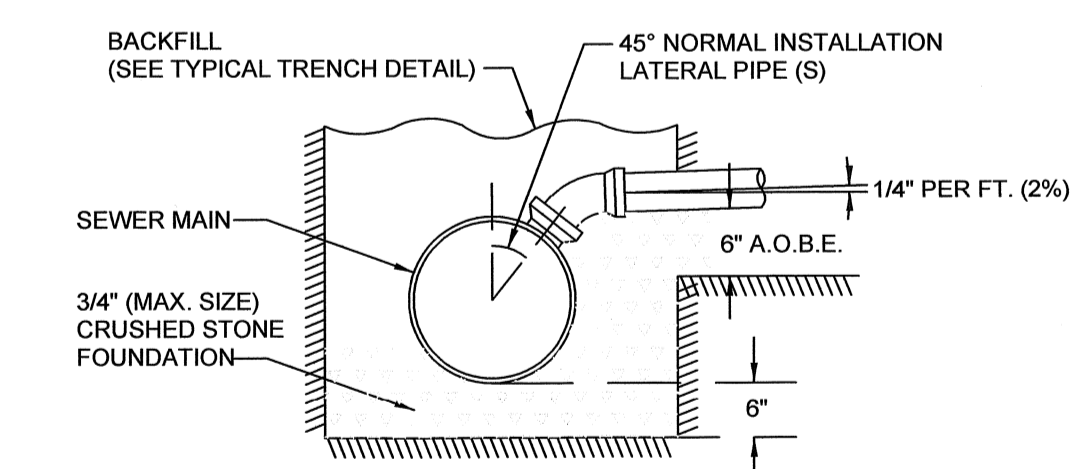
III. This property is located within the R1S Zone of the Town of East Hampton.



SANITARY SEWER LATERAL TRENCH DETAIL
NOT TO SCALE



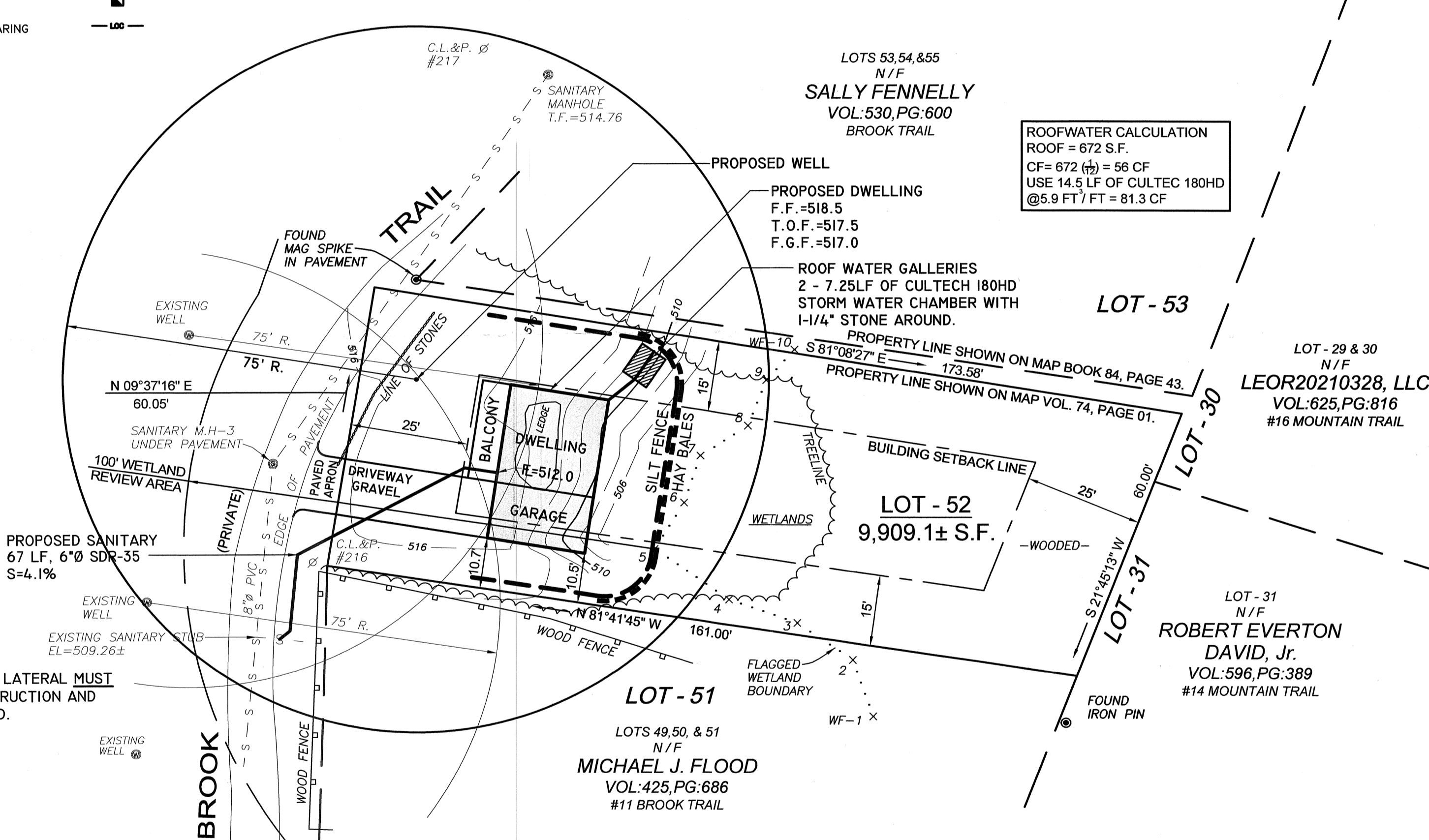
PLAN



SECTION X-X

SANITARY SEWER TYPICAL LATERAL DETAIL

NOTE: THE EXISTING SANITARY SEWER LATERAL MUST BE EXCAVATED PRIOR TO CONSTRUCTION AND THE INVERT ELEVATION VERIFIED.



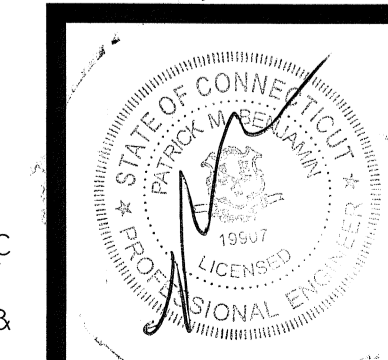
NOTE: THE SLOPES NORTH, EAST, AND SOUTH OF THE PROPOSED DWELLING SHALL BE COVERED WITH AN EROSION SEDIMENTATION CONTROL BLANKET SC-150 OR APPROVED EQUAL.

ZONING DATA: ZONE R1

CRITERIA	REQUIRED / ALLOWED	PROVIDED / EXISTING
MINIMUM LOT AREA	20,000 S.F.	9,909.1 S.F.
MINIMUM LOT WIDTH (FEET)	125 FT	60.05 FT
MINIMUM LOT DEPTH (FEET)	125 FT	178.53 FT (N) 181.00 FT (S)
MINIMUM LOT FRONTAGE	100 FT	60.05 FT
MAXIMUM LOT COVERAGE	20%	1,350 S.F. = 13.62%
MINIMUM FRONT SETBACK	25 FT	26 FT
MINIMUM SIDE SETBACK*	15 FT	16.0 FT (N) 10.5 FT (S)
MINIMUM REAR SETBACK	25 FT	110 FT

*SEE ZBA VARIANCE FILED IN VOL-456, PG-914. SIDE YARD SETBACK REDUCED FROM 15' TO 10'

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REVISIONS

NO.	DESCRIPTION	BY	DATE

15 BROOK TRAIL
EAST HAMPTON, CT.

PROPERTY OF:
JACOB P. SAPIA

PLOT PLAN

ASSESSORS MAP 10A, BLOCK 78, LOT 28

DESIGNED BY: P.M.B.
DRAWN BY: S.M.S.
CHECKED BY: P.M.B.
APPROVED BY: [Signature]

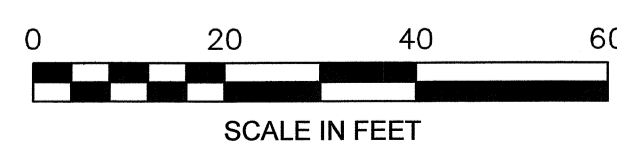
PROJECT NO. 1317-01
SHEET NO. 1 OF 1
SCALE: 1"=20'
DATE: 7 OCT. 2023

BASCOM & BENJAMIN, LLC
SURVEYING AND ENGINEERING CONSULTANTS
360 MAIN STREET DURHAM, CONN
TEL. (860) 349-1676

This Survey and Map has been prepared in accordance with SECTIONS 20-300b-1 through 20-300b-20 of the REGULATIONS OF CONNECTICUT STATE AGENCIES "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc.

It is a TOPOGRAPHIC SURVEY based on the RESURVEY METHOD conforming to Vertical Accuracy Class T-2 and Horizontal Accuracy Class A-2, and is intended to be used for the design of a Plot Plan for this property.

To my knowledge and belief this map is substantially correct as noted hereon.



SCALE IN FEET