



Application for Zoning Board of Appeals Variance

Fee \$300 (State Fee Included)

Cash / Check#: 2445
Date Paid: 12/4/23
Received by: [signature]

Application # ZBA-23-010

\*Bond for sign

Property Address: 7 Oakum Dock Rd.
Map: 01C Block: GA Lot: 2 Zone: RA
Applicant: David Spinato Phone: 203-996-1252
Address: 35 Hickory Hill Rd. Branford Ct.
Email (required): Spinelectric@comcast.net
Property Owner: David Spinato Phone: 203-996-1252
Address: 'Above
Email (required): Above

Variance requested: Section of the Zoning Regulations
Variance relates to: Setbacks, Lot Coverage, Height
Description of the Project: Install 12x16 heated addition in place of old 8x22 porch
Strict application of the regulations would produce undue hardship because (Definition of a hardship on back): Steep drop off in back see picture
The hardship created is unique and not shared by all properties alike in the neighborhood because: Steep drop in rear yard

Signature(s): Applicant [signature] Date: 12/4/23
Owner: David Spinato Date: 11/27/23



**Town of East Hampton**  
Land Use Department  
1 Community Dr., East Hampton, CT 06424  
(860) 267-7450

## NOTICE OF PUBLIC HEARING

APPLICANT David Spinato

PROPERTY LOCATION \_\_\_\_\_

MAP \_\_\_\_\_ BLOCK \_\_\_\_\_ LOT \_\_\_\_\_

THE EAST HAMPTON ZONING BOARD OF APPEALS WILL HOLD A PUBLIC HEARING ON \_\_\_\_\_ AT 7:00 P.M. IN THE EAST HAMPTON TOWN HALL, 1 COMMUNITY DR., EAST HAMPTON, CT TO CONSIDER THE FOLLOWING APPLICATION:

VARIANCE REQUESTED 12x16 addition in place of old 8x22. porch

PURPOSE OF VARIANCE .Set back rules

If you are unable to attend the meeting but would like to submit written comment, please do so prior to the Public Hearing. Comments can be submitted to the Planning and Zoning Department.

APPLICATION AND MAPS ARE ON FILE IN THE TOWN PLANNER'S OFFICE.

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE PLANNER  
AT 860-267-7450

## David Spinato

7 Oakum Dock Rd.  
Colbalt Ct.

11/28/23

Dear, William and Susan Grady,

I applied for a verance to widen the old porch By 4ft.

The new addition will be 12x16 replacing the old porch that was 8x22 . This will give me more room to walk around the rear of the house were it is steep. Any questions feel free to call me .

Thank You,

David Spinato



Cell 203-996-1252



**Town of East Hampton**  
Building Department  
1 Community Drive, East Hampton, CT 06424  
Tel (860) 267-9601 www.easthamptonct.gov

## BUILDING APPLICATION

PROJECT LOCATION INFORMATION	
Street No. & Street Name: <b>7 OAKUM DOCK RD.</b>	<input type="checkbox"/> Sewer <input checked="" type="checkbox"/> Septic <input checked="" type="checkbox"/> Well
Detailed Description of Project: <b>REBUILD REAR DECK 8x18</b> <b>ADD NEW RM IN PLACE OF OLD PORCH 12x16</b>	<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family # _____
PROPERTY OWNER'S INFORMATION AS IT APPEARS ON THE LAND RECORDS	
Name: <b>DAVID SPINATO</b>	
Mailing Address: <b>35 HICKORY HILL RD. BRANFORD CT. 06405</b>	
Phone: <b>203 481-2181</b>	Cell: <b>203 996-1252</b> Email: <b>SPANELECTRIC@COMCAST.NET</b>
APPLICANT/CONTRACTOR INFORMATION	
Name: <b>DAVID SPINATO</b>	
Business Name (if applicable): <b>SPAN ELECTRIC</b>	
Mailing Address: <b>ABOVE</b>	
License/Registration (Type & No.): <b>E-1 103864</b>	Workman's Compensation Insurance: <b>SOLE PROPRIETOR</b>
Phone:	Cell: Email:
AFFIDAVIT	
I am aware that this is only an Application for the work described, and that I am not authorized to proceed with the project until such time as a Permit has been issued by the Building Official. I am aware that there are REQUIRED INSPECTIONS associated with this project. I hereby certify that the proposed work shall conform to the Connecticut State Building Code and all other codes as adopted by the State of Connecticut, the Town of East Hampton Ordinances and the Town of East Hampton Zoning Regulations. I further attest that I am authorized to make application for a Permit for such work as described above.	
Signature:	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant
Print Name: <b>DAVID SPINATO</b>	Date: <b>10/17/23</b>
VALUE OF PROJECT: Value shall include all labor and material costs.	PERMIT FEES (Office Use Only)
TOTAL VALUE OF PROJECT: \$ <b>26,000</b>	Building Fee: \$
An Application for a Permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such Application has been pursued in good faith or a Permit has been issued.	<input type="checkbox"/> Cash <input type="checkbox"/> Check #
	Received By:

ANY FALSE STATEMENT OR ANY BUILDING PERMITS GAINED BY SUCH STATEMENT WILL RENDER PERMITS NULL & VOID.

**THIS IS NOT A PERMIT**

7022 3330 0001 6327 0319

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Extra Services & Fees (check box, add fee as appropriate)		
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00
<input type="checkbox"/> Adult Signature Required	\$	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00
Postage	\$0.66	
\$		
<b>Total Postage and Fees</b>	<b>\$5.01</b>	
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City, State, ZIP+4®		

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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\$		
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Sent To <u>David W. III Saltus</u>		
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\$		
<b>Total Postage and Fees</b>	<b>\$5.01</b>	
Sent To <u>David + Abbie Kustek</u>		
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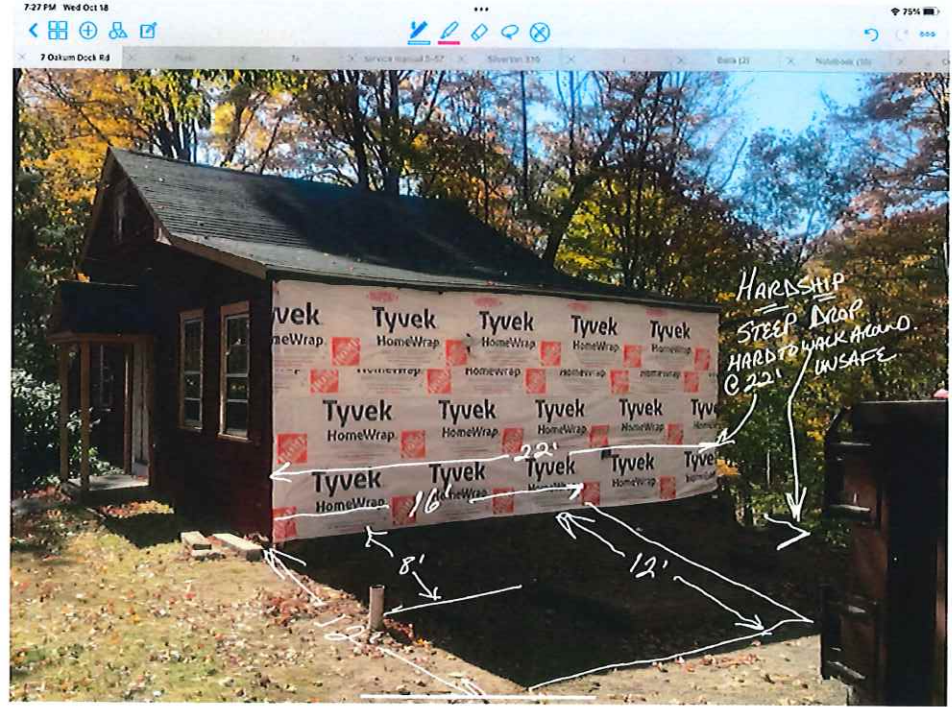
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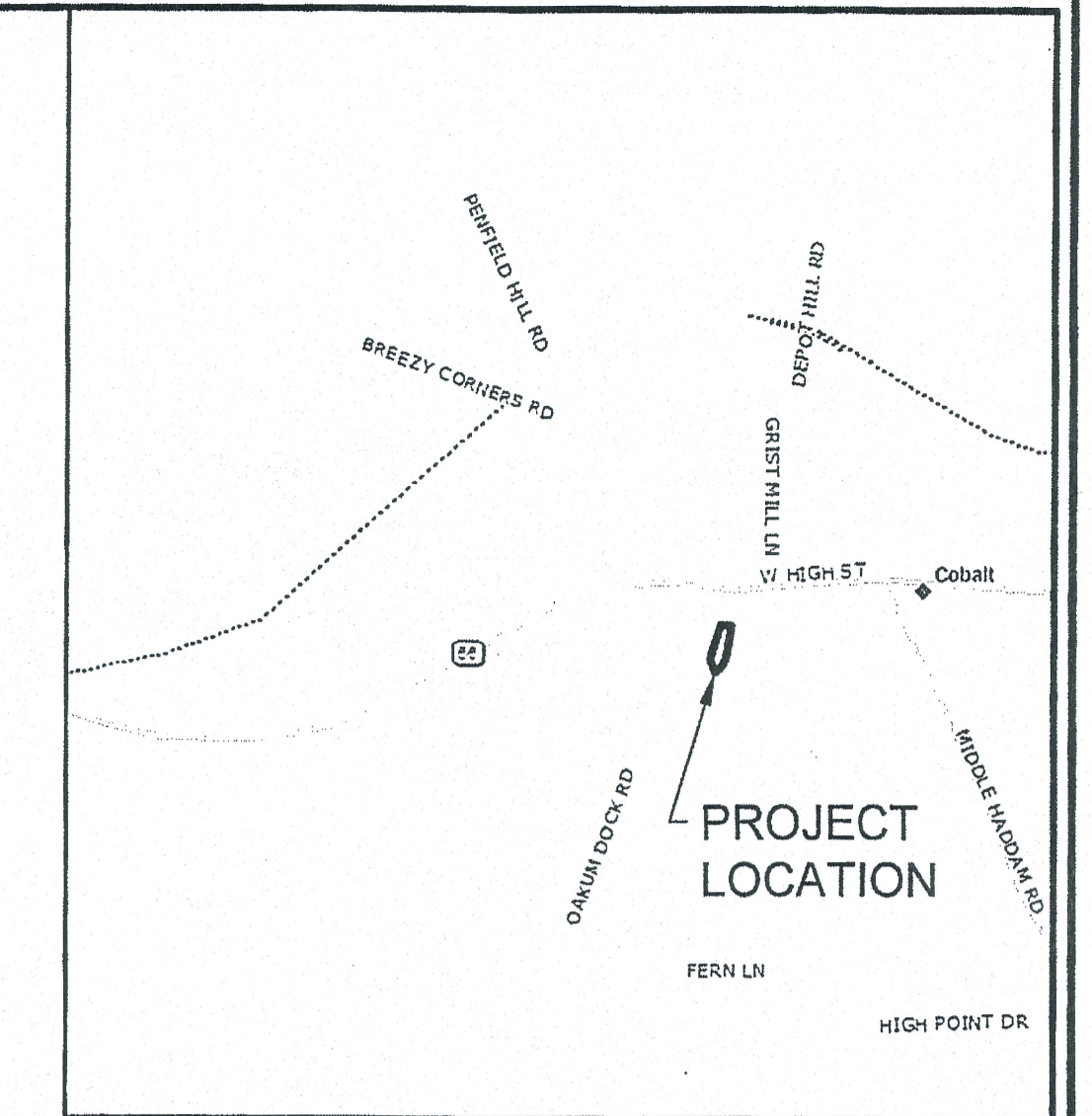
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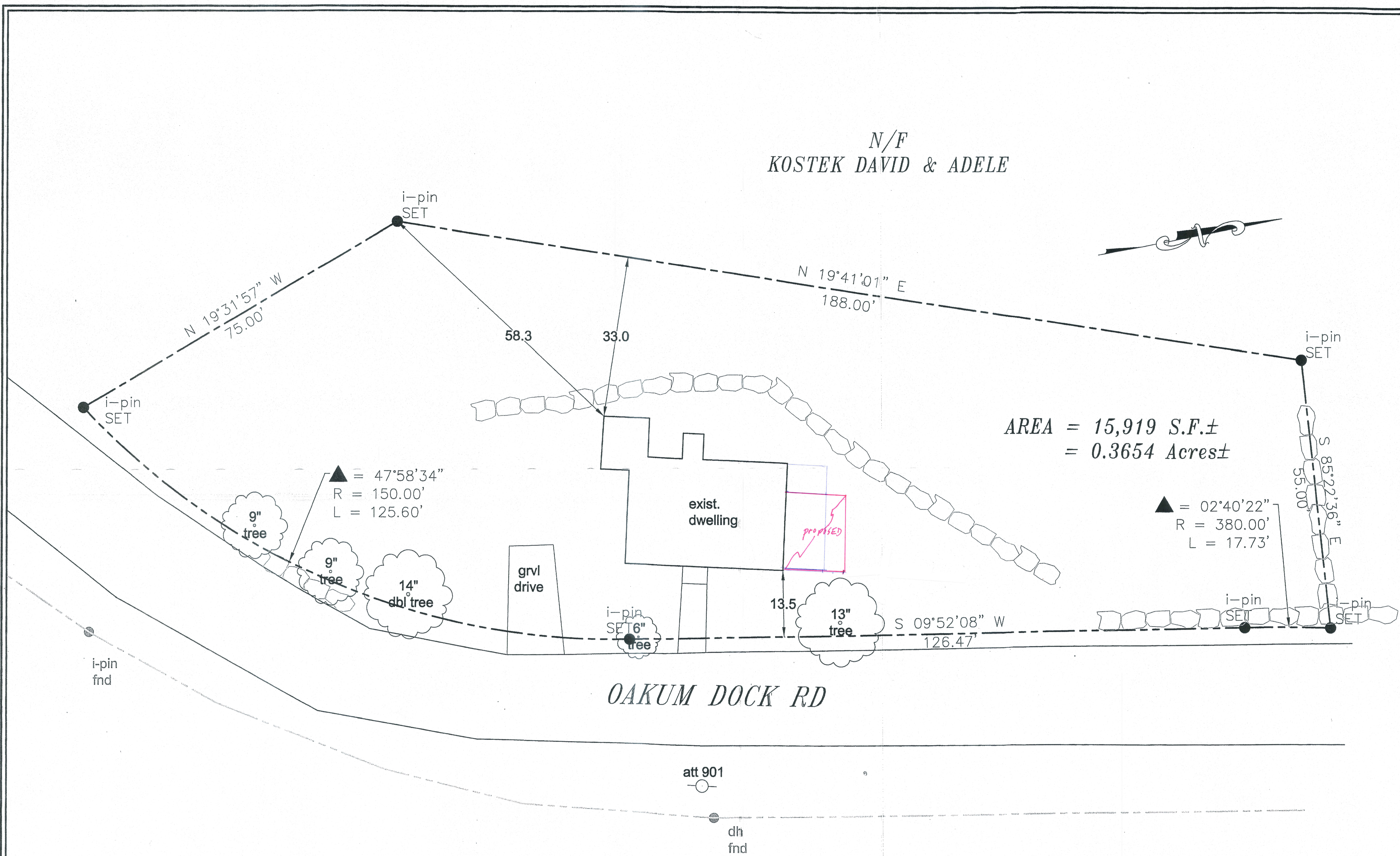




N/F  
KOSTEK DAVID & ADELE



LOCATION MAP  
SCALE: 1"=1,000'



AREA = 15,919 S.F.±  
= 0.3654 Acres±

Received for Record at East Hampton, CT  
10/17/2023 02:34:24 PM  
Kathy Schaefer, Town Clerk

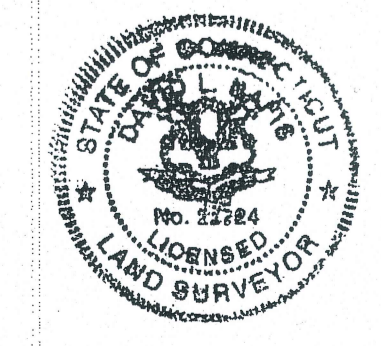
VOL 92 PG 98  
10/17/2023 02:34:24 PM  
Town Clerk

LOCATION AND ELEVATION OF UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED IS UNKNOWN AND SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION

ANY USE OR REUSE OF ORIGINAL OR ALTERED CAD DESIGN MATERIALS BY THE CLIENT, CONTRACTOR OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF AN AUTHORIZED REPRESENTATIVE OF NAFIS & YOUNG ENGINEERS, INC. SHALL BE AT THE SOLE RISK OF CLIENT, CONTRACTOR, OR OTHER PARTY AGREES TO DEFEND, INDEMNIFY, AND HOLD NAFIS & YOUNG ENGINEERS, INC. HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, EXPENSES AND ATTORNEY'S FEES ARISING OUT OF THE MODIFICATION OR REUSE OF THESE MATERIALS.

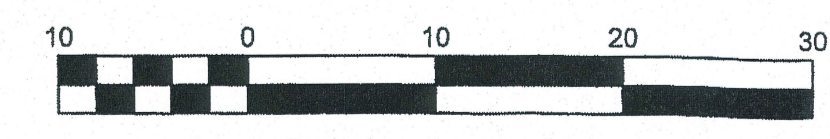
- REFERENCES:
- "2 LOT SUBDIVISION PREPARED FOR JONATHAN & CHRISTOPHER GUSTAVSON, 9 MIDDLE HADDAM ROAD - EAST HAMPTON, CONNECTICUT" DATED JANUARY 29, 2021, SCALE 1" = 50', BY DUTCH & ASSOCIATES, ON FILE AT THE TOWN CLERK'S OFFICE AS MAP 89-3.
  - REFER TO DEED VOL. 627 PAGE 510 ON FILE AT THE TOWN CLERK'S OFFICE.

- SURVEY NOTES:
- This survey and map have been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a PROPERTY SURVEY and DATA ACCUMULATION PLAN based on a DEPENDENT RESURVEY conforming to Horizontal Accuracy Class "A-2" and is intended to be used for a Property Survey.
  - Property is currently located in the R-2 zoning district.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

DAVID L. NAFIS, L.S. #22924



Scale 1" = 10'

THIS MAP PRODUCED BY ORIGINAL INK DRAWING ON POLY FILM OR LINEN  
NAFIS & YOUNG ENGINEERS, INC.  
1355 MIDDLETOWN AVE  
NORTHFORD, CT 06478

**7 OAKUM DOCK RD  
1C / 9A / 2  
EAST HAMPTON, CONNECTICUT**

PREPARED FOR: SPINATO DAVID      PROPERTY OWNER: SPINATO DAVID

**A-2 SURVEY**

**NAFIS & YOUNG ENGINEERS, INC.**  
1355 Middletown Avenue  
Northford, Connecticut 06472  
Phone: (203) 484-2793  
Fax: (203) 484-7343  
Email: nyeng@nafisandyoung.com

DATE: FEBRUARY 21, 2023  
REV: APRIL 10, 2023

JOB NO. 2023-002      SHEET NO. 01