

BOARD MEMBERS

Andrew Tierney, Chairman  
Stan Soby, Vice Chairman  
Peter Hughes, Treasurer  
Susan Bransfield  
Rosemary Coyle  
Robert Smith  
David Cox  
Kate Morris

DIRECTOR of HEALTH  
Russell Melmed, MPH



*Colchester, East Haddam, East Hampton, Hebron, Marlborough, & Portland*

Date: **12/17/20**

To: **Patrick M Benjamin, PE**

Subject Property: **29 Middle Haddam Road, East Hampton, CT Property of Z, Incorporated (Cobalt Lodge)**

Plan Designed by: **Patrick Benjamin, PE** Plan Date: **October 7, 2020** Last Revision Date: **11/20/20** Date Paid: **12/1/20**

The plan and associated information submitted to our office on **11/24/20** for an existing commercial property with **4,825 GPD onsite septic (relocated 1000 gal H2O grease trap, existing 5,000 gal H2O septic tank, existing 5,000 Gal pump chamber and existing 4-84' long rows of Geomatrix GST 6224 leaching for 6,082ft<sup>2</sup> of leaching, public water well, to tear down a 1,333 ft<sup>2</sup> building and build a new 2,698ft<sup>2</sup> addition with physical therapy area, office, exam room, two restrooms, kitchen and corridor on the north side of the existing building (plan by Blue Moon Design dated 11/6/20)** at the above stated property, in the **Town of East Hampton**, is:

**Needs Further Revisions: Modifications addressed in "Additional Approval Requirements" must be submitted prior to final approval.**

**"Additional Approval Requirements"**

1. The existing property is served by a large septic system (>2,000 GPD) and thus the proposal will need to be reviewed and approved by The State of Connecticut Department of Public Health Environmental Engineering Division (Robert Scully copied).
2. The property is served by a public water system regulated by the State of Connecticut Department of Public Health Water Supplies Division and may require review and approval by said agency (Vicky Carrier copied).
3. Provide the existing floor plans for the existing building and the proposed building to be demolished. The designer shall show the existing and proposed flows and provide a code compliant area for any increase or change in flow (per CT Public Health Code 19-13-B100a).
4. The prior to demolition, the applicant shall obtain a demolition permit from the Town of East Hampton and any hazardous materials (lead, asbestos, etc.) shall be identified, properly removed and disposed of according to the requirements of the State of Connecticut.
5. The applicant shall complete and return with fee (\$200) the attached Chatham Health District Plan Review Application, equipment specification sheets, labeled and scaled floor plan, color coded food flow and menu for review.
6. The plan calls for relocating the existing 1000 gallon H2O grease trap to a new location. The tank shall be inspected to verify it is structurally sound to be relocated, the sewer line type/diameter and elevations are to be provided and the new line from the grease trap to the existing line connecting to the septic tank shall be identified. H2O risers to grade shall be provided.
7. The existing food truck located near the front of the building shall be removed and the water and sewer lines capped and abandoned once the construction is complete.

8. Show the well arc for the existing public water well.
9. An as-built shall be submitted (A2 with ties for Engineered plan and tied plan for non-engineered) to CHD with distances to flow line at house, inlet and outlet cover of tank, d-boxes, cleanouts and ends of leaching rows, well, footing/curtain drains and between tie points. In addition, provide the name of installer, date, house location and street/directional arrow.
10. All tanks requiring risers shall maintain the original covers on the tanks, have riser covers that weight at least 59 lbs. and/or install a safety device below the riser to prevent individuals from falling into a tank. All below grade tank or riser cover handles shall contain or be fitted with a material that can be located with a metal detector.
11. The CHD shall be notified at least 24 hours prior to any inspections and the following inspections will be required:
  - a. Septic Final Inspection (which may also require other inspections including, but limited to fill inspections / percing of fill, pump/pump chamber, grease trap, curtain drain, footing drain discharge, cover inspections, building walkthrough, water treatment wastewater disposal system location verification, well casing and cap verifications)

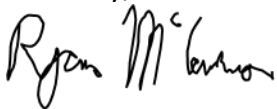
**The following are not currently required by CT Public Health Code but are encouraged/recommended to protect the proposed structures, onsite septic system, water treatment discharge system and/or water supply/groundwater.**

1. It is strongly encouraged to keep the original tank covers on all tanks requiring risers to prevent the escape of sewer gases and prevent individuals from falling into tanks.

**\*Please note that soils testing indicated on this plan are representative of actual soils conditions and additional deep test pits, groundwater monitoring, and percolation tests may be required by the Chatham Health District if the building or system location is altered, there is a question on the soils testing and/or the suitable septic area is limited. Applicant should be aware that subdivision approval IS NOT sufficient for individual lot approval. Each lot must be reviewed by the Chatham Health District at the time of building permit application to obtain lot approval and issue a septic/well permit.**

Please call me at 860-365-0884 or e-mail at [ryan.mccammon@chathamhealth.org](mailto:ryan.mccammon@chathamhealth.org) with any questions regarding this matter.

Sincerely,



Ryan McCammon, RS  
Chief Sanitarian

Cc: **Owner- Z, Incorporated Todd Zgorski**  
**Town of East Hampton Building, Fire and Zoning Officials**  
**Robert Scully and Vicky Carrier, Department of Public Health**

Attach: Chatham Health District Food Plan Review Application  
Proposed Addition Floor Plan

## Proposed Site Plan