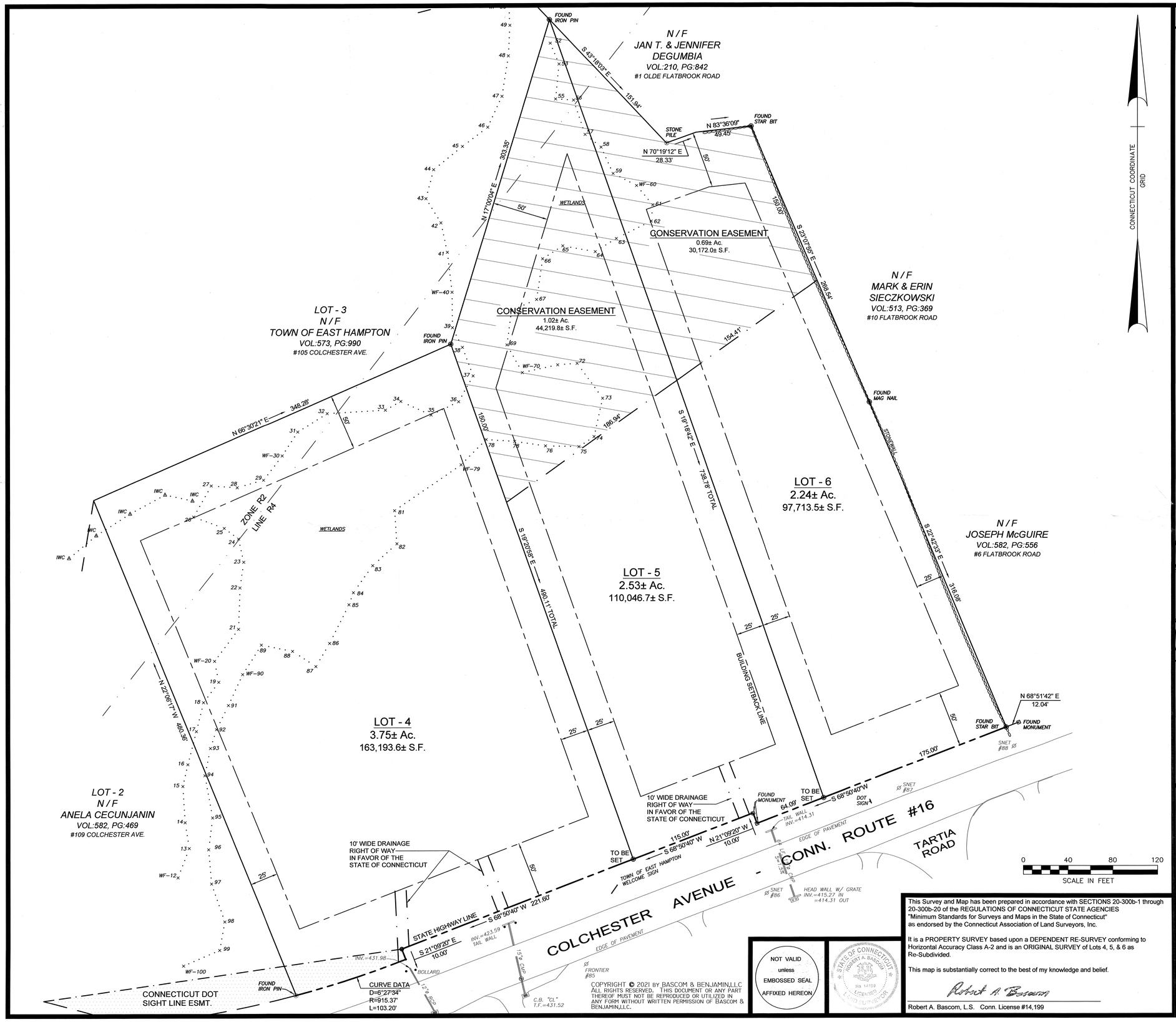

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NOT VALID
unless
EMBOSSED SEAL
AFFIXED HEREON

STATE OF CONNECTICUT
ROBERT A. BASCOM
No. 14199
LICENSED
LAND SURVEYOR

This Survey and Map has been prepared in accordance with SECTIONS 20-300b-1 through 20-300b-20 of the REGULATIONS OF CONNECTICUT STATE AGENCIES "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc.

It is a PROPERTY SURVEY based upon a DEPENDENT RE-SURVEY conforming to Horizontal Accuracy Class A-2 and is an ORIGINAL SURVEY of Lots 4, 5, & 6 as Re-Subdivided.

This map is substantially correct to the best of my knowledge and belief.

Robert A. Bascom

Robert A. Bascom, L.S. Conn. License #14,199

NOTES & REFERENCES

I. EAST HAMPTON LAND RECORDS

A. DEED	TYPE	VOL:PG	DATE
1. Scovill, M.	W	596:845	19 August 2019
2. Isacson, H.	ESMT.	57:177 & 178	29 June 1933

B. MAPS
1. East Hampton Assessors Map 27 Block 87A Lot 12A/4.
2. Corrective Map of lot area Map Volume 81 Page 8, Record Subdivision Map prepared for: Map 27 Block 87A Lot 12A, Mazzcor, LLC, Phase I, 105 Colchester Avenue, Ct. Route 16 East Hampton, Connecticut, Date: July 16, 2013, Scale: 1"=100', Sheet 1 of 3, By: Robert F. Jackowiak, L.S.

II. Connecticut Department of Transportation Maps
1. Town of East Hampton plans showing Drainage Right of Way to be acquired from Hulda Isacson by The State of Connecticut East Hampton - Moodus Falls Road, Scale: 1"=40', Date: May 1933 John A Macdonald, Commissioner.
2. Town of East Hampton plans showing Drainage Right of Way to be acquired from Hulda Isacson by The State of Connecticut East Hampton - Moodus Falls Road, Scale: 1"=40', Date: June 1933 John A Macdonald, Commissioner.

III. This property is located within the R-4 & R-2 Zones of the Town of East Hampton.

IV. The total parcel area is 8.52± Ac.

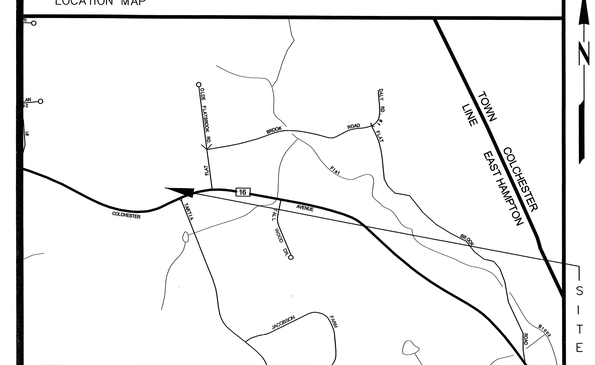
APPROVED BY THE EAST HAMPTON
PLANNING & ZONING COMMISSION

FINAL APPROVAL: _____
CHAIRMAN

DATE: _____

EXPIRATION DATE: _____

LOCATION MAP



PROPERTY / BOUNDARY SURVEY

SHOWING

PROPERTY

OF

MARTIN SCOVILL

LOT - 4

RE-SUBDIVIDED

CREATING

LOTS- 4, 5, & 6

#117 COLCHESTER AVENUE - CONN. ROUTE #16

EAST HAMPTON, CONNECTICUT

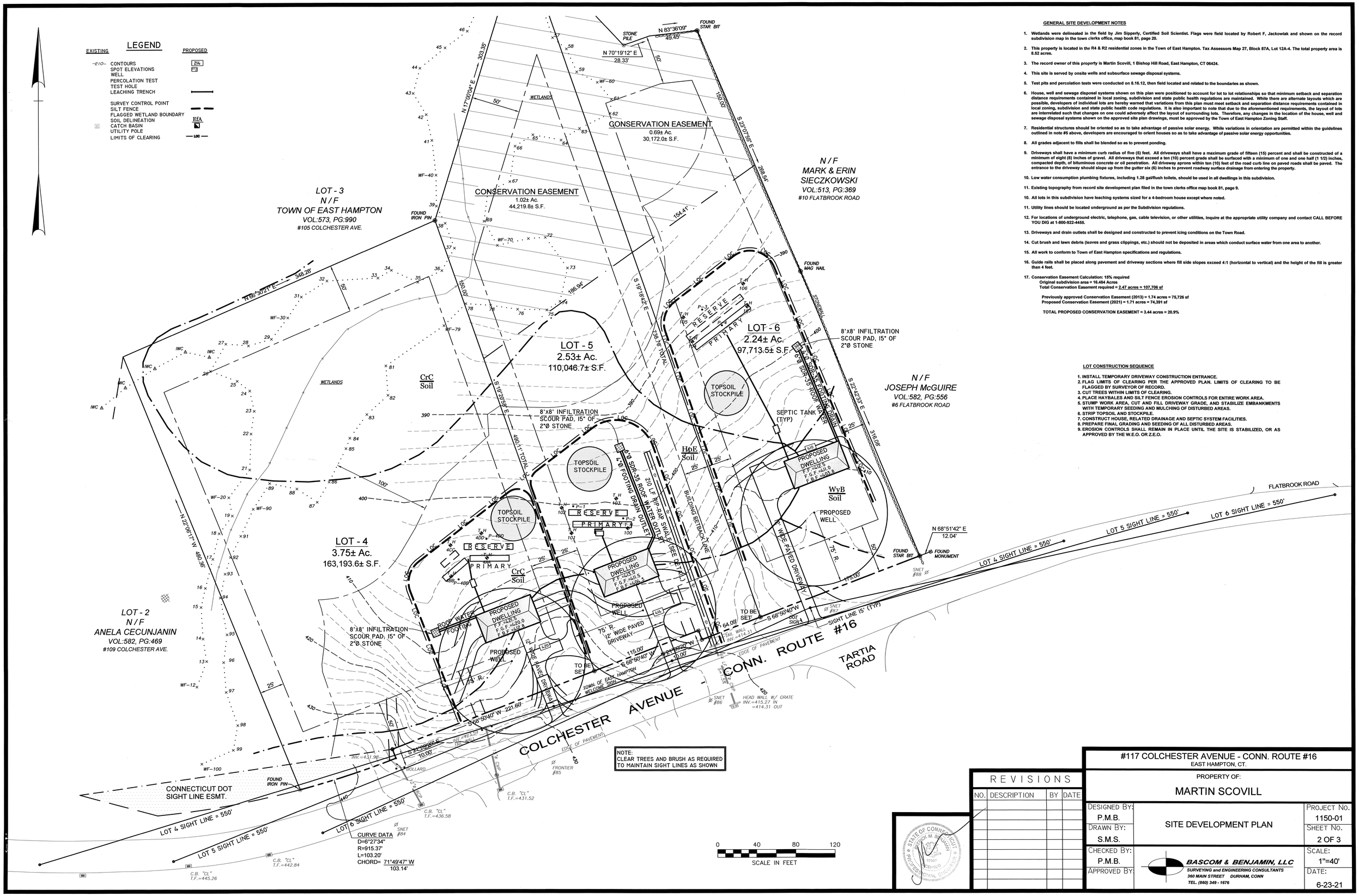
SCALE: 1"=40 FT.------23-JUNE-2021

0004
IWWA

BASCOM & BENJAMIN, LLC
SURVEYING and ENGINEERING CONSULTANTS
360 MAIN STREET DURHAM, CONN
TEL. (860) 349 - 1676

SHEET 1 OF 3

1150-01



GENERAL SITE DEVELOPMENT NOTES

1. Wetlands were delineated in the field by Jim Sipperly, Certified Soil Scientist. Flags were field located by Robert F. Jackowiak and shown on the record subdivision map in the town clerks office, map book 81, page 20.
2. This property is located in the R4 & R2 residential zones in the Town of East Hampton. Tax Assessors Map 27, Block 87A, Lot 12A-4. The total property area is 8.52 acres.
3. The record owner of this property is Martin Scovill, 1 Bishop Hill Road, East Hampton, CT 06424.
4. This site is served by onsite wells and subsurface sewage disposal systems.
5. Test pits and percolation tests were conducted on 8.16.12, then field located and related to the boundaries as shown.
6. House, well and sewage disposal systems shown on this plan were positioned to account for lot to lot relationships so that minimum setback and separation distance requirements contained in local zoning, subdivision and state public health regulations are maintained. While there are alternate layouts which are possible, developers of individual lots are hereby warned that variations from this plan must meet setback and separation distance requirements contained in local zoning, subdivision and state public health code regulations. It is also important to note that due to the aforementioned requirements, the layout of lots are interrelated such that changes on one could adversely affect the layout of surrounding lots. Therefore, any changes in the location of the house, well and sewage disposal systems shown on the approved site plan drawings, must be approved by the Town of East Hampton Zoning Staff.
7. Residential structures should be oriented so as to take advantage of passive solar energy. While variations in orientation are permitted within the guidelines outlined in note #5 above, developers are encouraged to orient houses so as to take advantage of passive solar energy opportunities.
8. All grades adjacent to fills shall be blended so as to prevent ponding.
9. Driveways shall have a minimum curb radius of five (5) feet. All driveways shall have a maximum grade of fifteen (15) percent and shall be constructed of a minimum of eight (8) inches of gravel. All driveways that exceed a ten (10) percent grade shall be surfaced with a minimum of one and one half (1 1/2) inches, compacted depth, of bituminous concrete or oil penetration. All driveway aprons within ten (10) feet of the road curb line on paved roads shall be paved. The entrance to the driveway should slope up from the gutter six (6) inches to prevent roadway surface drainage from entering the property.
10. Low water consumption plumbing fixtures, including 1.28 gal/flush toilets, should be used in all dwellings in this subdivision.
11. Existing topography from record site development plan filed in the town clerks office map book 81, page 9.
10. All lots in this subdivision have leaching systems sized for a 4-bedroom house except where noted.
11. Utility lines should be located underground as per the Subdivision regulations.
12. For locations of underground electric, telephone, gas, cable television, or other utilities, inquire at the appropriate utility company and contact CALL BEFORE YOU DIG at 1-800-922-4455.
13. Driveways and drain outlets shall be designed and constructed to prevent icing conditions on the Town Road.
14. Cut brush and lawn debris (leaves and grass clippings, etc.) should not be deposited in areas which conduct surface water from one area to another.
15. All work to conform to Town of East Hampton specifications and regulations.
16. Guide rails shall be placed along pavement and driveway sections where fill side slopes exceed 4:1 (horizontal to vertical) and the height of the fill is greater than 4 feet.
17. Conservation Easement Calculation: 15% required
    Original subdivision area = 16.484 Acres
    Total Conservation Easement required = 2.47 acres = 107,706 sf

    Previously approved Conservation Easement (2013) = 1.74 acres = 75,726 sf
    Proposed Conservation Easement (2021) = 1.71 acres = 74,391 sf

    TOTAL PROPOSED CONSERVATION EASEMENT = 3.44 acres = 20.9%

LOT CONSTRUCTION SEQUENCE

1. INSTALL TEMPORARY DRIVEWAY CONSTRUCTION ENTRANCE.
2. FLAG LIMITS OF CLEARING PER THE APPROVED PLAN. LIMITS OF CLEARING TO BE FLAGGED BY SURVEYOR OF RECORD.
3. CUT TREES WITHIN LIMITS OF CLEARING.
4. PLACE HAYBALES AND SILT FENCE EROSION CONTROLS FOR ENTIRE WORK AREA.
5. STUMP WORK AREA, CUT AND FILL DRIVEWAY GRADE, AND STABILIZE EMBANKMENTS WITH TEMPORARY SEEDING AND MULCHING OF DISTURBED AREAS.
6. STRIP TOPSOIL AND STOCKPILE.
7. CONSTRUCT HOUSE, RELATED DRAINAGE AND SEPTIC SYSTEM FACILITIES.
8. PREPARE FINAL GRADING AND SEEDING OF ALL DISTURBED AREAS.
9. EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED, OR AS APPROVED BY THE W.E.O. OR Z.E.O.

REVISIONS

NO.	DESCRIPTION	BY	DATE

#117 COLCHESTER AVENUE - CONN. ROUTE #16
EAST HAMPTON, CT.

PROPERTY OF:
MARTIN SCOVILL

SITE DEVELOPMENT PLAN

DESIGNED BY: P.M.B.	PROJECT NO. 1150-01
DRAWN BY: S.M.S.	SHEET NO. 2 OF 3
CHECKED BY: P.M.B.	SCALE: 1"=40'
APPROVED BY:	DATE: 6-23-21

BASCOM & BENJAMIN, LLC
SURVEYING and ENGINEERING CONSULTANTS
360 MAIN STREET DURHAM, CONN
TEL. (860) 349 - 1676

Form # 2 Alternate — Technical Standards for Subsurface Sewage Disposal Systems

CHATHAM HEALTH DISTRICT SITE INVESTIGATION FOR A SUBSURFACE SEWAGE DISPOSAL SYSTEM PG1

Location: 117 Colchester Ave (27-87A-12A-4), East Hampton — Weather: Sunny 70

Percent Slope: Varies — Parent Material: Nipmuck Brookfield — Date: 6/10/2021 Time: 10:30

Completed by: Ryan McCammon (P.E. or Certified Local Health Agent) — Accuracy Assured by (if P.E. completed form): Ryan McCammon (Certified Local Health Agent)

Others Present for Site Investigation: Pat Benjamin, PE and owner (Installer, Developer, P.E., etc.)

Test Pit #: 101-78" Depth to Observed Ground-Water (inches): 65" — Standing: 78" — Observed Ledge 78"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-4"	Dark Brown				topsoil	0	friable	Yes	
B1	4-35"	Orange Brown				med loamy sand	10	very friable	Yes	
B2	35-53"	Grey				med sandy loam	5	very friable	No	
Rr	53-78"	Dark Grey	53"	Orange	20%	med sandy loam	10	firm	No	Rotten Rock

Test Pit #: 102-79" Depth to Observed Ground-Water (inches): 45" — Standing: 69" — Observed Ledge 79"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-5"	Dark Brown				topsoil	0	friable	Yes	
B1	5-24"	Orange Brown				med loamy sand	10	very friable	Yes	
B2	24-37"	Grey	24"	Orange	15%	med sandy loam	5	very friable	No	
Rr	37-79"	Dark Grey	53"	Orange	20%	med sandy loam	10	firm	No	

Test Pit #: 103 49/67 Depth to Observed Ground-Water (inches): 33" — Standing: 69" — Observed Ledge 67", 50 us

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-5"	Dark Brown				topsoil	0	friable	Yes	
B1	5-22"	Orange Brown				med loamy sand	10	very friable	Yes	
B2	22-35"	Grey	22"	Orange	15%	med sandy loam	5	very friable	No	
Rr	35-67"	Dark Grey	37"	Orange	20%	med sandy loam	10	firm	No	Boulders wet

Test Pit #: 100-77" Depth to Observed Ground-Water (inches): 77" — Standing: 77" — Observed Ledge 77"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-5"	Dark Brown				topsoil	0	friable	Yes	
B1	5-36"	Orange Brown				med loamy sand	10	very friable	Yes	
C1	36-77"	Grey	36"	Orange	15%	med sandy loam	10	firm	No	Boulders

Test Pit #: 104-72" Depth to Observed Ground-Water (inches): N/A — Standing: N/A — Observed Ledge 72"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-6"	Dark Brown				topsoil	0	friable	Yes	
B1	4-30"	Orange Brown				med loamy sand	10	very friable	Yes	
C1	30-72"	Grey	30"	Orange	15%	med sandy loam	10	firm	No	Boulders

Test Pit #: 105-54" Depth to Observed Ground-Water (inches): N/A — Standing: N/A — Observed Ledge 54"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-5"	Dark Brown				topsoil	0	friable	Yes	
B1	5-27"	Orange Brown				med loamy sand	10	very friable	Yes	
C1	27-54"	Grey	27"	Orange	15%	med sandy loam	10	firm	No	Boulders

Test Pit #: 107-49" Depth to Observed Ground-Water (inches): N/A — Standing: N/A — Observed Ledge 49"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-4"	Dark Brown				topsoil	0	friable	Yes	
B1	4-26"	Orange Brown				med loamy sand	10	very friable	Yes	
Rr	26-49"	Orange Brown				coarse sand/gravel	15	firm	No	Rotten Rock

Test Pit #: 106-52" Depth to Observed Ground-Water (inches): N/A — Standing: N/A — Observed Ledge 52"

Soil Horizon	Depth (inches)	Matrix Color	Redoximorphic Features Depth	Color	%	Soil Texture (USDA)	Gravel Percent	Soil Consistence	Roots	Other
A	0-4"	Dark Brown				topsoil	0	friable	Yes	
B1	4-27"	Orange Brown				med loamy sand	10	friable	Yes	
Rr	27-52"	Orange Brown				coarse sand/gravel	20	loose	No	

Form # 2 Alternate (Cont'd) — Technical Standards for Subsurface Sewage Disposal Systems — 1/1/2007

Special Conditions	
Design Flow > 2000 GPD	No
Public Water Supply Watershed	No
Probable High Ground Water	Yes
Slope > 25 Percent	No
Perc Rate < 1 min/inch	Unknown
Perc Rate > 30 min/inch	No
Ledge < 5 feet Below Grade	Yes
Limited Suitable Area	No
Open Watercourse or Wetland	Unknown
Flood Plain/Seasonal Flooding	No
G.W. < 36 inches Below Grade	Yes
Conclusions	
Suitable for Sewage Disposal	Yes
Unsuitable for Sewage Disposal	No
Additional Investigation Required	Yes
Wet Season Monitoring Required	No
Retest During Wet Season	No
Licensed Engineer Plan Required	Yes
Well Exception Required	No
WTWDS Needed	Yes
System Failing Repair Required	N/A

DESIGN REQUIREMENTS:

Design Flow:	TBD	Max Leach Depth:	Varies	Perc Rate:	TBD	ELA:	TBD		
Tank Size Needed:	TBD	Pump Needed:	No	Leach Location:	See Test Pits				
MLSS	Yes	Other:							

Owner is proposing two single family building lots (number of bedrooms TBD) with a front lot (TP 100-103 and restriction as 102 and 103 for redox and ledge) and rear lot with TP 104-107 (restriction groundwater in 104 and ledge in 105-107). Engineer to conduct perc tests in the proposed primary and reserve for each lot and to design site plans showing the house, wells (proposed and neighboring), septic system (with elevations, size, type, length, MLSS and ELA), drainage, watercourses, wetlands, exisiting and proposed elevations, water treatement wastewater disposal systems, footing and gutter drainage according to CT Health Code. Plans will be reviewed for commision and also single lot approval (house plans needed for single lot/building permit approval).

Percolation Test Data

PERC:		PERC:		PERC:		PERC:	
DEPTH:		DEPTH:		DEPTH:		DEPTH:	
PRESOAK:		PRESOAK:		PRESOAK:		PRESOAK:	
TIME	READING	TIME	READING	TIME	READING	TIME	READING
PERC RATE:		PERC RATE:		PERC RATE:		PERC RATE:	

Chatham Health District-240 Unit 123, East Hampton, CT 06424 Phone: 860-365-0884 Fax: 860-365-0885 www.chathamhealth.org PG2

SOIL TESTING DATA

TEST HOLE DATA

PERFORMED BY; DON MITCHELL R.S.
WITNESSED BY; CHRIS BELL P.E.
8.16.12

TH-4AA
0-7" TOPSOIL
7-28" ORANGE BROWN SILTY FINE SANDY LOAM, LOOSE
25-58" GRAY SAND GRADING TO BROWN TILL, LOOSE
NO GROUNDWATER, LEDGE, OR MOTTLING, ROOTS TO 44"
RESTRICTIVE: NONE

TH-4BB
0-9" TOPSOIL
9-40" LIGHT BROWN SILTY FINE SANDY LOAM, LOOSE
40-52" MIXED ROTTEN ROCK, BOULDERS AND TILL, LOOSE
NO GROUNDWATER, LEDGE, OR MOTTLING, ROOTS TO 43"
RESTRICTIVE: NONE

TH-4CC
0-7" TOPSOIL
7-25" ORANGE BROWN SILTY FINE SANDY LOAM, LOOSE
25-38" ORANGE MEDIUM SAND AND GRAVEL, LOOSE
38-61" BROWN SANDY TILL, VERY FIRM
NO GROUNDWATER, LEDGE, MOTTLING AT 36", ROOTS TO 38"
RESTRICTIVE: 36"

TH-4DD
0-8" TOPSOIL
8-27" ORANGE BROWN SILTY FINE SANDY LOAM, LOOSE TO FIRM
27-40" ORANGE MEDIUM SAND, LOOSE TO FIRM
40-59" BROWN SANDY TILL WITH ROTTEN ROCK CHUNKS
NO GROUNDWATER, LEDGE, OR MOTTLING(COLOR DUE TO TEXTURE CHANGE ONLY) ROOTS TO 46"
RESTRICTIVE: NONE

PERCOLATION TEST DATA

PERFORMED BY: CHRIS BELL P.E.
8.16.12

PERC TEST-4C, DEPTH=26"

TIME	READING(in)	RATE(min/in)
10:48	1.5	
10:53	3.5	
10:58	5	
11:03	6	
11:08	7	5.0
11:18	8.25	8.0
11:28	9.5	8.0
11:35	DRY	

PERC TEST-4A, DEPTH=26"

TIME	READING(in)	RATE(min/in)
10:51	1.75	
10:56	3.75	
11:01	5	
11:06	6.5	
11:11	7.5	5.0
11:21	9.5	5.0
11:31	DRY	

PERFORMED BY; BASCOM & BENJAMIN, LLC,
6.4.21

PERC TEST-1, DEPTH=20"
12" PRE-SOAK 6.3.21

TIME	READING(in)	RATE(min/in)
8:45	4	
9:05	8	
9:15	9.75	5.7
9:25	10.75	10
9:35	12	8
9:45	13	10

PERC TEST-2, DEPTH=19"
12" PRE-SOAK 6.3.21

TIME	READING(in)	RATE(min/in)
8:46	4.5	
9:06	9.5	
9:16	11.5	10
9:26	12.75	8
9:36	14.5	5.7
9:46	DRY	

PERC TEST-3, DEPTH=21"
12" PRE-SOAK 6.3.21

TIME	READING(in)	RATE(min/in)
9:40	7.5	
9:45	11	
9:50	12.875	2.7
9:55	14.5	3.1
10:00	16	3.3
10:05	DRY	

PERC TEST-4, DEPTH=19"
12" PRE-SOAK 6.3.21

TIME	READING(in)	RATE(min/in)
9:41	5.25	
9:51	10	2.0
9:56	13.125	1.6
10:01	15.5	2.1
10:06	DRY	

SANITARY DATA

LOT-4

BASIS OF SANITARY DESIGN
NUMBER OF BEDROOMS :4
DESIGN PERCOLATION RATE <10.1 MIN/IN
REQUIRED EFFECTIVE LEACHING AREA: 577.5 SF
USE: 70 LF OF GST 6212 @ 10.0 SF/LF = 700 SF

MINIMUM LEACHING SYSTEM SPREAD(MLSS)
RESTRICTIVE LAYER(RL)=36", SLOPE=9.5%, HYDRAULIC FACTOR(HF)=24
PERCOLATION FACTOR(PF)=1.0, FLOW FACTOR(FF)=1.75
MLSS=(HF)(PF)(FF) = (24)(1.0)(1.75)=42 LF REQUIRED
60 LF PROVIDED

LOT-5

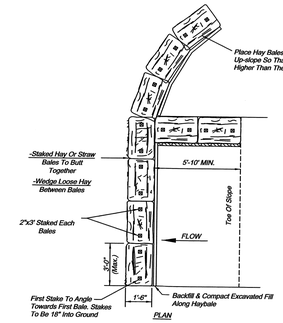
BASIS OF SANITARY DESIGN
NUMBER OF BEDROOMS :4
DESIGN PERCOLATION RATE <10.1 MIN/IN
REQUIRED EFFECTIVE LEACHING AREA: 577.5 SF
USE: 60 LF OF GST 6212 @ 10.0 SF/LF = 600 SF

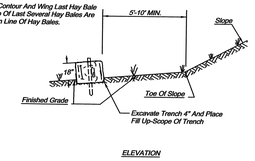
MINIMUM LEACHING SYSTEM SPREAD(MLSS)
RESTRICTIVE LAYER(RL)=22", SLOPE=9%, HYDRAULIC FACTOR(HF)=30
PERCOLATION FACTOR(PF)=1.0, FLOW FACTOR(FF)=1.75
MLSS=(HF)(PF)(FF) = (30)(1.0)(1.75)=52.5 LF REQUIRED
60 LF PROVIDED

LOT-6

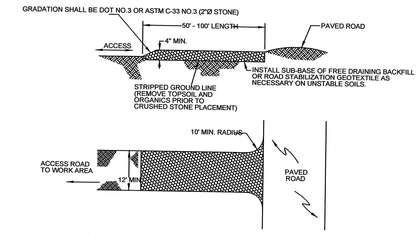
BASIS OF SANITARY DESIGN
NUMBER OF BEDROOMS :4
DESIGN PERCOLATION RATE <10.1 MIN/IN
REQUIRED EFFECTIVE LEACHING AREA: 577.5 SF
USE: 70 LF OF GST 6212 @ 10.0 SF/LF = 700 SF

MINIMUM LEACHING SYSTEM SPREAD(MLSS)
RESTRICTIVE LAYER(RL)=27", SLOPE=9%, HYDRAULIC FACTOR(HF)=24
PERCOLATION FACTOR(PF)=1.0, FLOW FACTOR(FF)=1.75
MLSS=(HF)(PF)(FF) = (24)(1.0)(1.75)=42 LF REQUIRED
70 LF PROVIDED

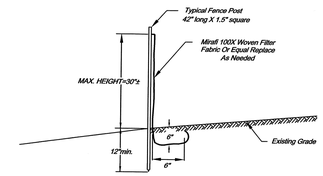




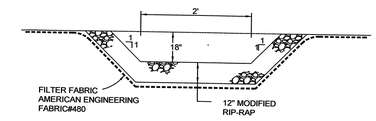
STAKED HAYBALE DETAIL
N. T. S.



CONSTRUCTION ENTRANCE DETAIL
N.T.S



SEDIMENT FILTER FENCE



RIP-RAP DRAINAGE SWALE CROSS SECTION
n.t.s.

EROSION AND SEDIMENT CONTROL NOTE

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE STATE OF CONN. "GUIDELINES FOR SEDIMENT AND EROSION CONTROL" 2002 EDITION.
2. LAND DISTURBANCES SHALL BE KEPT AT A MINIMUM AND LAND RESTABILIZATION SCHEDULED AS SOON AS PRACTICABLE.
3. ALL CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED.
4. HAY BALE FILTERS OR FABRIC FENCE SHALL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
5. AFTER CONSTRUCTION IS COMPLETED, TOPSOIL SHALL BE EVENLY DISTRIBUTED OVER THE DISTURBED AREA, PROPERLY TREATED, AND SEEDED.
6. GRADING SHALL NOT BE DONE IN SUCH A MANNER SO AS TO DIVERT WATER ONTO THE PROPERTY OF ANOTHER LANDOWNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THAT LANDOWNER AND THE COMMISSION.
7. ADDITION EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE TOWN ENGINEER.

REVISIONS

NO.	DESCRIPTION	BY	DATE

#117 COLCHESTER AVENUE - CONN. ROUTE #16
EAST HAMPTON, CT.

PROPERTY OF:
MARTIN SCOVILL

SOIL TEST DATA & DETAILS

DESIGNED BY: P.M.B.
DRAWN BY: S.M.S.
CHECKED BY: P.M.B.
APPROVED BY:

BASCOM & BENJAMIN, LLC
SURVEYING and ENGINEERING CONSULTANTS
360 MAIN STREET DURHAM, CONN
TEL. (860) 349 - 1676

PROJECT NO. 1150-01
SHEET NO. 3 OF 3
SCALE: ------
DATE: 6-23-21