

DETAIL - SWALES  
Not to scale

**NARRATIVE AND PROPOSALS FOR PROTECTION OF LAKE POCOTOPAUG WATERS**

The subject site lies within the designated Lake Pocotopaug Protection Area, which required applicants to provide specific measures to protect and preserve the watershed area of the lake. The following objectives are proposed as part of this subdivision plan...

- Provide a functional plan for the installation and maintenance of necessary erosion and sediment control during construction
- Capture stormwater runoff and inherent pollutants that currently flow downhill toward the lake from the street.
- Minimize impact of lot development on wetlands and lake, during construction and ongoing
- Protection, preservation and enhancement of existing trees and vegetation in the vicinity of existing wetland and the immediate lake area.
- Preservation of existing trees on site.
- Restrictions in the use of fertilizers and pesticides to each lot

**Erosion and Sedimentation Control Measures**

Refer to E & S measures, notes and details on this plan.

**Vegetated Treatment/Infiltration by installation of multiple rain gardens.**

A rain garden is an area in the landscape consisting of a shallow depression in the earth where water will puddle for a short period before infiltrating the soil. The garden typically includes plants and a mulch layer or ground cover. The benefit of this planted area is that it not only provides increased groundwater recharge, but will also provide pollutant treatment. Pollutant treatment in rain gardens is attributed to adsorption, decomposition, ion exchange and volatilization. In traditional landscaping practices, vegetated islands are designed as raised beds, and water may or may not strategically support the vegetation planted there. The goal of a rain garden project is to sink the island, vegetate it, and direct storm water to it both for infiltration and renovation. Typically a rain garden will contain native plants that are inherently well-adjusted to the local climate and which are not overly sensitive to extremes of damp or dryness. This has further benefits in not having to actively water this area.

The proposed rain gardens are located as shown on this plan. Plantings would include mountain laurel and highbush blueberry for structure in the garden, along with perennial flowering plants like cardinal flower, wild ginger, and phlox for seasonal color. Approximate sizes and construction notes for each rain garden area are shown in the table below

**Rain Barrels:**

Rain barrels, connected to the roof downspouts, capture the relatively clean roof runoff and retain it for use in the garden. Rain barrel(s) will be placed in areas with border gardens around the house. These barrels come in many designs and can become a decorative part of the garden as well as functioning to provide water for plantings.

**Driveway/Patio Design:**

Where feasible, the use porous materials for driveway and other hardscape areas in order to increase infiltration of storm runoff into the soil. For example, there are pervious cements and asphalt, as well as pavers and grass structures, that can be used for driveways, patios and paths. Exception would include driveway aprons and landings immediately adjacent to garage doors.

**Conservation Easements**

An easement area is proposed over the easterly portion of Lot 1B, in the vicinity of the inland wetlands. This area is primarily woods. No activities are proposed in the area, except for the trimming of previously damaged and branches from prior and future storms, and the removal of damaged or diseased trees, as may be determined by a certified arborist.

**Preservation of Existing Trees**

Prior to the start of and new construction on-site, proposal site improvements shall be staked out for the purpose of identifying trees to be removed and those to be saved. A final determination shall be approved by an agent of the Town


**Fertilizers and Pesticides**

Proposed lots shall be limited to the use of organic fertilizer and pesticides. no inorganic types shall be permitted.

**SURVEY NOTES:**

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1995.
2. Type of survey performed: Improvement Location Survey - Proposed.
3. Boundary determination category: Record Survey  
Class of accuracy:  
Horizontal: A-2  
Vertical: T-2
4. The intent of this map is to depict the position horizontally and, where required vertically, between particular existing or proposed improvements with respect to the applicable municipal or statutory requirements.
5. Map References:  
2. SUBDIVISION PLAN, PROPERTY/BOUNDARY SURVEY, PROPOSED RESIDENTIAL SUBDIVISION, PROPERTY OF THOMAS WELLS, et al; APPLICANT - DONALD A. DEVIVO ON PROPERTY KNOWN AS MAP 05A / BLOCK 63A / LOT 1, #16 WELLS AVENUE, EAST HAMPTON, CONNECTICUT, SCALE: 1"=40'; DATE: JANUARY 16, 2012, OR AS MAY BE REVISED; MAP PREPARED BY: MBA ENGINEERING, INC.
3. No boundary corners were set by this survey unless noted hereon.
4. Existing contours generated from referenced map.

To the best of my knowledge and belief, this map is substantially correct as noted hereon.

 #70145  
Stephen M. Gludice, L.S. Reg. No. #70145  
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO

**SANITARY CONNECTION NOTES:**

1. NEW SERVICE TO BE INSTALLED TO NEW HOUSE ON LOT 1B, USING NEW EASEMENT ACROSS LOT 1. REMAINING COTTAGE ON LOT 1B TO BE CONNECTED TO NEW LATERAL, AS SITE CONDITIONS REQUIRE. INSTALL CLEANOUTS AS REQUIRED.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE EAST HAMPTON WATER POLLUTION CONTROL AUTHORITY.

**NOTE:** Lake Pocotopaug lies within a Designated Flood Hazard Zone, as shown of Flood Insurance Rate Maps (FIRM), prepared by the Federal Emergency Management Agency (FEMA) for the Town of East Hampton.

**SITE CLEARING NOTES:**

1. ALL PROPOSED SITE IMPROVEMENTS SHALL BE STAKED IN FIELD PRIOR TO CLEARING OF ANY TREES, TO DETERMINE THE EXTENT OF ANY CLEARING.
2. AN AUTHORIZED AGENT FROM THE TOWN OF EAST HAMPTON SHALL FIELD REVIEW AND APPROVE THE FINAL CLEARING PLAN
3. NO CLEARING SHALL BE ALLOWING WITH THE AREA OF THE PROPOSED CONSERVATION EASEMENT, EXCEPT FOR BRANCH AND LIMBS DAMAGED BY PRIOR OF FUTURE STORMS, OR AS MAY BE RECOMMENDED BY A CERTIFIED ARBORIST.

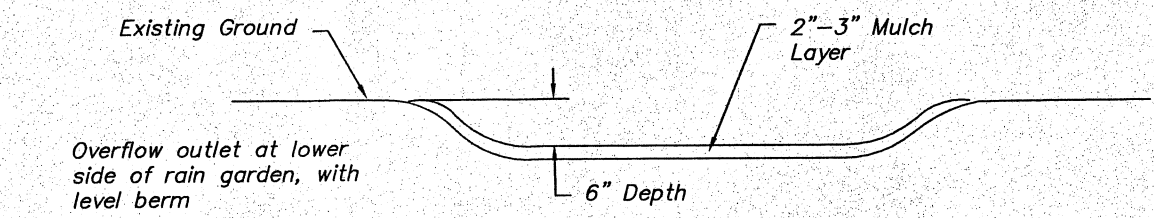
**NOTES:**

1. PROPERTY IS LOCATED IN AN R-1 RESIDENTIAL ZONE (with Sewers)
2. HORIZONTAL DATUM CONFORMS TO THE CONNECTICUT GRID SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD '83).
3. ELEVATIONS ARE TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD '29).
4. TOTAL PROPERTY AREA IS 60,039 Sq. Ft.; 1.378 Acres.
5. LIMITS OF INLAND WETLANDS SHOWN HAVE BEEN FIELD IDENTIFIED BY A CERTIFIED SOILS SCIENTIST FROM SOIL SCIENCE AND ENVIRONMENTAL SERVICES, INC. CHESTER, CONNECTICUT, AND LOCATED BY FIELD SURVEY.
6. PROPERTY CORNERS TO BE ESTABLISHED BY IRON PIPES.
7. THIS PROPERTY MEETS THE REQUIREMENTS FOR AN INTERIOR LOT, AS PROVIDED IN SECTION 6.5 OF THE EAST HAMPTON ZONING REGULATIONS.
8. CONTRACTOR TO TELEPHONE "CALL-BEFORE-YOU-DIG" (1-800-922-4455) PRIOR TO ANY EXCAVATION TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES AND SERVICES.
9. PROPERTY IS SERVED BY SANITARY SEWER, PROVIDED BY THE TOWN OF EAST HAMPTON WATER POLLUTION CONTROL AUTHORITY.
10. PROPERTY IS SERVED BY INDIVIDUAL WELLS.
11. ALL NEW UTILITY CONNECTIONS TO BE UNDERGROUND TYPE, OR AS SITE CONDITIONS MAY REQUIRE.
12. PROPERTY SHALL BE LIMITED TO THE USE OF ORGANIC FERTILIZER AND PESTICIDES. NO INORGANIC TYPES SHALL BE PERMITTED.
13. LOT TO SWALED AS SHOWN ON THIS PLAN
14. PROPOSED DRIVEWAY TO HAVE A MIN. SLOPE OF 1%.

**RAIN GARDEN CONSTRUCTION TABLE**

Garden Designation	Approximate Length	Approximate Depth	Approximate Area	Runoff Type	Design Comments
1	45'	12"	555 SF	Lawn & Driveway	Terrace as required, to accommodate flow from reverse berm and driveway
2	25'	18"	450 SF	Lawn	Use native plantings suitable for areas adjacent to wetlands and woodlands

**NOTE:** Planting types to be selected shall be appropriate for each location, and the type of runoff being directed to each rain garden



DETAIL - RAIN GARDEN GRADING  
Not to scale

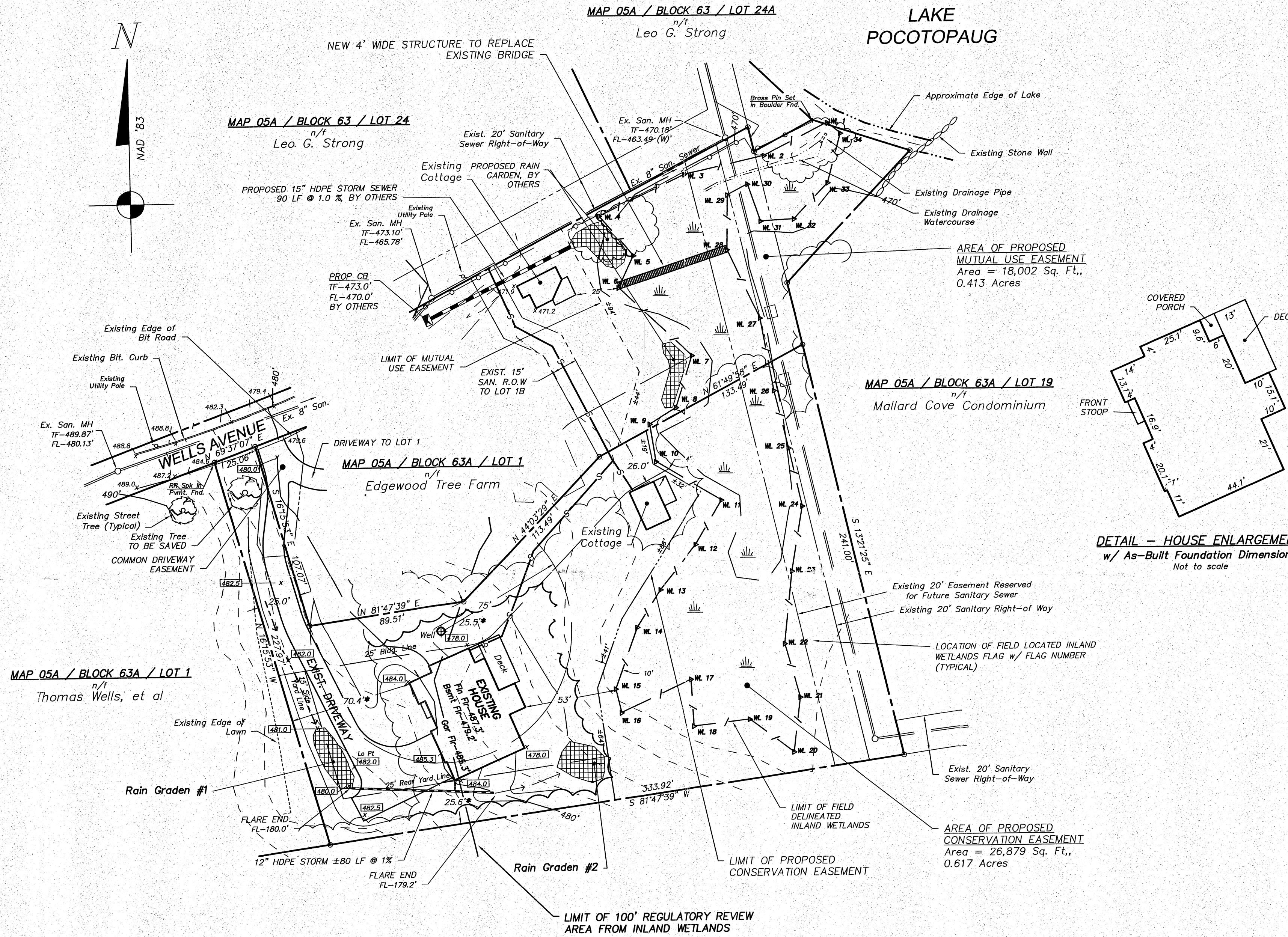
**ZONING CHART**

Existing Zone - R-1 Residential w/ Sanitary Sewers Required	Sanitary Sewers Existing
Minimum Lot Area	20,000 SF / 60,039 SF (1)
Minimum Lot Width	125 Feet / 125 Feet
Minimum Lot Depth	125 Feet / ±338 Feet
Minimum Lot Frontage	100 Feet / 25 Feet (1)
Maximum Lot Coverage	20% / 12%
Minimum Front Setback	25 Feet / 25.5 Feet
Minimum Side Setback	15 Feet / 70.4 Feet
Minimum Rear Setback	25 Feet / 25.6 Feet
Maximum Bldg. Height	30 Feet / ±24 Feet

(1) THIS PROPERTY MEETS THE REQUIREMENTS FOR AN INTERIOR LOT, AS PROVIDED IN SECTION 6.5 OF THE EAST HAMPTON ZONING REGULATIONS.

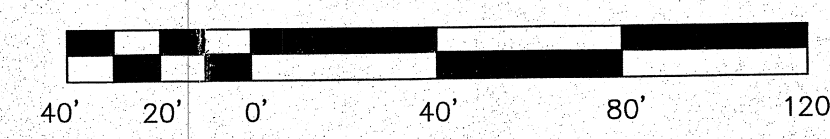
THIS PLAN IS AS-BUILT AS SHOWN HOUSE LOCATION AND ELEVATION  
\*10/20/14\*

NOTE: FOUNDATION LOCATION AND GRADES ONLY. DOES NOT INCLUDE OTHER SITE IMPROVEMENTS OR GRADING



DETAIL - HOUSE ENLARGEMENT w/ As-Built Foundation Dimensions  
Not to scale

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN MBA ENGINEERING SHALL MAKE THESE PLANS NULL AND VOID. MBA ENGINEERING SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.



**cole**  
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**ZONING LOCATION RECORD SURVEY**

<b>PLOT PLAN</b> PROPERTY OF <b>Troy &amp; Gloria Deleon</b> ON PROPERTY KNOWN AS MAP 05A / BLOCK 63A / LOT 1B #16 WELLS AVENUE EAST HAMPTON, CONNECTICUT	JOB NUMBER	2014-023
	SCALE	1" = 40'
MAP PREPARED BY: <b>MBA Engineering</b> Engineering Consulting and Design Services Post Office Box 7316 Kensington, Connecticut 06037-7316 Phone: (860) 829-2224	DRAWN BY	BNB
	CHECKED BY	BNB
DATE: OCTOBER 23, 2011 Revisions: 05/14/14 BNB FOUNDATION AS-BUILT	DATE	OCTOBER 23, 2011
	REVISIONS	05/14/14 BNB FOUNDATION AS-BUILT
PLAN NOT VALID SEALED IN CONTRASTING COLOR	SHEET	1 of 1