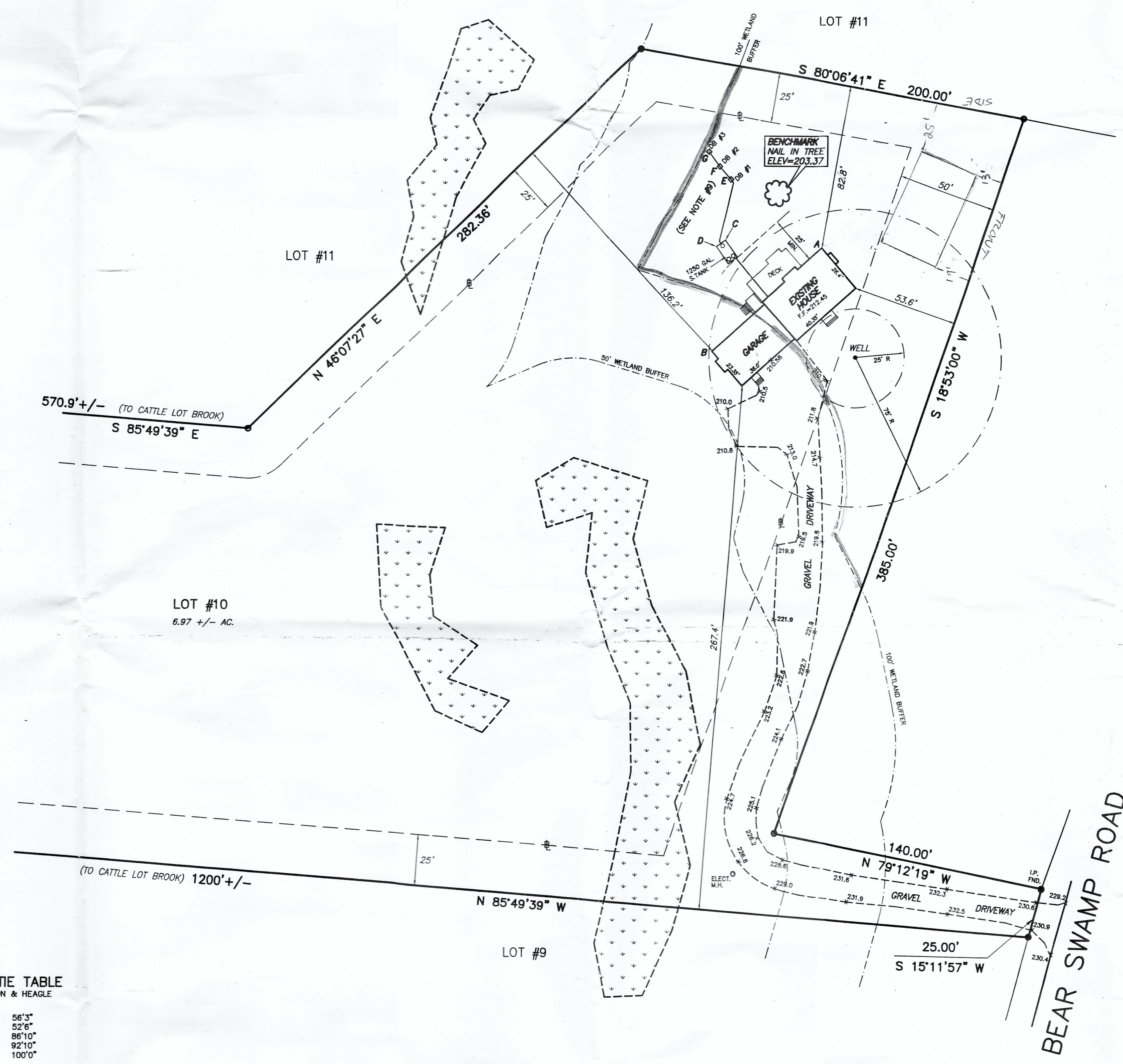


LEGEND

- PROPERTY LINE
- ANGLE POINT
- BUILDING LINE
- 213.0' SPOT GRADE



GENERAL NOTES

- 1.) THE SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THRU 20-300b-20, THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- 2.) THE TYPE OF SURVEY IS A LIMITED PROPERTY/BOUNDARY SURVEY—"ZONING LOCATION SURVEY". THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY BASED ON THE MAP REFERENCED HEREON.
- 3.) THE PURPOSE OF THIS SURVEY IS TO SHOW THE LOCATION OF RECENT IMPROVEMENTS RELATIVE TO THE PROPERTY BOUNDARY TO ENABLE DETERMINATION OF COMPLIANCE WITH SAID REQUIREMENTS.
- 4.) THIS SURVEY CONFORMS TO CLASS A-2 STANDARDS OF ACCURACY.
- 5.) UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND RECORD DRAWINGS AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES.
- 6.) THE OFFSETS OR DIMENSIONS SHOWN HEREON, FROM THE PROPERTY LINES TO THE STRUCTURES, ARE FOR A SPECIFIC PURPOSE AND USE; THEREFORE, THEY ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR TO GUIDE THE ERECTION OF FENCES, ADDITIONAL STRUCTURES, OR ANY OTHER IMPROVEMENT.
- 7.) ELEVATIONS DEPICTED HEREON ARE BASED ON AN ASSUMED DATUM, WHICH IS SPECIFIC TO THIS PROJECT.
- 8.) SEPTIC SYSTEM DATA AND LOCATION WAS SUPPLIED BY MEGSON & HEAGLE AND THE CONTRACTOR.

REFERENCE IS MADE TO THE FOLLOWING MAP:

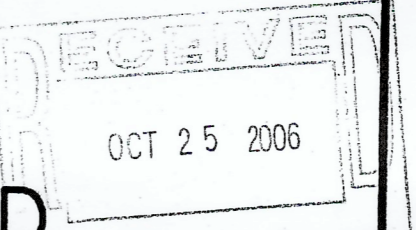
"LOT LINE REVISION, LOT NO. 10 & 11, BEAR SWAMP ROAD, EAST HAMPTON-CONNECTICUT", DATED NOV. 29, 2005 & REVISED 2/6/06, SCALE: 1"=60' PREPARED FOR PDA BUILDERS, BY VOLLMER ASSOCIATES.

SEPTIC SYSTEM TIE TABLE

DATA SUPPLIED BY MEGSON & HEAGLE
(SEE NOTE #9)

A-C 49'5"	B-C 56'3"
A-D 54'0"	B-D 52'6"
A-E 57'7"	B-E 86'10"
A-F 66'4"	B-F 92'10"
A-G 75'0"	B-G 100'0"

AS BUILT
LOT NO. 10
BEAR SWAMP ROAD
EAST HAMPTON, CONNECTICUT



<p>THIS DRAWING IS NOT TO BE DUPLICATED OR USED IN PART OR WHOLE FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF VOLLMER ASSOCIATES, LLP.</p>	<p>GRAPHIC SCALE</p> <p>(IN FEET) 1 inch = 30 ft.</p>	<p>CERTIFIED SUBSTANTIALLY CORRECT:</p>	<p>THIS DRAWING IS NOT VALID UNLESS IT BEARS AN EMBOSSED OR COLORED INK SEAL AND ORIGINAL COLORED SIGNATURE.</p> <p><i>KJS</i></p> <p>KENNETH J. STINER, PLS #70062</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION							<p>DRAWN BY: RJC</p> <p>CHECKED BY: TAS</p> <p>APPROVED BY: KJS</p>	<p>VOLLMER ASSOCIATES, LLP. 188 Norwich Avenue - Suite B1 Colchester, CT 06415 Tel: 860-537-6400 Fax: 860-537-3178</p>	<p>ZONING LOCATION PLAN</p> <p>SCALE: 1" = 30'</p> <p>DATE: OCTOBER 23, 2006</p>	<p>-PREPARED FOR-</p> <p>P D A BUILDERS 381 CABIN ROAD COLCHESTER, CONNECTICUT</p>	<p>SHEET</p> <p>1 / 1</p> <p>JOB # 2005-760-70</p>
NO.	DATE	DESCRIPTION																