



Office Use Only

Project# 1W-22-014

Address: 51 Wangonk Trail

MBL: 09A170C/41

INLAND WETLANDS & WATERCOURSES AGENCY
TOWN OF EAST HAMPTON

CK# 1878 13500

Minimum Requirements for Submission of Application to Inland Wetlands and Watercourses Agency

This form must be submitted with your application

Please check all that are being submitted:

- Completed Application Form (3 Pages)
- Fee Paid
- Site Plan (Showing project location, extent of wetlands, dimensions, etc) - ~~10 Copies~~ ^{1 copy}
- Project Narrative - ~~10 Copies~~ ^{1 copy}
- Soils Report (As Required)
- Stormwater Report (As Required)
- State Reporting Form (Filled in to extent possible)
- Completed Application Checklist (Page 3 of Application)

- Schedule a Site Visit with Planning & Zoning Official at time of Application

I certify that this application is complete:

Signature of Applicant: _____

Date: _____

6/15/2022

The Agency reserves the right to add additional requirements in accordance with the Regulations.

Only Complete Application Packages Will Be Accepted

Office Use Only		
Fee Paid _____	Date Approved _____	Permit Number _____
Public Hearing: YES NO	Agent Approval: YES NO	

**TOWN OF EAST HAMPTON
INLAND WETLANDS & WATERCOURSES AGENCY**

Date: 06/15/2022
 1. Name of Applicant* George Worrall *george.worrall@icloud.com*
 Phone Numbers: Home 860-365-0537 Business _____, Cell 860-262-3490
 Home Address: Street 51 Wangonk Trail Town East Hampton CT State/Zip 06424
 Business Address: Street _____ Town _____ State/Zip _____

* All applications MUST list contact phone numbers. If the applicant is a Limited Liability Corporation or a Corporation, provide the managing member's or responsible corporate officer's name, address, and telephone number.

2. Name of Property Owner (if different from Applicant): _____ Phone _____
 Address: Street _____ Town _____ State/Zip _____

As the legal owner of the property listed on this application I hereby consent to the proposed activities. I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.

Printed Name: George Worrall, Signature: _____, Date: 15 Jun 2022

3. Provide the applicant's interest in the land. _

4. Site Location and Description: Assessor's Map 09A, Block 70C, Lot 41
 Address: Street 51 Wangonk Trail Town East Hampton CT State/Zip 06424

Note: It is the applicant's responsibility to provide the correct site address, map, block, and lot number for the legal notice. Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation.

Area of Wetland to be disturbed: _____ acres or sq. ft.
 Area of Watercourse to be disturbed _____ acres or sq. ft.
 Area of Upland Review Area to be disturbed: 102.122 acres or sq. ft. (Area within 100' of wetland)
TOTAL AREA OF DISTURBANCE 102.122 acres or sq. ft.

Will fill be needed on site? Yes No If yes, how much fill is needed? _____ cubic yards

The property contains (circle one or more)
 WETLANDS, BROOK, RIVER, INTERMITTANT STREAM, VERNAL POOL, SWAMP, OTHER Lake
 Description of soil types on site: _____
 Description of wetland vegetation: _____
 Name of Soil Scientist and date of survey: _____

5. Attach a written narrative of the purpose and description of the proposed activity and proposed erosion and sedimentation controls, best management practices, and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including but not limited to; measures to:

(1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance or create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computations, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer. Include a construction schedule, impacts to vegetation, and pictures that clearly show the existing conditions of all areas to be disturbed and/or cleared of vegetation.

6. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagramed on a site plan or drawing.

Attach plans showing all alternatives considered.

See Narrative # 7

7. Attach a site plan showing the proposed activity and existing and proposed conditions in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands or watercourses. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.

8. Attach the names and mailing addresses of adjacent landowners. Attach additional sheets if necessary.

Name Christopher Liguore Address 49 Wangonk Trail
Name Neal + Molly Herring Address 53 Wangonk Trail
Name _____ Address _____

9. Attach a completed DEEP reporting form.

The Agency shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-39-14 of the Regulations of Connecticut State Agencies.

10. Attach the appropriate filing fee based on the fee schedule in Section 19 of the regulations.

Fee: \$ 135 (Make check payable to "The Town of East Hampton")

11. Name of Erosion Control Agent (Person Responsible for Compliance): _____

George Worrall Phone Numbers: Home 365-0537, Business _____
Cell 860-262-3490 Address: Street 51 Wangonk Trail Town East Hampton
State/Zip CT 06424

12. Are you aware of any wetland violations (past or present) on this property? YES NO
If yes, explain _____

13. Are you aware of any vernal pools located on or adjacent (within 500') to the property? YES NO

14. For projects that do not fall under the ACOE Category 1 general permit – Have you contacted the Army Corps of Engineers? YES NO

15. Is this project within a public water supply aquifer protection area or a public water supply watershed area? YES NO

If so, have you notified the Commissioner of the Connecticut Department of Public Health and the East Hampton WPCA? YES NO

(Proof of notification must be submitted with your application.)

16. PUBLIC HEARINGS ONLY. The applicant must provide proof of mailing notices to the abutters prior to the hearing date.

17. **As the applicant I am familiar with all the information provided in the application and I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.**

Printed name: George Worrall, Signature: [Signature], Date: 15 Jun 2012

Please Note: You or a representative must attend the Inland Wetlands meeting to present your application.



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions, only use one code): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): East Hampton
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): George Worrall
- NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 51 Wangonk Trail
briefly describe the action/project/activity (check and print information): temporary permanent description: Replace decks, stairs, piers
- ACTIVITY PURPOSE CODE (see instructions, only use one code): _____
- ACTIVITY TYPE CODE(S) (see instructions for codes): _____
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: _____ acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): _____ acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO

SECTION 19
APPLICATION FEES

19.5 Fee Schedule. Application fees will be based on the following schedule:

60 +
75

DEEP fee required by C.G.S. 22a-27j will be added to the base fee	<div style="border: 1px solid blue; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">\$60.00</div>
19.5.1 Application Fee plus fee from Schedule A	
19.5.1.1 Residential Uses.	<div style="border: 1px solid blue; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">\$75.00</div> Plus
*Each additional lot with regulated activities.	*Plus \$50.00/lot
19.5.1.2 Commercial/Industrial/Other Uses.	\$400.00
19.5.2 Approval by Authorized Agent	
19.5.2.1 Residential	\$60.00
19.5.2.2 Commercial	\$75.00
19.5.3 Public Hearing Fee	
19.5.3.1 Single Residential	\$100.00
19.5.3.2 Subdivision	\$400.00
19.5.3.2 Commercial, Industrial, Other	\$400.00
19.5.4 Complex Application Fee	(Actual Cost)
The Inland Wetland Agency may charge an additional fee sufficient to cover the cost of reviewing and acting on complex applications. Such fee may include, but not be limited to, the cost of retaining experts, to advise, review, and report on issues requiring such experts. The Agency shall estimate the complex application fee, which shall be paid pursuant to section 19 of these regulations within 10 days of the applicant's receipt or notice of such estimate. Any portion of the complex application fee in excess of the actual cost shall be refunded to the applicant no later than 30 days after publication of the Agency's decision.	
19.5.5 Permitted and Nonregulated Uses:	
19.5.5.1 Permitted Uses as of Right	\$25.00
19.5.5.2 Nonregulated	\$0.00
19.5.6 Regulation Amendment Petitions	\$150.00
(Does not include Notices or Regulation Advisories from DEEP.)	
19.5.6.1 Map Amendment Petitions	\$50.00
Plus fee from Schedule B	
19.5.7 Modification of Previous Approval	
19.5.7.1 Residential	\$ 25.00
19.5.7.2 Subdivision	\$ 50.00
19.5.7.3 Commercial/Industrial/Other	\$ 75.00
19.5.8 Renewal of Previous Approval	\$50.00
19.5.9 SCHEDULE A. For the purposes of calculating the permit application fee, the area in schedule A is the total area of wetlands and watercourses and upland review area upon which a regulated activity is proposed.	
SQUARE FEET OF AREA	
19.5.9.1 Less than 1,000	\$0.00
19.5.9.2 1,000 to 5,000	\$200.00
19.5.9.3 More than 5,000	\$400.00
19.5.10 SCHEDULE B. For the purposed of calculating the map amendment petition fee, the linear feet in schedule B is the total length of wetlands and watercourses boundary subject to the proposed boundary change.	
LINEAR FEET	
19.5.10.1 Less than 500	\$0.00
19.5.10.2 500 to 1,000	\$100.00
19.5.10.3 More than 1,000	\$200.00

Written Narrative – 51 Wangonk Trail (Parcel ID: 09A-70C-41)



Planning to remove current decks then replace current decks and a lakeside “deck” platform in the same footprint with replacements. Stairs will need to be adjusted when rebuilt as they would not meet current code as built. The current deck stairs are the primary code compliance concern. The decks currently cover many of the piers so are not readily accessible to inspect for condition, position and ensure meet current building codes requirements. Requesting permission from inland wetlands to be able to repair/replace, modify or replace any piers as may be required to meet current building code and safety; and if needed add piers for additional support to meet same building requirements. On cursory inspection the visible piers appear to be in good condition, the piers for the 2005 decks were inspected when built with “upper deck” and for the two sets of stairs and landing are 10” cement piers. The piers of the older deck are 12” concrete and appear to be in good condition as well. The stairs end on a cement landing which is also in good condition.

Summary figures:

- **STAIRS** increase size to meet building code is increase of 38 square feet area. **See #1**
- **LANDINGS** increase size to accommodate stair changes increase of 6sq ft. **See #2**
- **DECKS** complete takedown and rebuild of decks, but reduce size 65 sq ft. **See #3**
- **PIERS** repair, replace or add 34 piers, if all (worst case) had to be replaced 102 sq ft. would be disturbed. See Attachment labeled **Pier Locations 1** for all , description **See #4**
- **BOUNDARIES**, site plan see **#5** and Attachments labeled **Boundaries #1 and #2**
- **ABUTTERS** See **#6 & ALTERNATIVES CONSIDERED** See **#7**
- **SEDIMENTATION Control/Mitigation** see Attachment labeled **SEDIMENTATION Control/Mitigation**, description **See #8**

1. STAIRS

- 11 steps from Upper deck to lower are 10 ¼” deep, 7” tall and 35” wide; Railings are attached to outside of stair stringers on one side +3 1/2” wide for 38 ½’ total width.
- 9 steps from Lower deck to cement landing are 8 ¾” deep, 6 ¾” tall 30” wide; Railings are attached to outside of stair stringers on both sides +7” wide for 37’ total width.
- Wider Steps- New steps would be 48” wide to accommodate railings on deck surface and allow for proper distance between handrails. The additional width is about 16 sq ft over current.
- Longer steps- 11 steps from upper deck would be 9” (total run) longer for the total distance, about 3sq ft over current. 9 steps from Lower deck would be 20” (total run) longer for the total distance, about 18 sq ft over current.

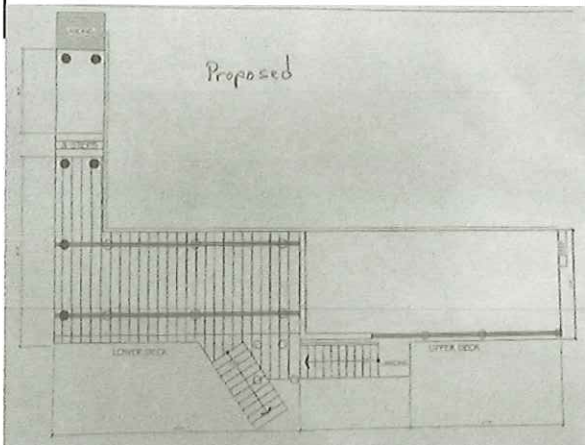
- Additional step- A new step may be needed along the upper deck. It is currently 12" above ground where it meets the yard with no step. IF required a single step 11" deep by 48" wide would be added along south side of upper deck, approx. 4 sq ft.
- **STAIR TOTAL - The total increase for stair size to meet building code is 38 square feet.**

2. LANDINGS

- The landing on the upper deck where stairs begin would need to increase to width of stairs currently 36" x 36" to 36" x 48", to 3 sq ft over current
- The landing where the stairs from the upper deck meet the lower deck is currently 61" x 49". The upper stairs cover the 20" x 35" of the landing. We plan to attached the rebuilt stairs to the edge of the landing so it does not overlap the landing; reorient the stairs at an angle to begin at the edge of the lower deck instead of the wooden landing; the stairs would then pass through the landing leaving a trapezoid shape 36" at the shortest area. This will add about 3sq ft over current.
- Fig 1 Stairs from lower deck begin at deck edge about 36' further from landing so will allow for the 20" longer steps need and allow the steps to be further away from the lake, about 18".

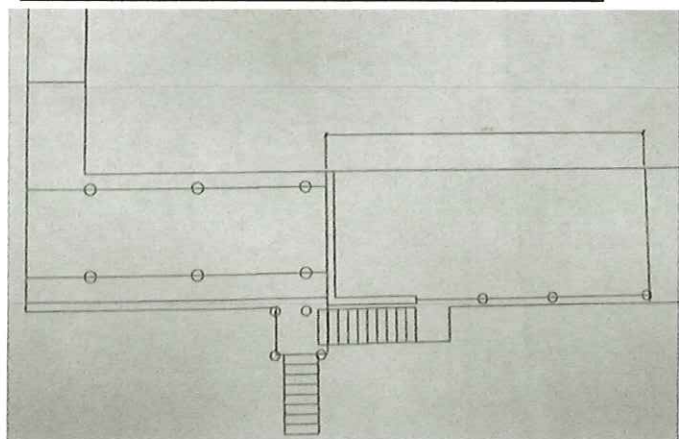
PROPOSED

Stairs from lower deck begin at deck edge about 36' further from landing. Fig. 1



EXISTING

Stairs from lower deck begin at landing.

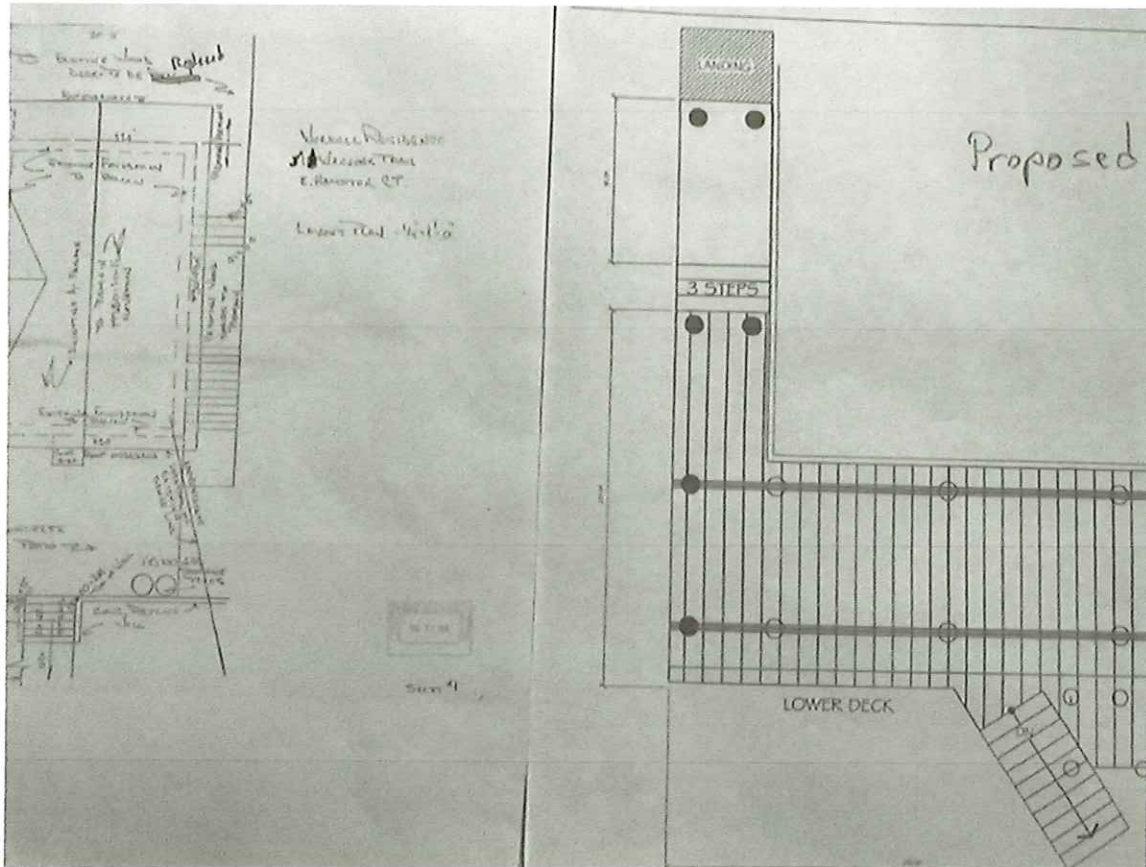


- Fig 2 The original deck had a 60" walkway that continued 33' along the house to meet the front patio. We propose to not rebuild 13' of that; which had already fallen down. Instead add a landing made with plastic landscape timbers and pavers, approx 60"x 48", 20 sq ft. This would not be decking, but would disturb the soil to create. Not replace 65 sq ft of decking.

3. DECKS

Take down complete decks and substructure leaving only piers and replace at same size primary deck area Fig 1. UPPER Deck 29' wide x 12'deep, no change, except possible stair noted in stairs. LOWER deck 26' wide x 12'deep, with 5' wide x 33' walkway around house Fig 2, reduce walkway to where meets ground at 20' point. Revise as indicated in stairs and landings to meet code. LAKE "deck" platform 5'4" x 12'6" built completely over cement platform, no piers.

Diagram from Sheet 1 of 2005 building permit show extent of original walkway along entire side of house, right shows landing at end of proposed shortened walkway. Fig. 2



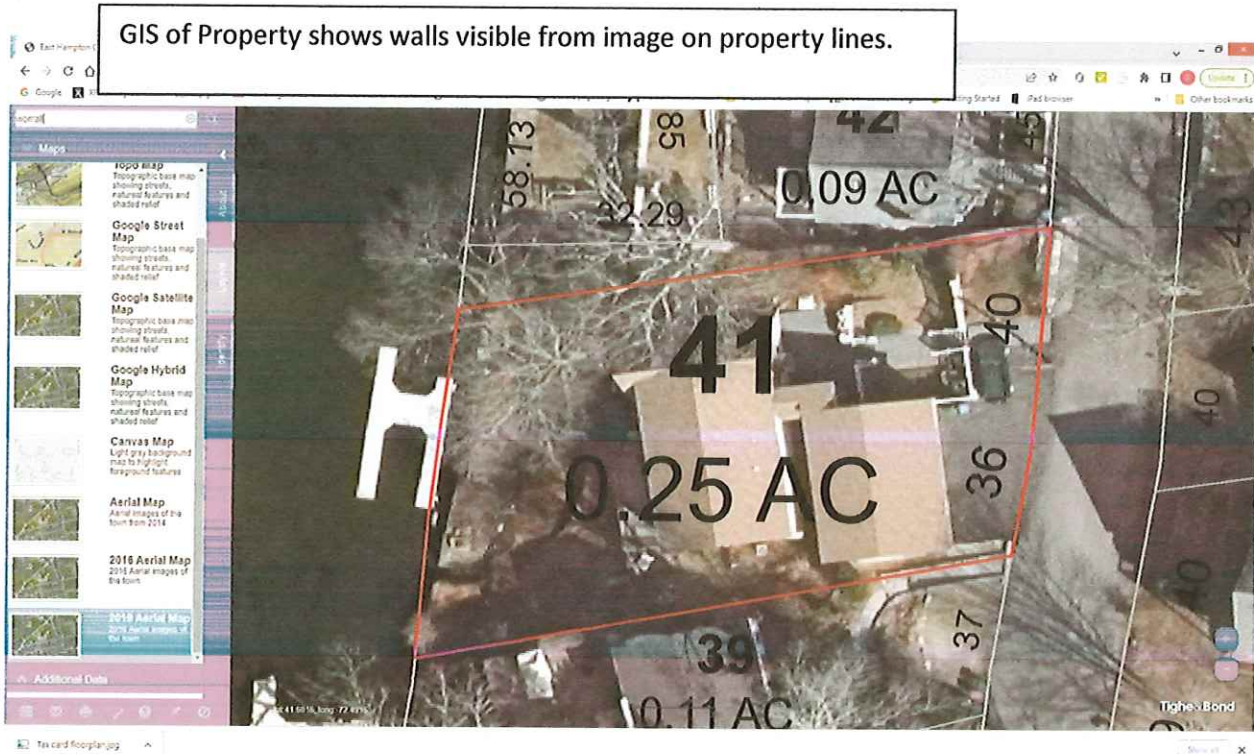
4. PIERS

- 13 Piers and a Cement Knee wall were located (#1-#13 on Pier Locations -1 attachment) and these support the Upper and Lower decks and landings.
- 12 other Piers were expected to be located at key support points but were not accessible or not found (A-J, P and S, on Pier Locations -1 attachment).

- 9 other Pier locations are likely to be required adds to meet current building code. (K-O, Q, R, T and U, on Pier Locations -1 attachment) for the planned deck replacement.
- Requesting permission to repair, replace or add these 34 piers as required to meet building code when replacing the decks, landings and stairs.

5. BOUNDARIES

- The boundaries of the property are delineated by walls between both adjoining properties and the lake, so are easy to locate to show a site plan for the current decks
- Following the visible walls and the delineated boundaries on the East Hampton GIS page, and verified with a tape measure, boundaries are as follows and shown on attachment named Boundaries 1.
 - A on attachment 1, 4' between lower deck and North property line with #53 Wangonk
 - B 30' between North West corner Lower deck and lake
 - C 23' between last step of Lower deck Stairs and lake
 - D 44' between South West corner Upper deck and lake
 - E 15' between South side Upper deck and #49 Wangonk wall (at closet point)
 - Boundaries 2 attachment shows the small "deck" 12'4" x 5'6" (labeled F) which is on the property line with #53 Wangonk and 32" from the lake on the Western point. This is sitting completely atop a large concrete patio (labeled G), so may not technically be a deck. It has no footings or piers as it is completely supported by the cement structure it is built upon.



6. ABUTTERS

- CHRISTOPHER LIGUORE, 49 WANGONK TR, EAST HAMPTON, CT 06424. Parcel ID: 09A-70C-39
- NEAL R HERRING +, 53 WANGONK TR, EAST HAMPTON, CT 6424, Parcel ID: 09A-70C-42

7. ALTERNATIVES CONSIDERED

- Keep the same but extend stairs-The construction of current steps would not meet current building code. Making the steps longer in their current configuration would be the simplest solution and allow no changes; however would then be closer to the lake, and then extend past the existing concrete landing and concrete steps which lead to the lake. So this alternative was discarded.
- Two-story landing -Change stair case that descends to lower deck to descend over existing deck footprint toward the house. Then move the top of stair landing to end of deck, raise lower landing to same height to meet, and descend stairs toward the house. Then below the landing where upper steps descend the stairs descending to the existing cement pad/steps could begin their descent at the edge of the deck 42" closer than where they currently begin their descent. This would increase the amount of setback from the lake for where these steps land on the cement pad. The height of the lower deck is only about 72" below the upper deck, so there would not be sufficient headroom to walk under the landing and down the stairs. Raising the landing higher would need more than the 12 ft available for the stairs to descend toward the house. Lowering the lower deck is not feasible without excavating at the ground surface. So this alternative was discarded.
- Remove decks for patio- This would involve removing decks, piers stairs etc, regrading the surface, building retaining walls and transporting in fill material. This idea is feasible but would cause more upland area disturbance and be cost prohibitive.

8. SEDIMENTATION Control/Mitigation

- Please see the "SEDIMENTATION Control/Mitigation" attachment for a diagram to accompany below text.
 - A silt fence, if required, could be installed along the East side of the cement walls & steps and then South in an arc across the slope below the upper deck.
 - A band of trees (1'-20' and bushes which could filter runoff from the disturbed area above.
 - An area of grass and plantings and flagstone(12'-16') which slopes away from the lake and could trap or filter any sediment from the disturbed area.
- If permitted we could install silt fence downslope from any pier work, as the areas under the decks are stable, vs digging 80' silt fence. In this way we would minimize disturbance in the upland area from the lake to only what is immediately needed. The property has a band of

young trees 6-12 ft tall and bushes between most of the work area and the large flat permeable surface further down the property. These areas are identified on the attachment.

- DISTURBED AREA- If all 34 pier locations needed to be dug, and 3 sq ft were disturbed for each pier 102 Sq ft would be disturbed. To create a non-deck landing made with plastic landscape timbers and pavers, approximately 60"x 48", would disturb 20 sq ft. **Total likely disturbed area 122 sq ft.**

Boundaries 1



Yellow line 4' between lower deck and North property line with #53 Wangonk

Yellow line 30' between NW corner Lower deck and lake

Yellow line 23' between last step of Lower deck Stairs and lake

Yellow line 44' between SW corner Upper deck and lake

Yellow line 15' between S side Upper deck and #49 Wangonk

A **B** **C** **D** **E**

Yellow lines show distance between deck and property boundaries.
Red lines show property boundaries, these all follow existing walls between properties
Purple lines 26x12 lower deck, walkway
Green lines 29x 12 upper deck
Blue lines stairs and wood landing

Boundaries 2



F

Points to a small deck in orange near the lake. Has 6ft lattice that divides the cement pad "G" between #51 and #53 Wangonk. No piers, sits completely atop the cement pad. 32" from lake, 0' from 53 Wangonk

G

White outline shows Cement pad which is approx 5ft thick, 14ft wide and 14.5' deep. Pad extends an additional distance across boundary into #53 Wangonk

White lines show cement pad and steps
Orange lines 5'6" x 12'4" lakeside deck
Yellow lines show distance between deck and property boundaries.

Red lines show property boundaries, these all follow existing walls between properties
Purple lines 26x12 lower deck, walkway
Green lines 29 x 12 upper deck
Blue lines stairs and wood landing

Pier locations - 1



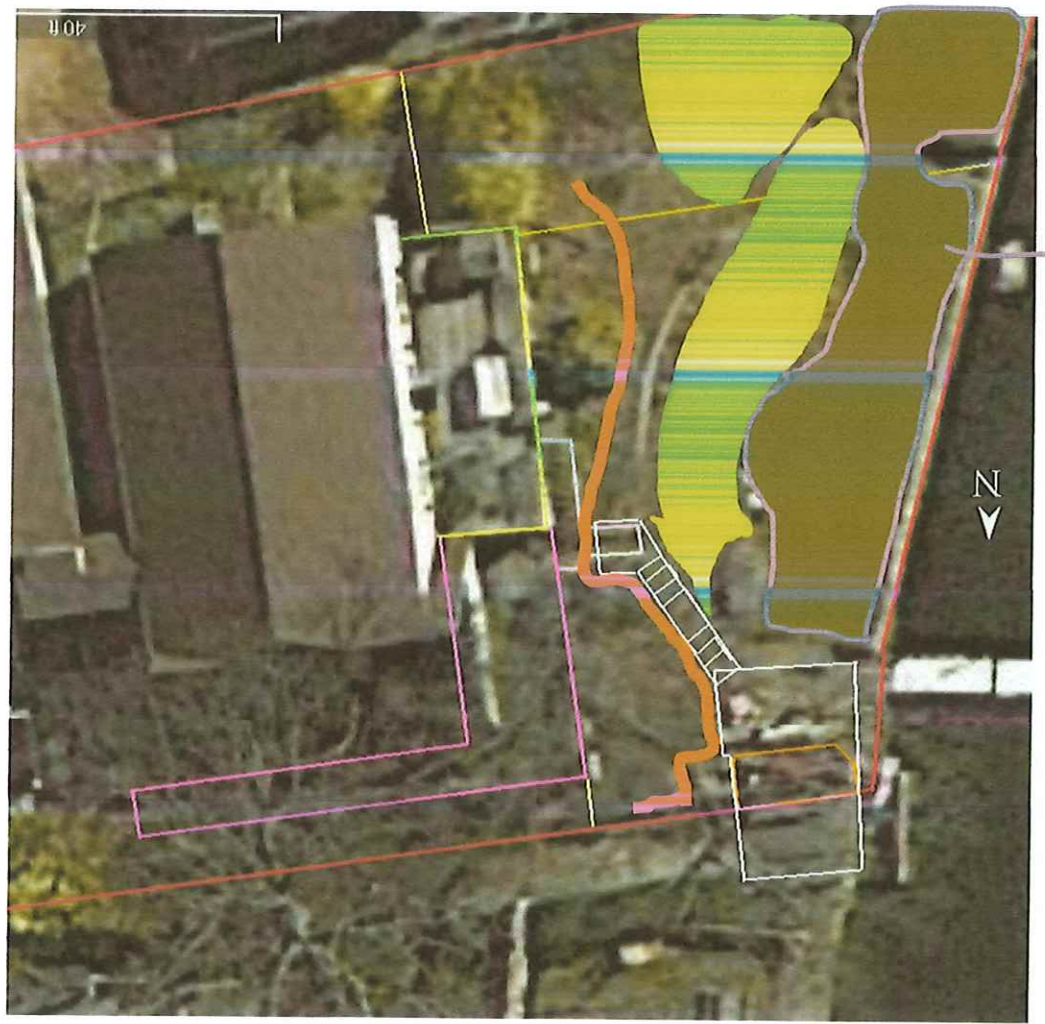
- | | |
|--|---|
| 1 - 12" pier 10" West of foundation, I not found 62" North | 8 - 10" pier 28" West #5, 22.5" South #6, if O needed 58" West |
| 2 - 12" pier 78" West of #1, J not found 62" North | 9 - 10" pier 41" West knee wall, 38" South #7, U if 126" South, T if 58" |
| 3 - 12" pier 10" West of foundation, 99" South of #1 | 10 - 10" pier 55" W of stairs, P if needed 30" South |
| 4 - 12" pier 75" West of #3, 99" South of #2 | 11 - 10" pier 66" South of Knee Wall |
| 5 - 12" pier 106" West of foundation, 101" South of #4, pier S not found, would be 10" from foundation, 75" East of #5 | 12 - 10" pier 66" South of #11 |
| 6 - 10" pier 135" from foundation, K if needed 42" North | 13 - 10" pier 95" South of #11 |
| 7 - 10" pier 35" West #6, L if needed 42" North, if N 13" West | A-H pairs 47" wide, and 60" to 96" from previous pair, not found piers |
| | Q, R pair 38" apart if required for an 11" step from deck, 12" above ground |

Sedimentation Control/Mitigation

If permitted we could only put silt fence downslope from any pier work, as the areas under the decks are stable, vs digging 80' silt fence. **Orange line** is path (~80') where a silt fence, if required, could be installed along the East side of the cement walls & steps and then South in an arc across the slope below the upper deck.

Light Green ovals are a band of trees (1'-20' and bushes which could filter runoff from the disturbed area above.

Olive green with **Blue** border is an area of grass and plantings and flagstone (12'-16') which slopes away from the lake and could trap or filter any sediment from the disturbed area.

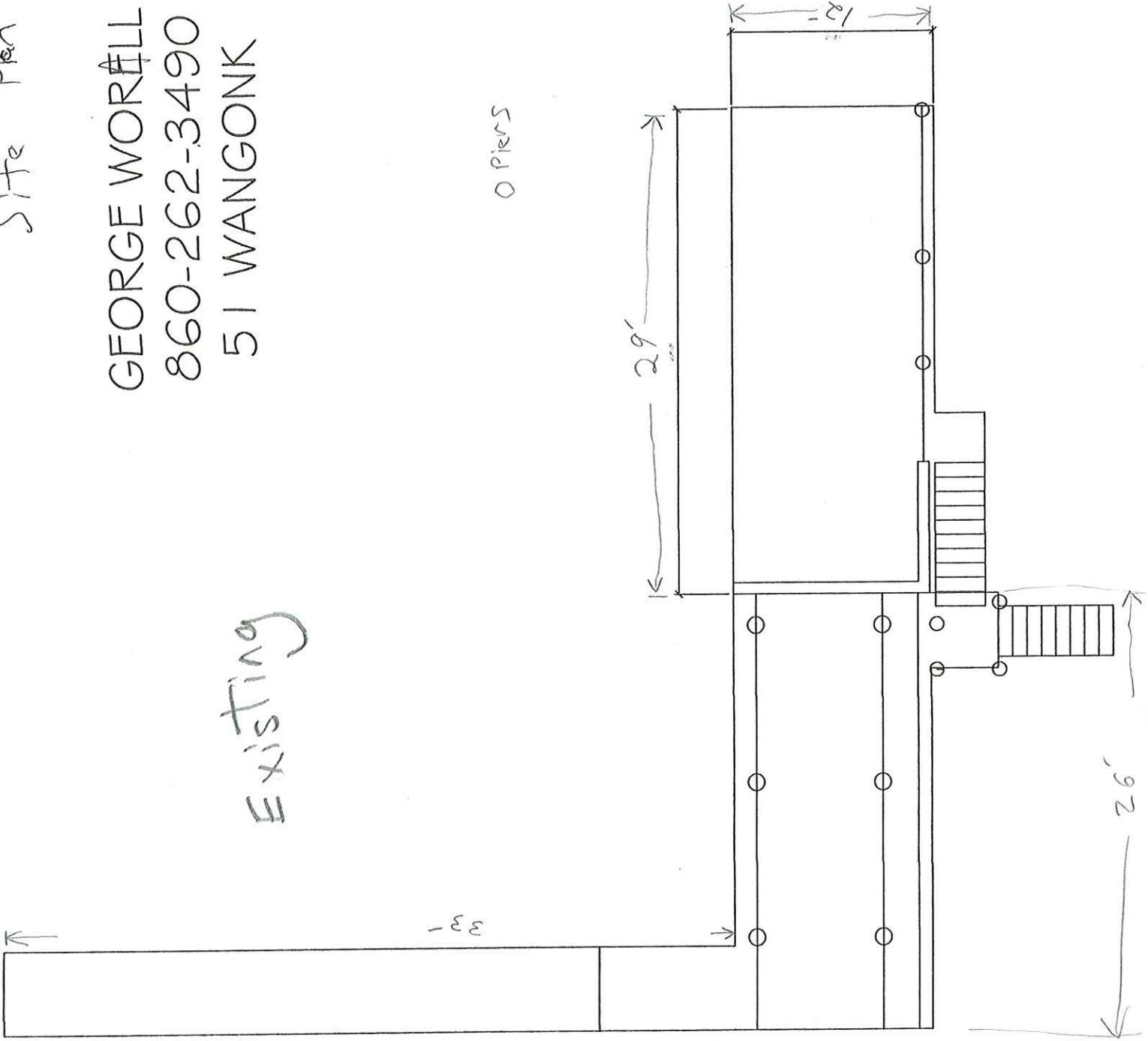


Site Plan 5

GEORGE WORRELL
860-262-3490
51 WANGONK

Existing

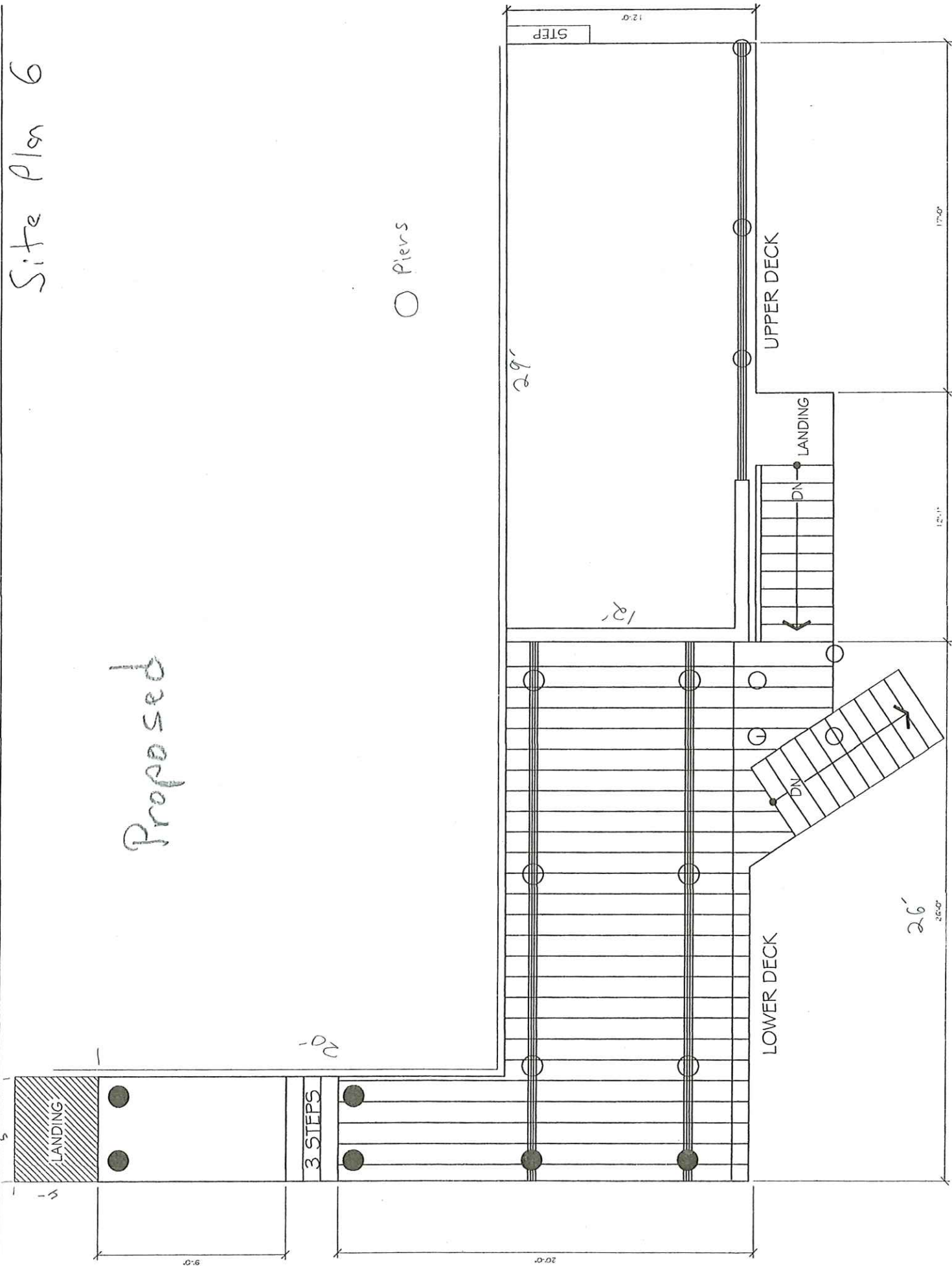
O Piers



Site Plan 6

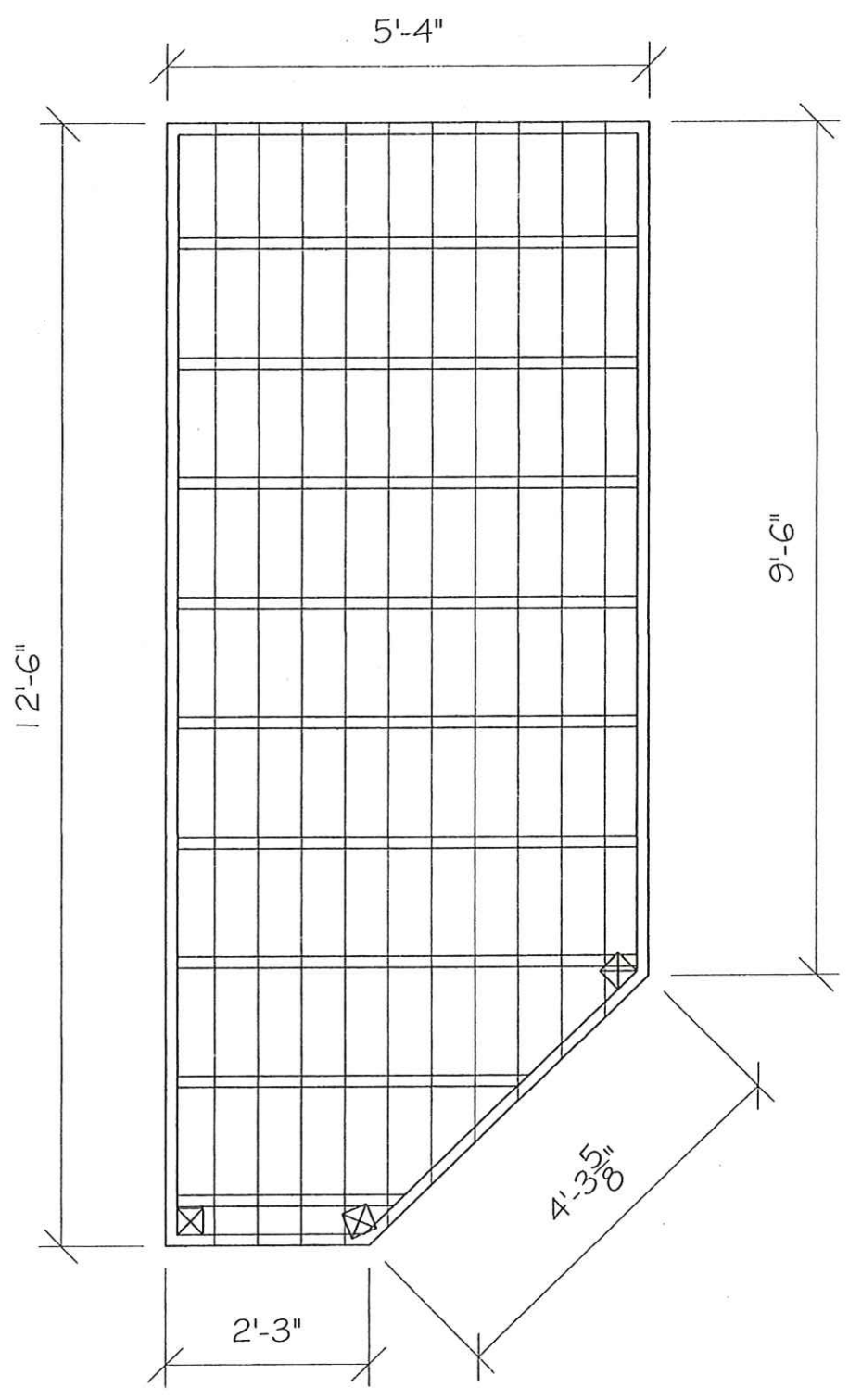
Proposed

○ Piers



Site Plan 7

Lake "deck" platform



Reference Photos – 51 Wangonk Trail

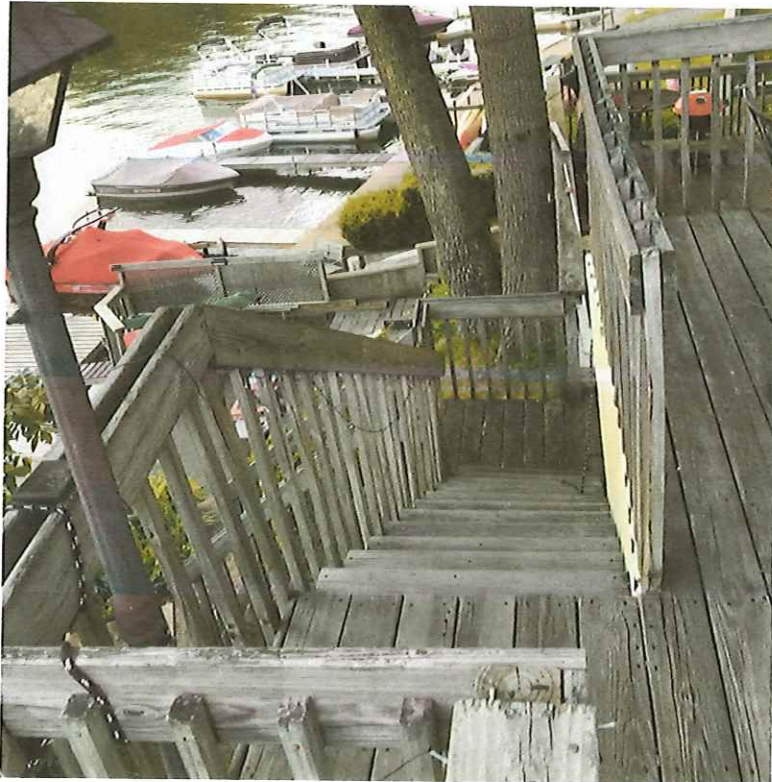
Upper deck looking North – 29' long 12' wide



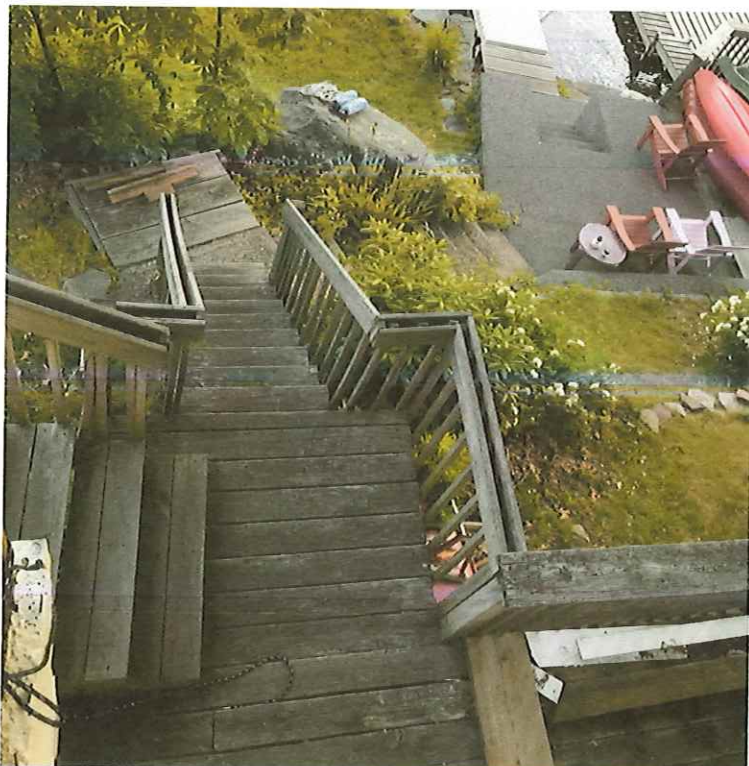
Upper deck midpoint, looking North to upper stair landing 3' x 3'



Upper deck, looking down stairs to Lower deck and landing



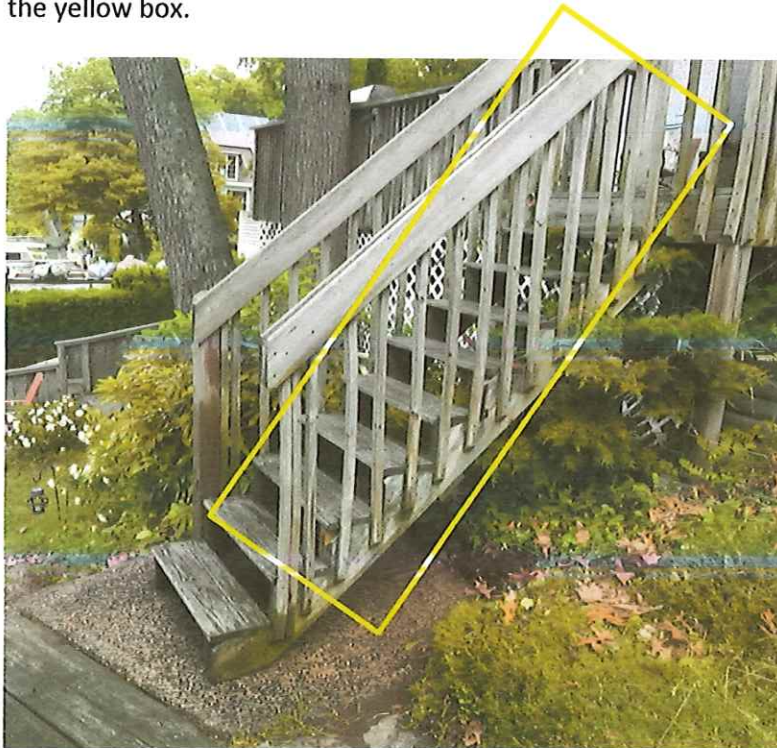
Lower deck Landing 61"x 49" where stairs from Upper deck overlap 20"; and stairs to concrete landing



Adjacent to current landing, this is approximate path revised stairs to concrete landing will follow and reach landing closer to deck and further from lake. Stair shown would be gone and the landing would be angled to allow stair to pass as in drawing of proposed deck.



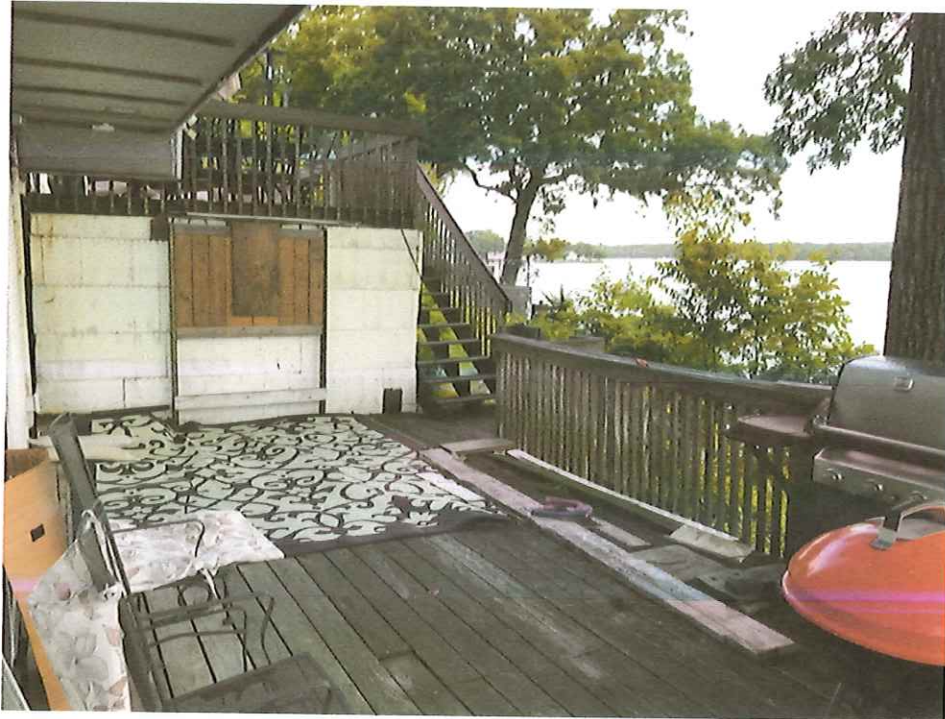
Looking North where stairs meet concrete landing. Adjusting stairs will move them East (Right in this photo) further from the lake and more perpendicular to the concrete landing and steps like the angle of the yellow box.



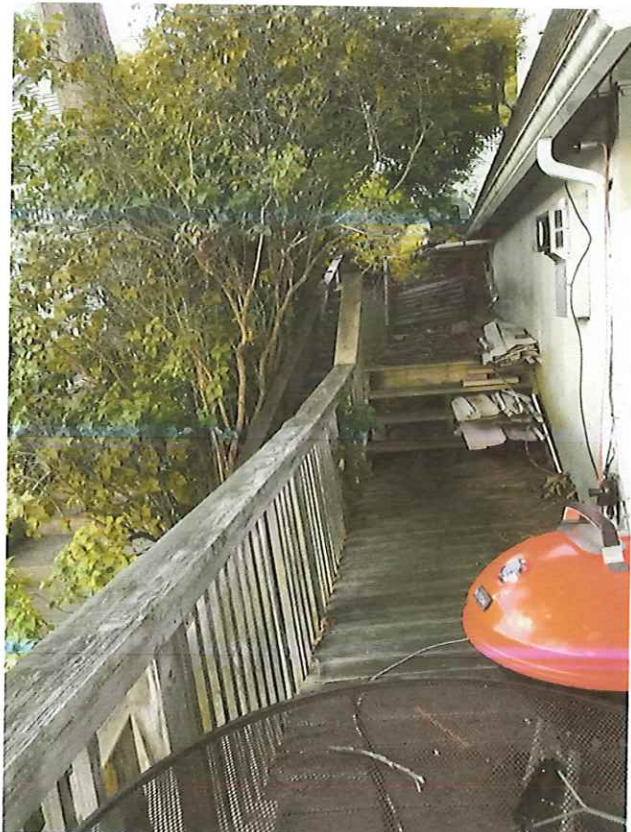
Lower deck looking North (viewed from Upper deck) 26'x12'



Lower deck, looking South (26'x12'), stairs down, white wall is cement ICF knee wall



Looking East from back of house at 5' walkway from Lower deck along house, that will be reduced to 20'



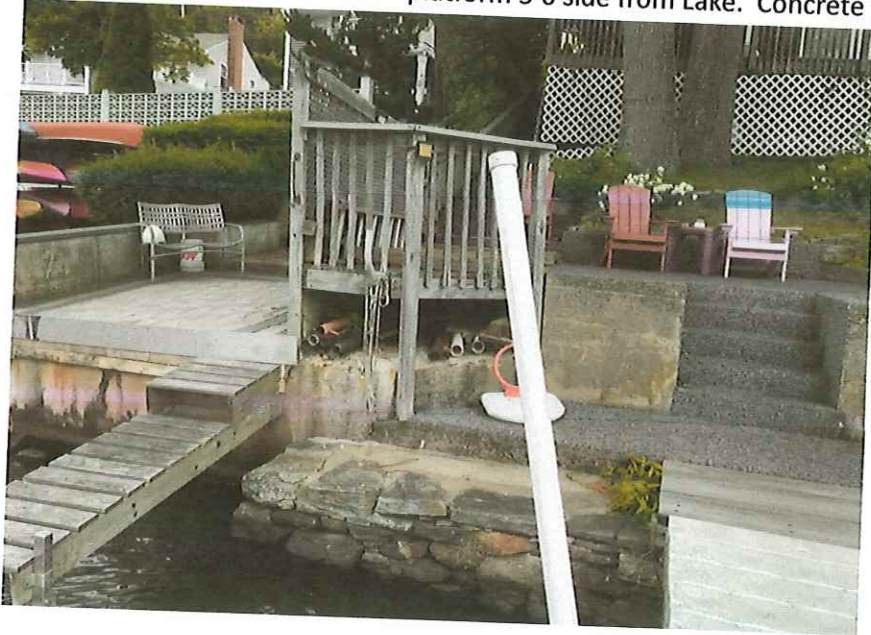
Looking West at front of house, on right see the top of stairs for 5' walkway that will not be rebuilt



Looking North at Lakeside "deck" platform 5'6" x 12'6" that sits on concrete. Gray speckled surface is a non-slip coating on concrete, and concrete walls.



Looking East at Lakeside "deck" platform 5'6 side from Lake. Concrete where steps, 15' back to walls,



under Deck and 10ft into neighbor's yard are all one large concrete structure believed from the 1970s that this structure sits atop. 32inch stone wall separates from the lake.

Looking SouthEast from lake at all decks and house. Notice band of trees midway.

