

Office Use Only
 Fee Paid 335 - CK# 6174 Date Approved _____ Permit Number IW-22-020
 Public Hearing: YES NO Agent Approval: YES NO

TOWN OF EAST HAMPTON
 INLAND WETLANDS & WATERCOURSES AGENCY

SEP 21 2022
 TIME walkin

Date: 9/21/22
 1. Name of Applicant* BURT POCOTOPAY LLC
 Phone Numbers: Home 860-685-1609 Business SAME Cell SAME
 Home Address: Street 21 DAY POINT Rd Town EH State/Zip 06424
 Business Address: Street EH Center P.O. Box 26 Town EH State/Zip 06424

* All applications MUST list contact phone numbers. If the applicant is a Limited Liability Corporation or a Corporation, provide the managing member's or responsible corporate officer's name, address, and telephone number.

2. Name of Property Owner (if different from Applicant): BURT POCOTOPAY LLC Phone SAME
 Address: Street 23 DAY POINT Rd Town SAME State/Zip SAME

As the legal owner of the property listed on this application I hereby consent to the proposed activities. I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.

Printed Name: Christopher G. BURT, Signature: [Signature], Date: 9/21/22

3. Provide the applicant's interest in the land. _

4. Site Location and Description: Assessor's Map 10A, Block 83, Lot 31
 Address: Street 23 DAY POINT Town EH State/Zip CT

Note: It is the applicant's responsibility to provide the correct site address, map, block, and lot number for the legal notice.

Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation.

Area of Wetland to be disturbed: 0 acres or sq. ft.
 Area of Watercourse to be disturbed: 1500 sq. ft. acres or sq. ft.
 Area of Upland Review Area to be disturbed: 1500 sq. ft. acres or sq. ft. (Area within 100' of wetland)
TOTAL AREA OF DISTURBANCE 1500 sq. ft. acres or sq. ft.

Will fill be needed on site? Yes No If yes, how much fill is needed? 10 cubic yards

The property contains (circle one or more) WETLANDS, BROOK, RIVER, INTERMITTANT STREAM, VERNAL POOL, SWAMP, OTHER LAKE FRONT

Description of soil types on site: _____
 Description of wetland vegetation: _____

Name of Soil Scientist and date of survey: CT LAND Surveying LLC

5. Attach a written narrative of the purpose and description of the proposed activity and proposed erosion and sedimentation controls, best management practices, and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including but not limited to; measures to:

(1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance or create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computations, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer. Include a construction schedule, impacts to vegetation, and pictures that clearly show the existing conditions of all areas to be disturbed and/or cleared of vegetation.

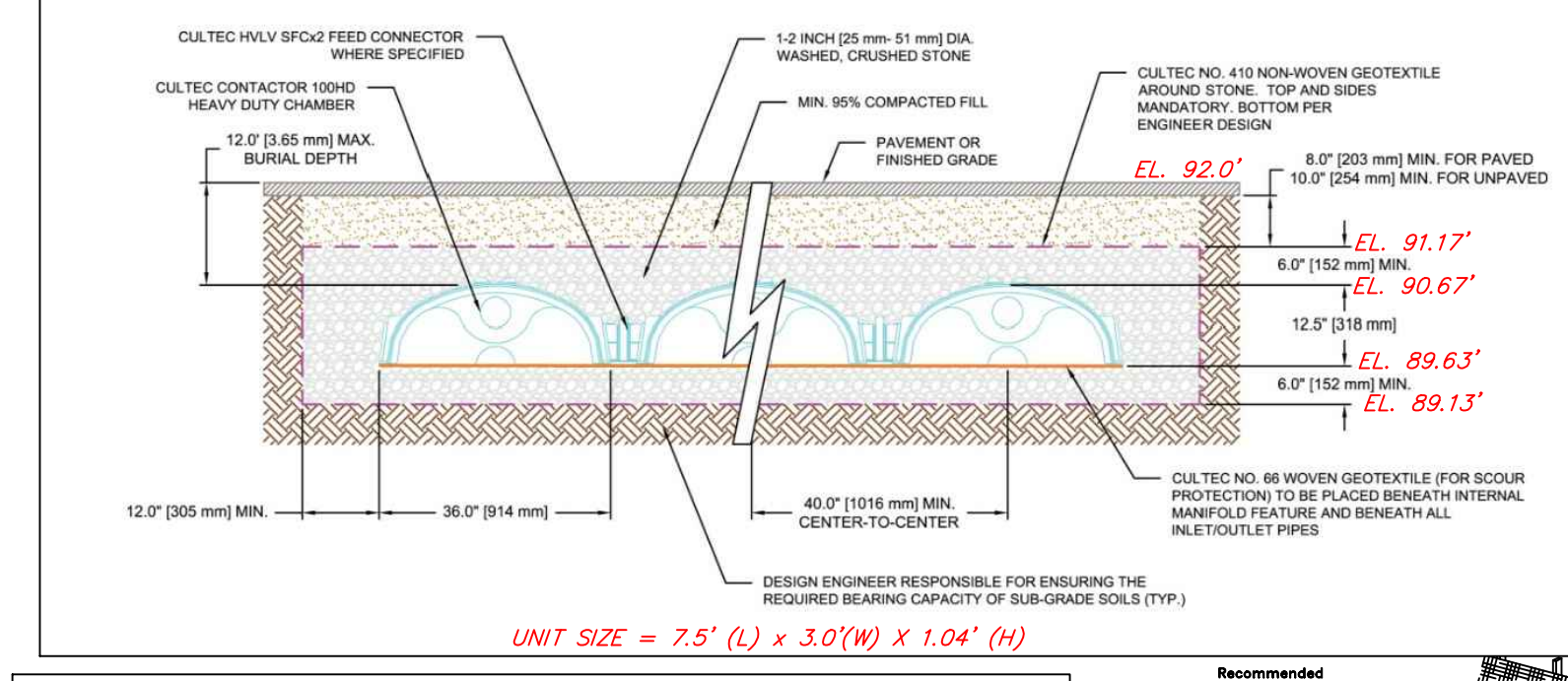
6. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagramed on a site plan or drawing.

[Signature]

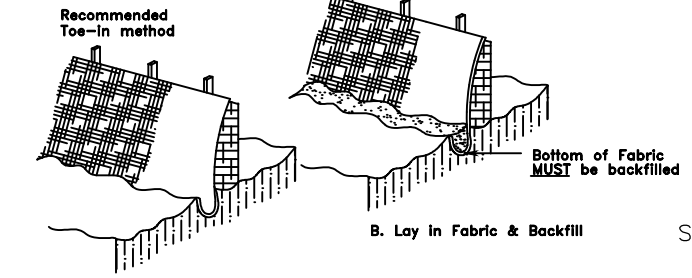
STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS #23 DAY POINT	PROPOSED CONDITIONS #23 DAY POINT	EXISTING CONDITIONS #21 DAY POINT	PROPOSED CONDITIONS #21 DAY POINT
Minimum Lot Area (Sq. Ft.)	20,000 / 60,000	7524±	7524±	7981	N/A
Minimum Lot Width (Ft.)	125'/150'	12.9'	12.9'	21.5'	N/A
Minimum Lot Depth (Ft.)	125' / 200'	125'	125'	125'	N/A
Minimum Front Setback	25'	88.4'	88.2'	27.7'	N/A
Minimum Side Setback	15'	7.5'/23.7'	7.5'/23.7'	10.6'/10.3'	N/A
Minimum Rear Setback	25'	11.6±	11.5' FROM DECK 19.5' FROM HOUSE	8±	N/A
Minimum Street Frontage (Ft.)	100'	40.0'	40.0'	50.50'	N/A
Maximum Lot Coverage	20%	16.4%	20.0%	43.9%	N/A
Maximum Floor Area Coverage	N/A	N/A	N/A	N/A	N/A
Maximum Number of Stories Per Building	N/A	N/A	N/A	N/A	N/A
Maximum Height for a Building or Structure	30'	18±	28±	26±	N/A

BUILDING ZONE: R-1
SUBJECT PROPERTY ASSESSOR MAP & LOT NO. # 10A/83/30 & 31

- LIST OF PLANTS TO BE PLANTED 2.5 FEET APART:
IN RAIN GARDEN LANDSCAPE BUFFER ZONE
1. SWITCH GRASS
 2. FLOWERING DOGWOOD
 3. SWEET PEPPERBUSH
 4. SWEET FERN
- 10 PLANTS
10 PLANTS
10 PLANTS
10 PLANTS



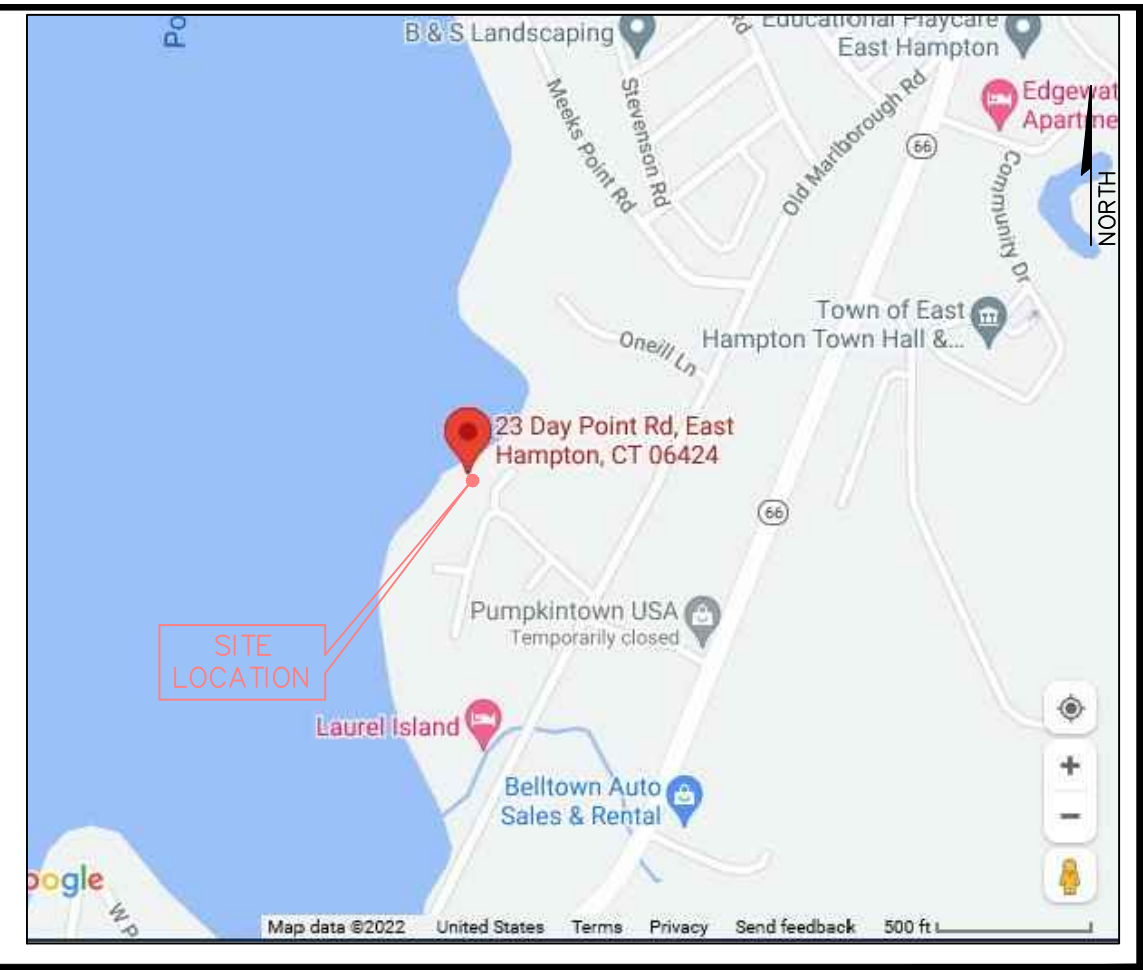
ESTIMATE FOR REMOVAL IN THE EXCAVATION OF THE BASEMENT = 7000± CUBIC FEET



GRADATION TABLE

SQUARE MESH SIEVES	CONN. DOT 2" CRUSHED GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
2 1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1 1/2 INCHES	0-25	0-15	35-70
1 1/4 INCHES	0-10	0-5	0-15
1 INCHES	---	---	0-5
3/4 INCHES	---	---	0-5
1/2 INCHES	---	---	0-5
3/8 INCHES	---	---	---

SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT.



LOCATION MAP
NOT TO SCALE

SURVEY NOTES

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
2. This Survey conforms to Class A-2 & T-2.
3. The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
4. Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
5. North Arrow is based on Map Reference # 1.
6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
7. This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
8. Property Lines Established According to Record Deeds as exist.
9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
10. Underground Utility, Structure and facility Locations depicted and noted herein have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
11. Elevations are based on Assumed Datum.

MAP REFERENCES

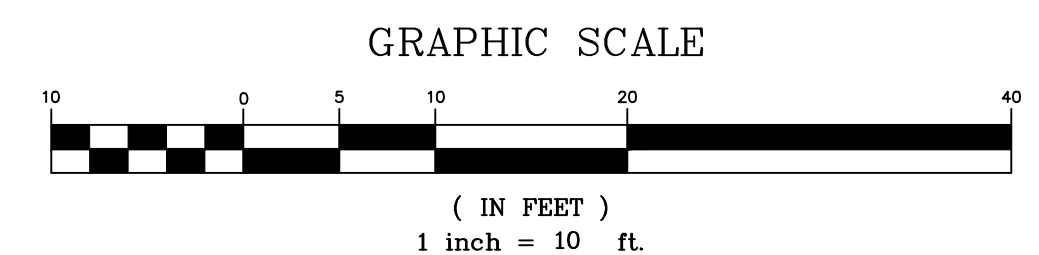
1. RECORD MAP NO # VOL. 66, PAGE 63.
2. MAP SHOWING PROPERTY OF ISLAND VIEW COMMUNITY, OLD MARLBOROUGH ROAD, EAST HAMPTON, CT, DATED 12/03/90, REV. 04/30/1991, SCALE 1" = 20', PREPARED BY ANDERSON ASSOCIATES, RECORD MAP NO # 54.
3. REVISED SEWER EASEMENT PREPARED FOR CHRISTOPHER G. BERT, DAY POINT ROAD, EAST HAMPTON, CT SCALE 1" = 10', DATED AUGUST 05, 1993. RECORD MAP NO # 47.
4. PROPERTY SURVEY PREPARED FOR DOUGLAS BEVIN, DAY POINT ROAD, EAST HAMPTON, CT, SCALE 1" = 20', DATED OCTOBER 10, 1984, PREPARED BY DUTCH & ASSOCIATES.
5. MAP OF SANITARY SEWER SYSTEM FOR DAY POINT ROAD, PROVIDED BY SANITARY SEWER DEPARTMENT OF EAST HAMPTON MAP NO # 8-35.

PROPERTY SUBJECT TO:

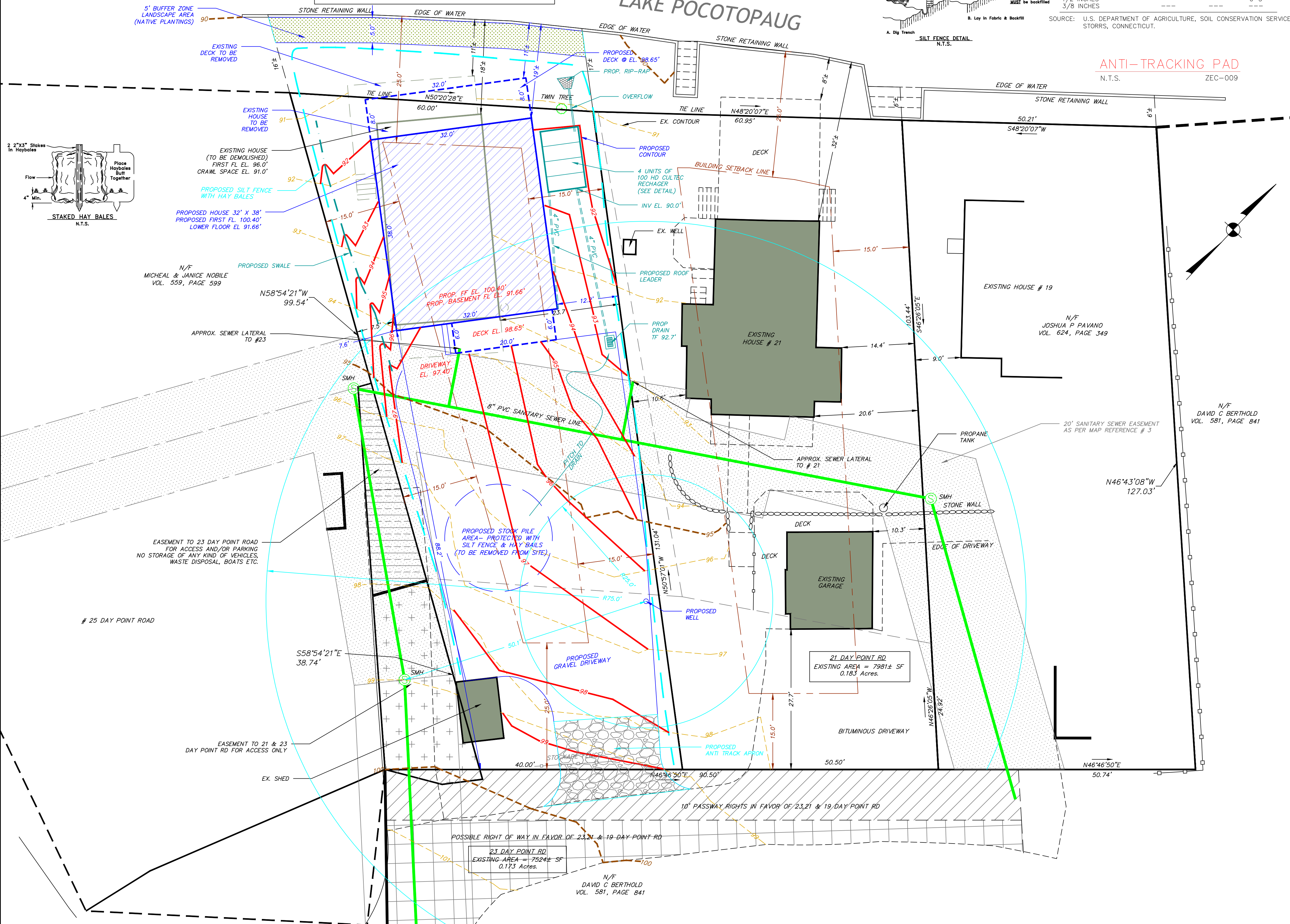
1. PREMISES SUBJECT TO SANITARY SEWER EASEMENT AS DEPICTED ON THE SURVEY.
2. EASEMENTS, RESTRICTIONS, RIGHTS AND ENCUMBRANCES AS OF RECORD APPEAR IN THE EAST HAMPTON LAND RECORDS.

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, description, or elevations of any underground structure. The Underground structures depicted herein are for informational purpose only. There are no warranties or representations, expressed or implied and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document. Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.



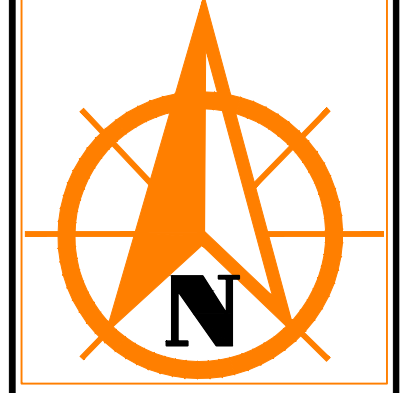
RECEIVED
10.24.2022
East Hampton
Land Use Dept.



PREPARED FOR
CHRISTOPHER G. BERT
21 DAY POINT ROAD,
EAST HAMPTON, CT

OWNER
CHRISTOPHER G. BERT
21 DAY POINT ROAD,
EAST HAMPTON, CT

NO.	DATE	REVISIONS
5	10-21-2022	REVISED SITE PLAN
4	10-07-2022	REVISED WELL LOCATION & TOWN COMMENTS
3	08-25-2022	PROPOSED SITE PLAN
2	08-14-2022	REVISED PROP. HOUSE FOR 23
1	07-08-2022	PROPOSED HOUSE FOR 23



CT LAND SURVEYING, LLC

SBE I MBE CERTIFIED
LAND SURVEYING / LAND PLANNING

CT LAND SURVEYING, LLC
58 OLD TAVERN ROAD
ORANGE, CT 06477
P: (203) 503-1193
FAX: (203) 404-0411
EMAIL: JSONI2@YAHOO.COM

PROPOSED SITE PLAN
PREPARED FOR
BURT POCOTOPAUG LLC &
CHRISTOPHER G. BERT
23 & 21 DAY POINT ROAD,
EAST HAMPTON, CONNECTICUT

DRAFTED: CAD
APPROVED: J.S.
SCALE: 1" = 10'
PROJECT NO.: 220102
DATE: 05/19/2022
CAD FILE: 220102

TITLE:
IMPROVEMENT
LOCATION SURVEY

SHEET NUMBER:
EX-1 OF 1

RECEIVED
10.24.2022
East Hampton
Land Use Dept.

BRIAN FLANNERY BUILDERS LLC

General Contractor
9 Flannery Row
East Hampton, CT 06424
Phone: (860) 267-8869
Cell: 860-490-8166

Jeremy DeCarli
Planning & Zoning Official
Town of East Hampton CT

October 24, 2022

Re: 23 Day Point Road
East Hampton
Chris Bert residence

Jeremy, I have been hired by Chris Burt to demolish and remove existing house/building at above mentioned address and build him a new house in its place.

My plan once a building/demo permit have been issued is as follows.

Step 1

Install Anti Track Apron
Install silt fence and hay bales as noted on plan.
Install a snow fence at the lake side of existing building.

Step 2

Demolish existing building and remove from site. All work to be complete within two consecutive working days.
Demolition to be performed by Fowlers Auto Wrecking (License NO: DMCR.003418) and debris to be taken to Belltown Recycling Center, East Hampton.
Dumpsters will be on site during demolition, and debris will be removed as the building is being demolished
Any debris on site over night to be stock plied in designated area and covered, removed the next day.

Step 3

Strip existing topsoil on the two sides and lake side of house, approximately 8”to 12” from silt fence and 20’ from the new proposed house location on the roadside.
Remove all material (topsoil) from site.
NO material will be stockpiled on site.

Step 4

Excavate for Foundation.
Dig 42” deep by 48” wide trench around perimeter of house (approximately 84” deep at roadside of house due to rise in grade)

Half of the excavated material will go on the inside of the trench and half will go on outside of the trench. This material will be used to back fill foundation.

***Basement area will not be excavated, slab to be 8" above grade. No material to be removed**

Step 5

Pour footings and foundation and basement floor.

Step 6

Back fill foundation with existing excavated material.

Bring in approximately 3 truckloads of fill (54 cubic yards) to fill in front of the new foundation on the roadside of new house. Hook up sew and install well trench.

Step 7

Construct/build house.

A 30-yard dumpster will be on site at all times during construction.

Extra care will be taken to ensure job sit to be clean and free of debris during construction.

Step 8

Upon completion of the new house, installation of Cultec Chambers, final grading, and sod lawn can begin.

Strip remaining topsoil from areas to be re-graded.

Bring in approximately 50 cubic yards of fill and driveway material to Site Plan specification (approximately 100 cubic yards of fill to be brought in, total)).

Install Cultic Chambers and drain to Site Plan Spec.

Hook up roof drain to Cultec Chambers.

Bring in topsoil to replace existing topsoil.

Install sod lawn

It will take approximately seven to eight months to complete tis project

RECEIVED
10.11.2022
East Hampton
Land Use Dept.

H.K.ASSOCIATES
PROFESSIONAL ENGINEER
20 TOPAZ LANE
TRUMBULL, CONNECTICUT 06611
PHONE/FAX 203-459-2471
AUGUST 8, 2022
REVISED OCTOBER 7, 2022

DRAINAGE COMPUTATIONS
SCS METHOD 25 YEAR FREQUENCY
ZERO RUNOFF BY RAIN GARDEN
FOR
23 DAY POINT ROAD
EAST HEMPTON, CONNECTICUT



Hem Khona

HEM KHONA, P.E.

SCS METHOD

CN-----EXISTING CONDITON-----69

CN-----PROPOSED CONDITION-----98

CONSTRUCTION OF NEW HOUSE AS SHOWN ON THE SITE PLAN, THE IMPERVIOUS AREA = 1216 SQUARE FEET =0.03 AC.

EXISTING CONDITION PRE 25YEAR RUNOFF = 342 CU.FT.

PROPOSED CONDITION POST 25 YEAR RUNOFF = 670 CU.FT.

RAIN GARDEN STORAGE PROVIDED 106 CU.FT.

FIRST FLUSH 1" RUNOFF COMPUTATIONS

PROPOSED IMPERVIOUS AREA 1216 S.F.

1" RUNOFF 1" X 1216/12 =101.3 CU.FT.

PROVIDED 106 CU.FT.

OVER FLOW DISCHARGE WILL BE LOW POINT IN THE PROPERTY AND IT WILL FLOW TOWARDS EXISTING LAKE AFTER COMPLETE PURIFICATION