



**Office Use Only**

Project# IW-23-001

Address: 41 Day Point

MBL: 10A/83/36C

**INLAND WETLANDS & WATERCOURSES AGENCY**  
**TOWN OF EAST HAMPTON**

**RECEIVED**  
**JAN 13 2023**  
TIME \_\_\_\_\_

## Minimum Requirements for Submission of Application to Inland Wetlands and Watercourses Agency

*This form must be submitted with your application*

**Please check all that are being submitted:**

- Completed Application Form (3 Pages)
- Fee Paid
- Site Plan (Showing project location, extent of wetlands, dimensions, etc) – 10 Copies
- Project Narrative – 10 Copies
- Soils Report (As Required)
- Stormwater Report (As Required)
- State Reporting Form (Filled in to extent possible)
- Completed Application Checklist (Page 3 of Application)
  
- Schedule a Site Visit with Planning & Zoning Official at time of Application

pd ck 130 - \$335 -  
1-13-23

**SCANNED**

*I certify that this application is complete:*

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

The Agency reserves the right to add additional requirements in accordance with the Regulations.

***Only Complete Application Packages Will Be Accepted***

Office Use Only		
Fee Paid _____	Date Approved _____	Permit Number _____
Public Hearing: YES NO	Agent Approval: YES NO	

**TOWN OF EAST HAMPTON  
INLAND WETLANDS & WATERCOURSES AGENCY**

Date: 1/11/2022  
 1. Name of Applicant\* AMANDA CAVANAGH Email: AKCAVANAGH4331@GMAIL.COM  
 Phone Numbers: Home \_\_\_\_\_, Business \_\_\_\_\_, Cell \_\_\_\_\_  
 Home Address: Street 41 DAY POINT ROAD Town E. HAMPTON State/Zip CT 06424  
 Business Address: Street \_\_\_\_\_ Town \_\_\_\_\_ State/Zip \_\_\_\_\_

\* All applications MUST list contact phone numbers. If the applicant is a Limited Liability Corporation or a Corporation, provide the managing member's or responsible corporate officer's name, address, and telephone number.

2. Name of Property Owner (if different from Applicant): \_\_\_\_\_ Phone \_\_\_\_\_  
 Address: Street \_\_\_\_\_ Town \_\_\_\_\_ State/Zip \_\_\_\_\_

**As the legal owner of the property listed on this application I hereby consent to the proposed activities. I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.**

Printed Name: \_\_\_\_\_, Signature: \_\_\_\_\_, Date: \_\_\_\_\_

3. Provide the applicant's interest in the land. 100% Ownership?

4. Site Location and Description: Assessor's Map 10A, Block 83, Lot 36C  
 Address: Street 39/41 DAY POINT ROAD Town EAST HAMPTON State/Zip CT 06424

Note: It is the applicant's responsibility to provide the correct site address, map, block, and lot number for the legal notice. Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation.

Area of Wetland to be disturbed: 0 acres or sq. ft.  
 Area of Watercourse to be disturbed: 0 acres or sq. ft.  
 Area of Upland Review Area to be disturbed: 3,500 acres or sq. ft. (Area within 100' of wetland)  
**TOTAL AREA OF DISTURBANCE** 3,500 acres or **sq. ft.**

Will fill be needed on site? Yes NO If yes, how much fill is needed? \_\_\_\_\_ cubic yards

The property contains (circle one or more)  
 WETLANDS, BROOK, RIVER, INTERMITTANT STREAM, VERNAL POOL, SWAMP, OTHER \_\_\_\_\_

Description of \_\_\_\_\_ of soil types \_\_\_\_\_ on site: \_\_\_\_\_

Description of \_\_\_\_\_ wetland vegetation: \_\_\_\_\_

Name of Soil Scientist and date of survey: \_\_\_\_\_

5. Attach a written narrative of the purpose and description of the proposed activity and proposed erosion and sedimentation controls, best management practices, and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including but not limited to; measures to:

(1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance or create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computations, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer. Include a construction schedule, impacts to vegetation, and pictures that clearly show the existing conditions of all areas to be disturbed and/or cleared of vegetation.

6. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagramed on a site plan or drawing.

Attach plans showing all alternatives considered.

7. Attach a site plan showing the proposed activity and existing and proposed conditions in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands or watercourses. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.

8. Attach the names and mailing addresses of adjacent landowners. Attach additional sheets if necessary.

Name DAVID MONIGHETTI Address 37 DAY POINT ROAD, E. HAMPTON, 06424  
Name MARLAN & ANNE GAPSKI Address 51 DAY POINT ROAD, " " " "  
Name BOK JIN SUNG Address 35 DAY POINT ROAD, " " " "  
WILLIAM ZAPROZNY 34 DAY POINT ROAD, " " " "

9. Attach a completed DEEP reporting form.

*The Agency shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-39-14 of the Regulations of Connecticut State Agencies.*

10. Attach the appropriate filing fee based on the fee schedule in Section 19 of the regulations.

Fee: \_ (Make check payable to "The Town of East Hampton")

11. Name of Erosion Control Agent (Person Responsible for Compliance): \_\_\_\_\_

ADAM DAWIDONICZ, CCM Phone Numbers: Home \_\_\_\_\_, Business \_\_\_\_\_  
Cell 860-234-2300 Address: Street SO MARTIA RD. Town E. HAMPTON  
State/Zip CT/06424

12. Are you aware of any wetland violations (past or present) on this property? YES  NO  
If yes, explain \_\_\_\_\_

13. Are you aware of any vernal pools located on or adjacent (within 500') to the property? YES  NO

14. For projects that do not fall under the ACOE Category 1 general permit – Have you contacted the Army Corps of Engineers? YES  NO

15. . Is this project within a public water supply aquifer protection area or a public water supply watershed area? YES  NO

If so, have you notified the Commissioner of the Connecticut Department of Public Health and the East Hampton WPCA? YES NO

(Proof of notification must be submitted with your application.)

16. PUBLIC HEARINGS ONLY. The applicant must provide proof of mailing notices to the abutters prior to the hearing date.

17. **As the applicant I am familiar with all the information provided in the application and I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.**

Printed name: Amanda Cavanaugh, Signature: \_\_\_\_\_, Date: 1/12/23

**Please Note: You or a representative must attend the Inland Wetlands meeting to present your application.**

## CHECKLIST FOR A COMPLETE APPLICATION

- completed application form including Department of Energy and Environmental Protection reporting form (green copy)
  - A narrative of the purpose and description and methodology of all proposed activities;
  - Alternatives considered by the applicant, reasons for leaving less than a 10' buffer between clearing and the wetlands. Such alternatives to be diagrammed on a site plan or drawing and submitted to the commission as part of the application;
  - Names and mailing addresses of abutting property owners;
  - Three copies of approximately 1"=40' scale plans
  - Locations of existing and proposed land uses
  - Locations of existing and proposed buildings
  - Locations of existing and proposed subsurface sewage disposal systems, and test hole descriptions
  - Existing and proposed topographical and man-made features including roads and driveways, on and adjacent to the site. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.
  - Location and diagrams of proposed erosion control structures
  - Pictures of existing conditions clearly showing all areas to be disturbed, and/or cleared of vegetation.
  - Assessor map, block and lot number
  - Key or inset map
  - North arrow
  - Flood zone classification and delineation
  - Use of wetland and watercourse markers where appropriate.
  - Soil types classification and boundary delineation (flagged and numbered boundary), Soil Scientist's original signature and certification on plans
  - Soil Scientist's (or other wetland scientist) report on the function of the wetlands
  - Watercourse channel location and flow direction, where appropriate
  - 100 ft. regulated area depicted on plans
  - Conservation easements where appropriate
  - A detailed erosion and sediment control plan which meets requirements set forth in the most recent revision of the *Connecticut Guidelines for Soil Erosion and Sediment Control*, published by the Connecticut Council on Soil and Water Conservation, including:
    - Location of areas to be stripped of vegetation and other unprotected areas
    - Schedule of operations including starting and completion dates for major development phases
    - Seeding, sodding, or re-vegetation plans for all unprotected or un-vegetated areas
    - Location and design of structural sediment control measures
    - Timing of planned sediment control measures
    - Use of wetland and watercourse markers
    - Proper certification on the application documents and plans
- In the case of filling in wetlands, watercourses, or regulated upland areas, the following items are necessary:
- Area to be filled
  - Volume of requested fill
  - Finished slopes of filled areas
  - Containment and stabilization measures
  - Proposed finished contours
  - Evaluation of the effect of filling the wetlands with respect to storage volume and its impact downstream showing before and after development flows, and the evaluation of storm water detention including the existing need for flood control downstream
- Other required items:
- Proof of adjoining Town notification, where required;
  - All application fees required by Section 19 of these regulations;
  - A written narrative detailing how the effects of the applicant's proposed activities upon wetlands and watercourses shall be mitigated.
  - A written description of any and all future plans which may be linked to the activities proposed in the current application.
  - Address the potential to enhance the current buffer area.
  - Review drainage information with Town Engineering
  - Mailing requirements for abutters (public hearing only)

SECTION 19  
APPLICATION FEES

19.5 Fee Schedule. Application fees will be based on the following schedule:

DEEP fee required by C.G.S. 22a-27j will be added to the base fee	\$60.00
19.5.1 Application Fee plus fee from Schedule A	
19.5.1.1 Residential Uses.	\$75.00 Plus
*Each additional lot with regulated activities.	*Plus \$50.00/lot
19.5.1.2 Commercial/Industrial/Other Uses.	\$400.00
19.5.2 Approval by Authorized Agent	
19.5.2.1 Residential	\$60.00
19.5.2.2 Commercial	\$75.00
19.5.3 Public Hearing Fee	
19.5.3.1 Single Residential	<del>\$100.00</del>
19.5.3.2 Subdivision	<del>\$400.00</del>
19.5.3.2 Commercial, Industrial, Other	\$400.00
19.5.4 Complex Application Fee	(Actual Cost)
The Inland Wetland Agency may charge an additional fee sufficient to cover the cost of reviewing and acting on complex applications. Such fee may include, but not be limited to, the cost of retaining experts, to advise, review, and report on issues requiring such experts. The Agency shall estimate the complex application fee, which shall be paid pursuant to section 19 of these regulations within 10 days of the applicant's receipt or notice of such estimate. Any portion of the complex application fee in excess of the actual cost shall be refunded to the applicant no later than 30 days after publication of the Agency's decision.	
19.5.5 Permitted and Nonregulated Uses:	
19.5.5.1 Permitted Uses as of Right	\$25.00
19.5.5.2 Nonregulated	\$0.00
19.5.6 Regulation Amendment Petitions	\$150.00
(Does not include Notices or Regulation Advisories from DEEP.)	
19.5.6.1 Map Amendment Petitions	\$50.00
Plus fee from Schedule B	
19.5.7 Modification of Previous Approval	
19.5.7.1 Residential	\$ 25.00
19.5.7.2 Subdivision	\$ 50.00
19.5.7.3 Commercial/Industrial/Other	\$ 75.00
19.5.8 Renewal of Previous Approval	\$50.00
19.5.9 SCHEDULE A. For the purposes of calculating the permit application fee, the area in schedule A is the total area of wetlands and watercourses and upland review area upon which a regulated activity is proposed.	
SQUARE FEET OF AREA	
19.5.9.1 Less than 1,000	\$0.00
19.5.9.2 1,000 to 5,000	\$200.00
19.5.9.3 More than 5,000	\$400.00
19.5.10 SCHEDULE B. For the purposes of calculating the map amendment petition fee, the linear feet in schedule B is the total length of wetlands and watercourses boundary subject to the proposed boundary change.	
LINEAR FEET	
19.5.10.1 Less than 500	\$0.00
19.5.10.2 500 to 1,000	\$100.00
19.5.10.3 More than 1,000	\$200.00

## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3<sup>rd</sup> Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

### PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: \_\_\_\_\_ month: \_\_\_\_\_
- ACTION TAKEN (see instructions, only use one code): \_\_\_\_\_
- WAS A PUBLIC HEARING HELD (check one)? yes  no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(print name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): EAST HAMPTON, CT  
does this project cross municipal boundaries (check one)? yes  no   
if yes, list the other town(s) in which the action is occurring (print name(s)): \_\_\_\_\_
- LOCATION (see instructions for information): USGS quad name: 68/69 or number \_\_\_\_\_  
subregional drainage basin number: 4709 - 04 MIDDLE HADDAM / MOODUS
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): AMANDA CAWANAUGH
- NAME & ADDRESS/ LOCATION OF PROJECT SITE (print information): 41 DAY POINT ROAD  
briefly describe the action/project/activity (check and print information): temporary  permanent  description: \_\_\_\_\_  
SINGLE FAMILY HOME ADDITION
- ACTIVITY PURPOSE CODE (see instructions, only use one code): A
- ACTIVITY TYPE CODE(S) (see instructions for codes): 2 3 12
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):  
wetlands: 0 acres open water body: 0 acres stream: 0 linear feet
- UPLAND AREA ALTERED (must provide acres): 0.08 acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): 0 acres

DATE RECEIVED:

**PART III: To Be Completed By The DEEP**

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED/ COMPLETED: YES NO

## 41 Day Point Road – Cavanaugh Residence

### IWWA Narrative

The applicant for the above-mentioned project is seeking to renovate an existing single family home, and add an addition of approximately 2500 SF to the existing structure, on the North side of the residence, and adjacent to an existing 3-story garage structure. The applicant seeks to remove only those trees and vegetation required for the excavation of the foundation footprint with adjacent workspace, and is expecting to maintain at least a 10' wooded buffer on the North and West sides of the new structure. Additionally, the slope in front of the current and proposed single family home structure maintains a variable vegetated slope approximately 20-25' from the water line and is covered with an organic mass "carpet" which is currently successfully maintaining erosion control from the buffer to the top of an existing breakwater at the edge of the lake. The applicant seeks to maintain this mass and aid in re-establishment of same after the completion of the project, for the purposes of protecting the lake from sedimentation after completion. Additionally, as part of the site design, the applicant is seeking to exceed the Commission's requirement to capture the first inch of rainfall off the new structure, and to utilize existing and additional planting beds and rain gardens for the entrapment and cleansing of stormwater in keeping with the spirit of the Lake Pocotopaug Watershed Overlay District intent.

### Proposed Schedule and Milestones

February 2023 – IWWA Application

March 2023 – IWWA Hearing and PZC Application

April/May 2023 – Building Permit Application and Issuance

May 2023 – E&S controls and excavation for foundation

June – Sept. 2023 – Construction of the new structure

September 2023 – Completion of exterior plantings, beds, seeding during planting season.

Sept. – Dec. 2023 – Interior renovation of existing single family home with punchlist.

January 2024 – Completion and project closeout.



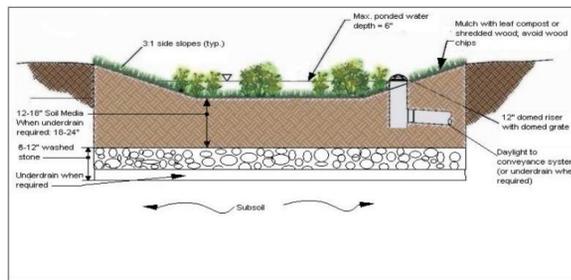
LOCATION MAP  
NOT TO SCALE

NOTES:

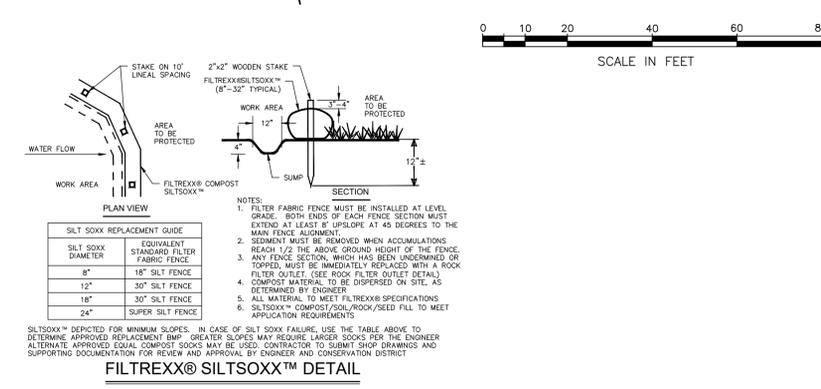
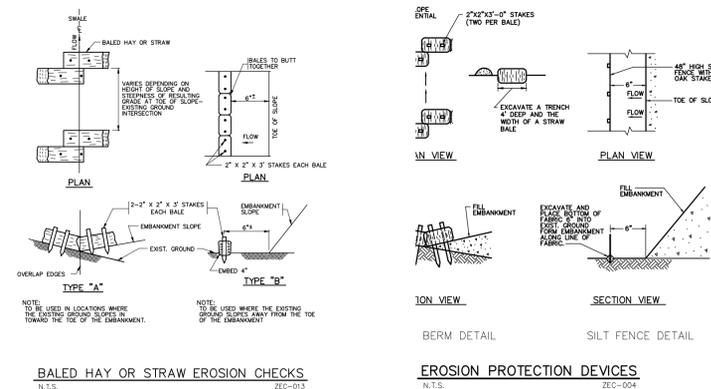
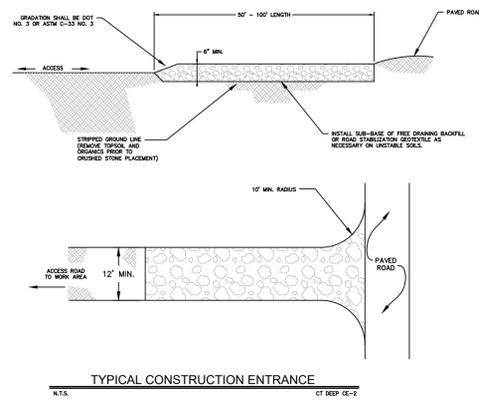
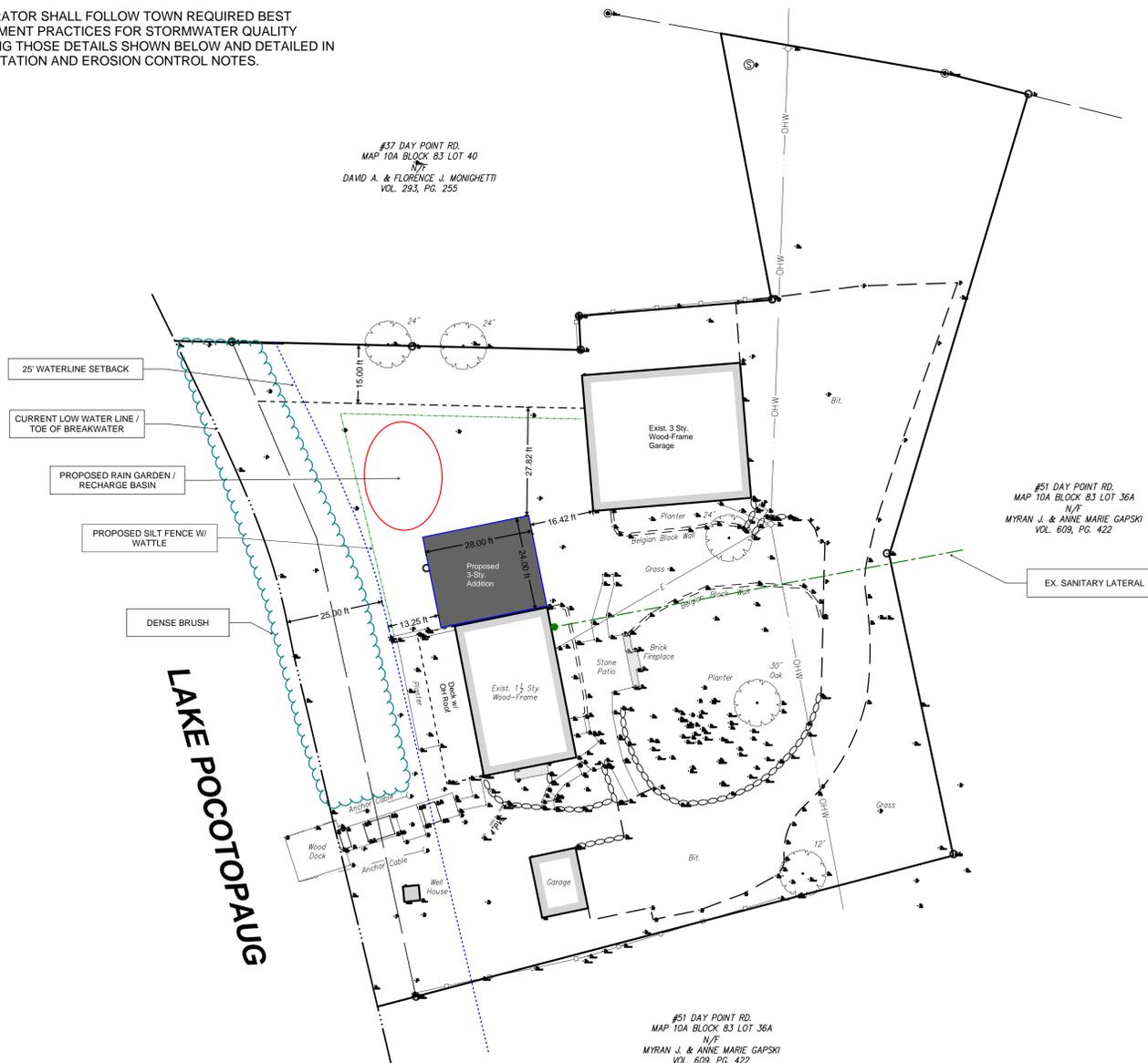
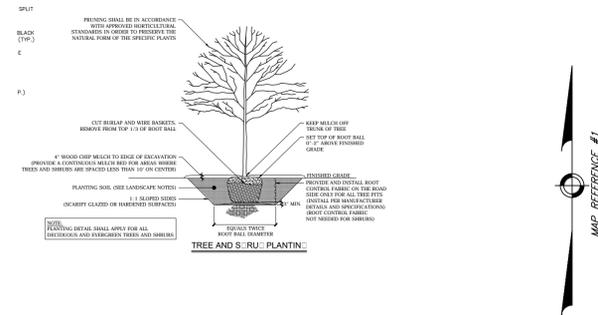
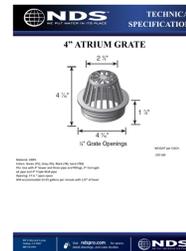
- BEARINGS AND COORDINATES REFER TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD-83.
- EXISTING GRADING ON SITE TO REMAIN.
- NEW STRUCTURE TO BE CONNECTED TO EXISTING SANITARY LATERAL.
- PROPOSED WATER CONNECTION TO BE CONNECTED TO EXISTING PUBLIC WELL.

STORMWATER NOTES:

- DESIGN INPUT OF XXX SF ROOF STRUCTURE CAPTURING FIRST 1.0" OF RAINFALL PER TOWN OF EAST HAMPTON REQUIREMENTS.
- XXX SF X 0.0833' (1") = XX CF MINIMUM WATER CAPTURE REQUIREMENT.
- RAIN GARDEN =
- 294 CF/ XX CF = XX" OF RAINFALL CAPTURED WITH PROPOSED SOLUTION.
- TOP ELEVATION OF RAIN GARDEN SHALL BE XXX.
- ALL GUTTERS SHALL DIRECT WATER FROM ROOF STRUCTURE TO PROPOSED RAIN GARDEN OR OTHER RETENTION STRUCTURES. NO DIRECT FLOW TO LAKE SHALL BE ALLOWED; I.E. SPLASH BLOCKS.
- CONTRACTOR SHALL FOLLOW TOWN REQUIRED BEST MANAGEMENT PRACTICES FOR STORMWATER QUALITY INCLUDING THOSE DETAILS SHOWN BELOW AND DETAILED IN SEDIMENTATION AND EROSION CONTROL NOTES.



RAIN GARDEN TYPICAL SECTION  
N.T.S



SEDIMENTATION AND EROSION CONTROL NOTES:

- EROSION CONTROL MEASURES SHALL CONFORM TO CONNECTICUT D.E.E.P "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002.
- ALL DEVELOPMENT AND REDEVELOPMENT ACTIVITIES SHALL IMPLEMENT "BEST MANAGEMENT PRACTICES" TO PREVENT AND MINIMIZE SOIL EROSION AND SEDIMENTATION.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES APPROPRIATE TO THE CIRCUMSTANCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF DEVELOPMENT OR REDEVELOPMENT ACTIVITIES.
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM AND, WHERE FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED ACROSS THE SITE.
- WHEN NECESSARY, THE STRIPPING OF VEGETATION, REGRADING, OR OTHER DEVELOPMENT SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION.
- ACCEPTABLE TEMPORARY MEASURES, BOTH NATURAL AND MANMADE, SHALL BE USED TO PROTECT EXPOSED OR DISTURBED AREAS DURING DEVELOPMENT.
- IN DISTURBED AREAS, THE DURATION OF EXPOSURE SHALL BE KEPT TO A MINIMUM WITH PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES INSTALLED AS SOON AS POSSIBLE.
- TEMPORARY VEGETATION SHOULD BE PLANTED IF AN AREA IS TO BE STRIPPED FOR A LONG PERIOD OF TIME.
- SEDIMENT IN THE RUN-OFF WATER SHALL BE KEPT AT A MINIMUM USING SUCH MEASURES AS SHOWN AND INCLUDING DIVERSIONS, VEGETATION, DEBRIS BASINS, SEDIMENT BASINS, HAY BALE DAMS, SILT FENCES, SILT TRAPS OR SIMILAR MEASURES, WHICH MEASURES SHALL BE DETAILED IN THE PLANS SUBMITTED.
- STORM DRAIN INLETS AND OUTLETS SHALL BE ADEQUATELY PROTECTED AND MAINTAINED TO MINIMIZE INTRUSION OF SEDIMENT AND STORM WATER VELOCITIES SHALL BE KEPT LOW BY KEEPING SLOPE LENGTHS SHORT AND GRADIENTS LOW.
- CUT AND FILL SLOPES SHALL NOT ENDANGER ADJOINING PROPERTIES AND SHALL NOT BE STEEPER THAN 2:1 UNLESS STABILIZED BY A RETAINING WALL OR CRIBBING AS APPROVED BY THE COMMISSION.
- FILL SHALL NOT ENCROACH ON WATER SOURCES AND WATER COURSES.
- DURING EXCAVATION / GRADING OPERATIONS, NECESSARY MEASURES SHALL BE EXERCISED FOR FUGITIVE DUST CONTROL.
- FILLS SHALL BE PLACED AND COMPACTED SO AS TO MINIMIZE SLIDING OR EROSION OF SOIL.
- ALL SLOPES GREATER 2:1 OR GREATER RECEIVING A LAWN SEED MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING PER SLOPE STABILIZATION DETAIL. HYDROSEEDING WITH TACKIFIER AND FLEXTERRA HIGH PERFORMANCE FLEXIBLE GROWTH MEDIUM OR EQUAL MAY BE SUBSTITUTED.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDDED WITH LAWN SEED MIXTURE UPON FINAL COMPLETION.

**DRAFT**

SURVEY NOTES:

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AS REVISED AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. IT IS A ZONING LOCATION SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED BE USED TO DETERMINE THE POSITION OF EXISTING OR PROPOSED IMPROVEMENTS WITH RESPECT TO APPLICABLE MUNICIPAL SETBACK REQUIREMENTS TO ENABLE DETERMINATION OF COMPLIANCE WITH SAID REQUIREMENTS.
- THE PROPERTY BOUNDARY DIMENSIONS SHOWN HEREON WERE TAKEN FROM MAP REFERENCE #1.

TO MY KNOWLEDGE AND BELIEF, THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

**SITE PLAN**  
FOR  
**AMANDA CAVANAUGH, ET. AL.**  
41 DAY POINT ROAD  
EAST HAMPTON, CONNECTICUT  
R-1 ZONE

---

SHEET No. **C101**

**DRAWING INDEX**

A0.1	NOTES, LEGEND, AND BASEMENT DEMOLITION PLAN
A0.2	FIRST AND SECOND FLOOR DEMOLITION PLANS
A1.0	BASEMENT PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.1	EAST / WEST EXTERIOR ELEVATIONS
A2.2	NORTH / SOUTH EXTERIOR ELEVATIONS AND BUILDING SECTION

**GENERAL NOTES:**

All work shall be in accordance with the current Connecticut Building Code of which the 2021 International Residential Code and 2021 International Energy Code is a part. All electric installations shall in accordance with the 2020 National Electric Code (NFPA 70).

Windows shall be furnished and installed in accordance with R301.2.1.2 of the International Residential Code.

The Contractor shall maintain a current and complete set of Contract Documents at the site during all phases of construction for use by all trades.

The Contractor shall verify all dimensions in field. The Contractor shall notify the Architect immediately if there is a conflict.

All dimensions are to the centerline of structure (posts), centerline of interior partitions, centerline of windows and doors, and outside face of exterior walls unless otherwise specified.

The Contractor shall review the scope of demolition with the Owner and Architect prior to commencement of work to determine what elements of the existing installation, if any, should be salvaged for the Owner's use.

The Contractor shall review architectural, structural and other project related documents prior to commencement of construction.

Provide bracing, shoring or reinforcement as required to maintain integrity of the existing installation.

The Contractor shall review all documents for coordination prior to commencement of construction.

The Contractor may propose substitutions or modifications to the contract documents IN WRITING to the Architect. The Contractor may not make substitutions or modifications without the WRITTEN approval from the Architect. All substitution or modification requests shall include the impact on cost, quality, and schedule. The Architect may reject any substitution request that does not comply with the design intent.

The Contractor shall review the location of all wall or ceiling mounted penetrations and equipment with the Owner and Architect prior to installation. For example, coordinate positioning of floor joists with location of recessed lighting.

The Contractor shall be responsible to patch and repair all surfaces disturbed by New Construction.

The Contractor shall repair and reseed all lawn areas affected by New Construction.

**CODE STANDARDS**

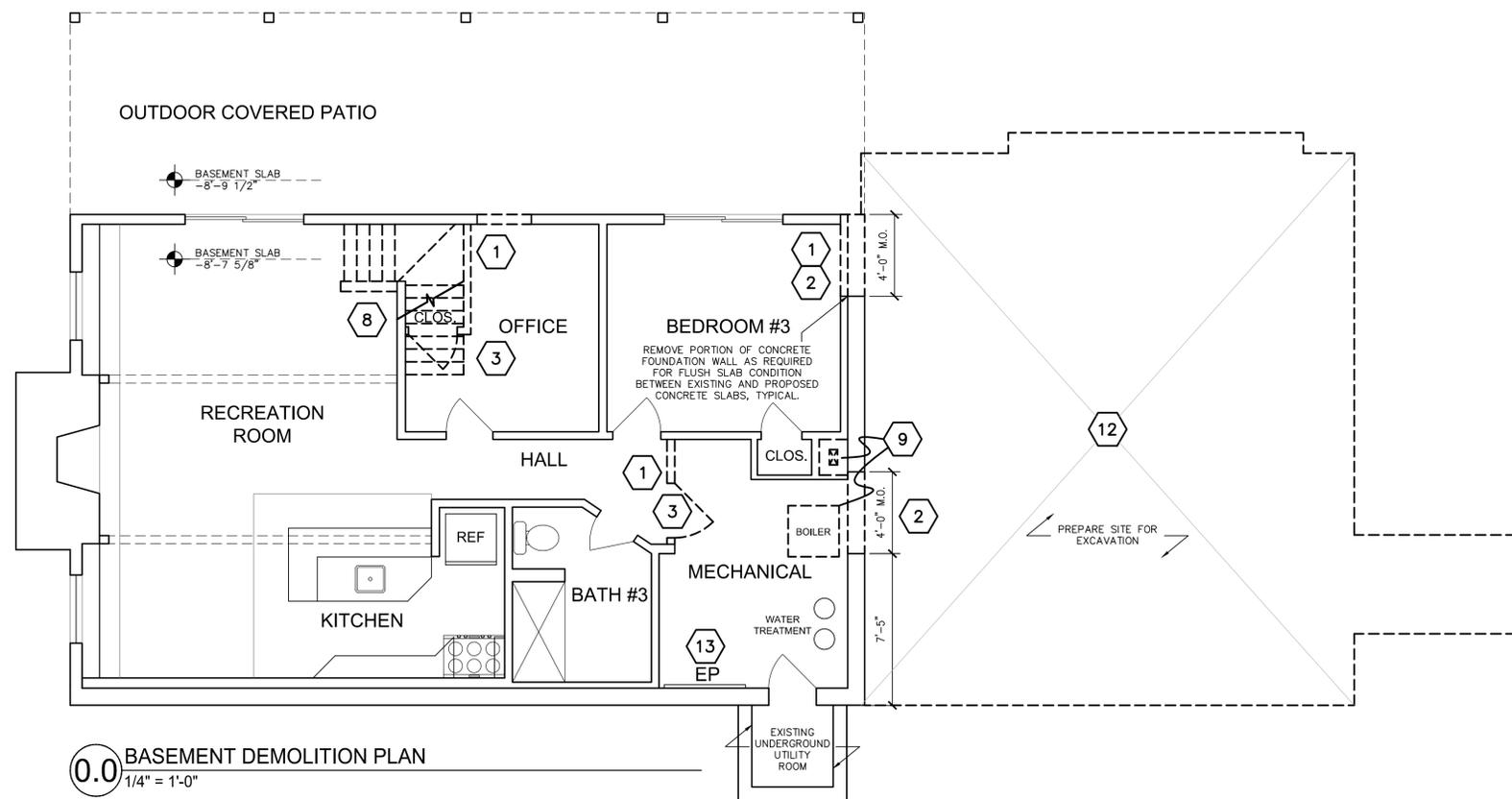
- 2022 CT STATE BUILDING CODE:  
 2021 International Building Code  
 2021 International Residential Code  
 2021 International Existing Building Code  
 2021 International Plumbing Code  
 2021 International Mechanical Code  
 2021 International Energy Conservation Code  
 2020 NFPA 70, National Electrical Code, of the National Fire Protection Association Inc.  
 2017 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities  
 2021 International Swimming Pool and Spa Code

**LEGEND**

	NEW CONSTRUCTION
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW
	NEW WINDOW
	OR
	DEMOLITION KEY NOTE

**DEMOLITION KEY NOTES:**

- |  |  |
|--|--|
|  | REMOVE PORTION OF EXISTING WOOD-FRAMED WALL.   |
|  | REMOVE PORTION OF EXISTING CONCRETE FOUNDATION WALL.   |
|  | REMOVE DOOR AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY  |
|  | REMOVE WINDOW AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY  |
|  | REMOVE EXISTING CASEWORK AND APPLIANCES UNLESS OTHERWISE SPECIFIED.                                      |
|  | REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AS REQUIRED BY NEW CONSTRUCTION                  |
|  | REMOVE PORTION OF EXISTING FINISH FLOORING THROUGHOUT FIRST FLOOR  |
|  | REMOVE EXISTING STAIR AND RAILING  |
|  | REMOVE EXISTING BOILER AND MASONRY CHIMNEY IN ITS ENTIRETY, LOCATE TO NEW LOCATION                       |
|  | REMOVE PORTION OF EXISTING ROOF AS REQUIRED BY NEW CONSTRUCTION  |
|  | REMOVE FINISH DECK AND RAILINGS, CONTRACTOR TO RETAIN EXISTING DECK FRAMING AND PREPARE FOR NEW FINISHES |
|  | REMOVE EXISTING LANDSCAPE ELEMENTS   |
|  | REMOVE EXISTING ELECTRICAL METER, RELOCATE TO NEW LOCATION   |
|  | NOT USED   |



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CAVANAUGH RESIDENCE  
41 Day Point Road  
East Hampton, CT 06424

Drawing Name:  
Notes, Legend & Basement Demolition Plan

Scale: 1/4" = 1'-0"

Drawn By: CN / PS

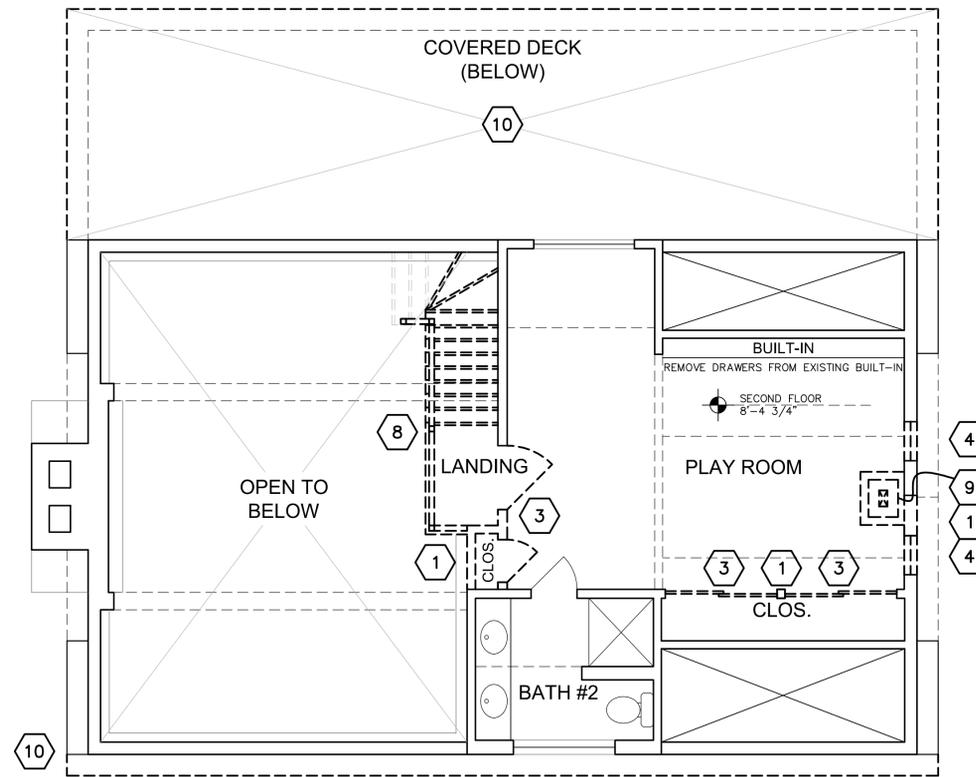
Date: December 22, 2022

Drawing Number:

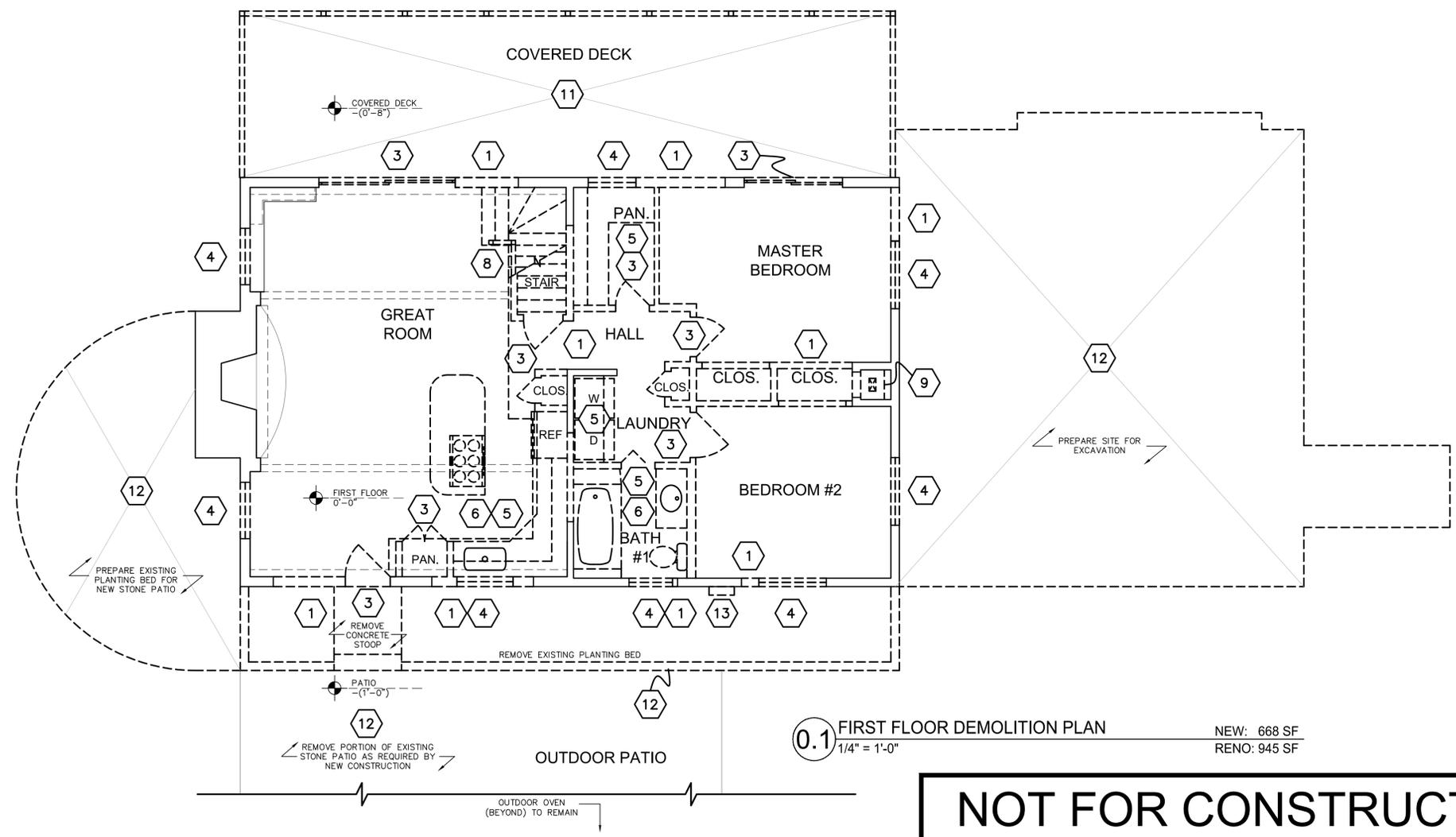
**A0.1**

**DEMOLITION KEY NOTES:**

- 1 REMOVE PORTION OF EXISTING WOOD-FRAMED WALL
- 2 REMOVE PORTION OF EXISTING CONCRETE FOUNDATION WALL
- 3 REMOVE DOOR AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY
- 4 REMOVE WINDOW AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY
- 5 REMOVE EXISTING CASEWORK AND APPLIANCES UNLESS OTHERWISE SPECIFIED.
- 6 REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING AS REQUIRED BY NEW CONSTRUCTION
- 7 REMOVE PORTION OF EXISTING FLOORING THROUGHOUT SCOPE OF WORK
- 8 REMOVE EXISTING STAIR AND RAILING
- 9 REMOVE EXISTING BOILER AND MASONRY CHIMNEY IN ITS ENTIRETY, LOCATE TO NEW LOCATION
- 10 REMOVE PORTION OF EXISTING ROOF AS REQUIRED BY NEW CONSTRUCTION
- 11 REMOVE FINISH DECK AND RAILINGS, CONTRACTOR TO RETAIN EXISTING DECK FRAMING AND PREPARE FOR NEW FINISHES
- 12 REMOVE EXISTING LANDSCAPE ELEMENTS
- 13 REMOVE EXISTING ELECTRICAL METER, RELOCATE TO NEW LOCATION
- 14 NOT USED



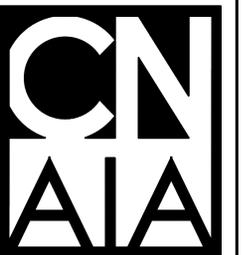
**0.2 SECOND FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"



**0.1 FIRST FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"

NEW: 668 SF  
RENO: 945 SF

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**CAVANAUGH RESIDENCE**  
41 Day Point Road  
East Hampton, CT 06424

Drawing Name:  
**First & Second Floor Demolition Plan**

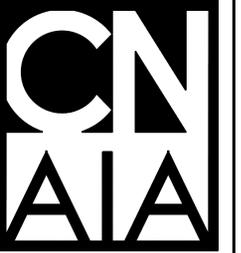
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Drawn By: CN / PS

Date: December 22, 2022

Drawing Number:

**A0.2**



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CAVANAUGH RESIDENCE

41 Day Point Road  
East Hampton, CT 06424

Drawing Name:  
Basement  
Floor Plan

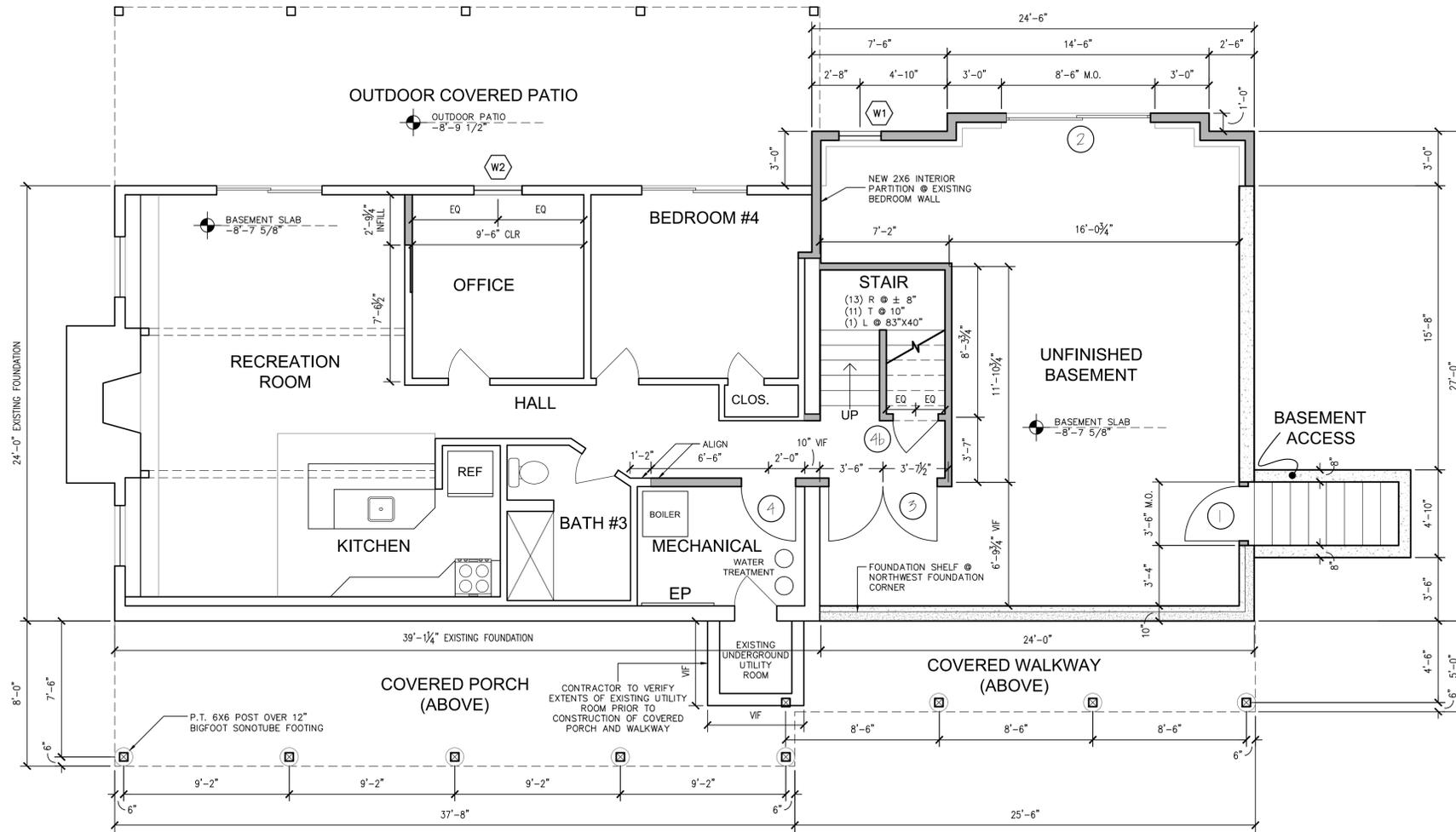
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Drawn By: CN / PS

Date: December 22, 2022

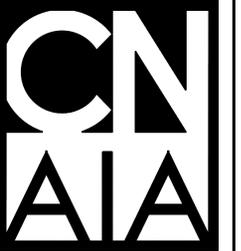
Drawing Number:

A1.0



1.0 BASEMENT PLAN  
1/4" = 1'-0"

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East Hampton, CT 06424

Drawing Name:  
First Floor Plan

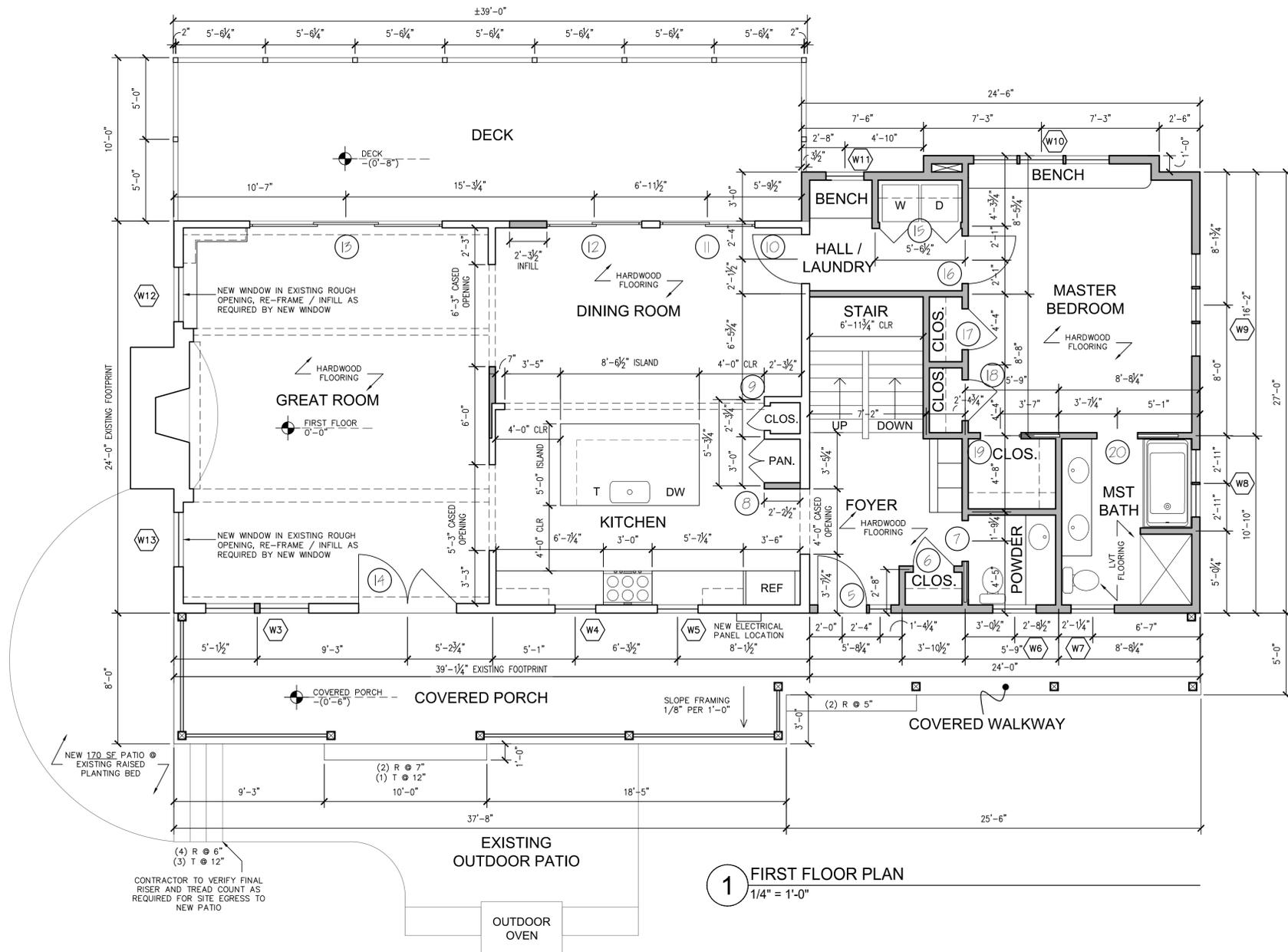
Scale: 1/4" = 1'-0"

Drawn By: CN / PS

Date: December 22, 2022

Drawing Number:

A1.1



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CONTRACTOR TO VERIFY FINAL RISER AND TREAD COUNT AS REQUIRED FOR SITE EGRESS TO NEW PATIO



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Drawing Name:  
Second Floor Plan

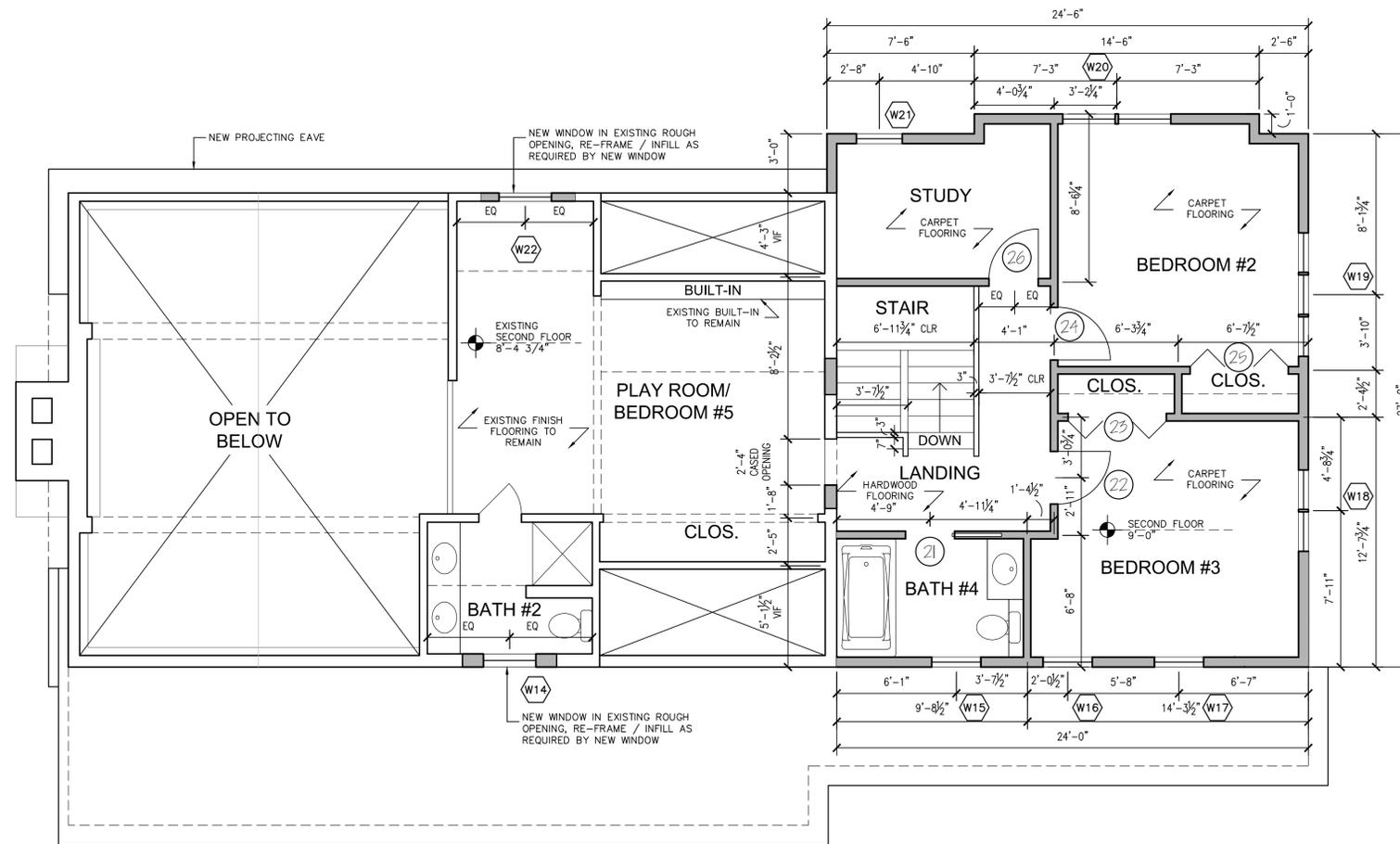
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Drawn By: CN / PS

Date: December 22, 2022

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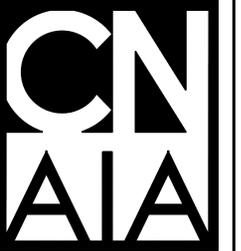
A1.2



2 SECOND FLOOR PLAN  
1/4" = 1'-0"

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CAVANAUGH RESIDENCE

41 Day Point Road  
East Hampton, CT 06424

Drawing Name:  
East & West  
Exterior  
Elevations

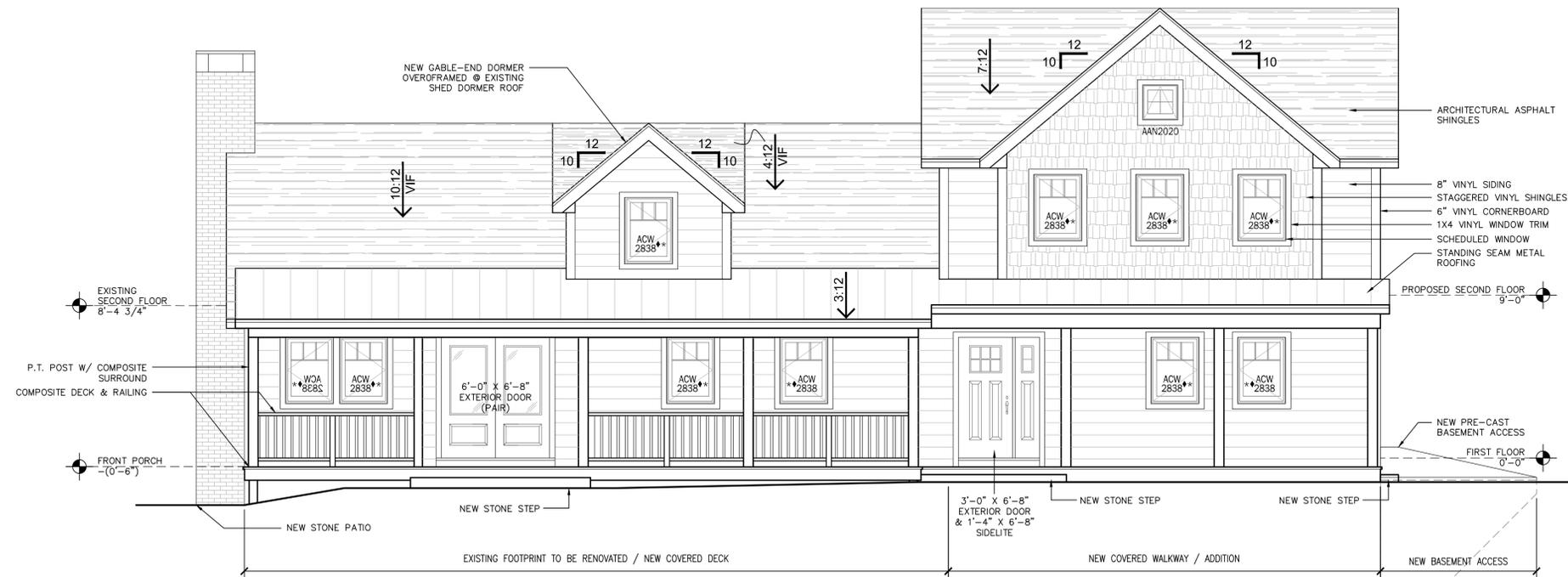
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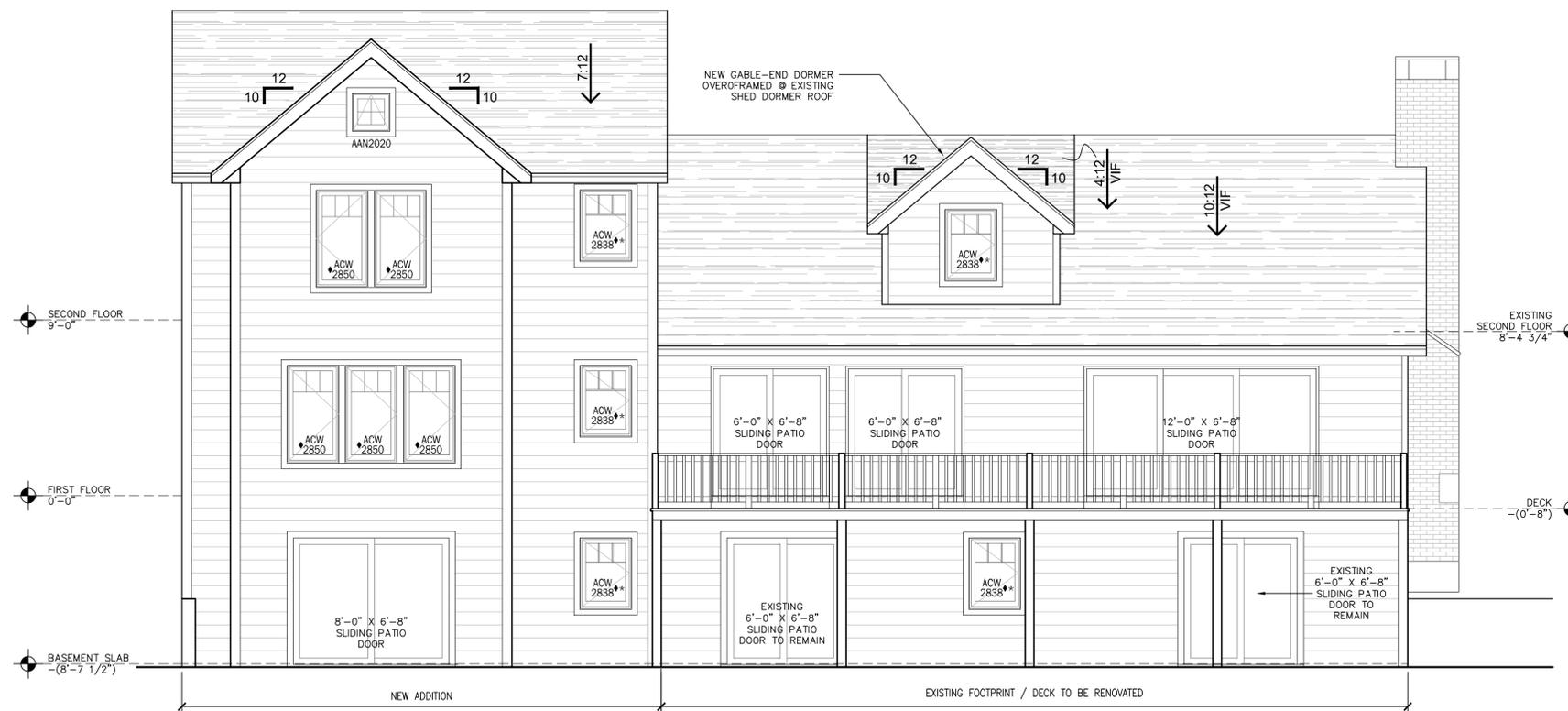
Date: December 22, 2022

Drawing Number:

A2.1

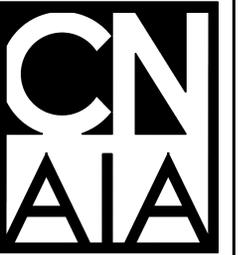


4 WEST EXTERIOR ELEVATION  
1/4" = 1'-0"



5 WEST EXTERIOR ELEVATION  
1/4" = 1'-0"

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CAVANAUGH RESIDENCE

41 Day Point Road  
East Hampton, CT 06424

Drawing Name:  
North & South  
Ext. Elevations &  
Building Section

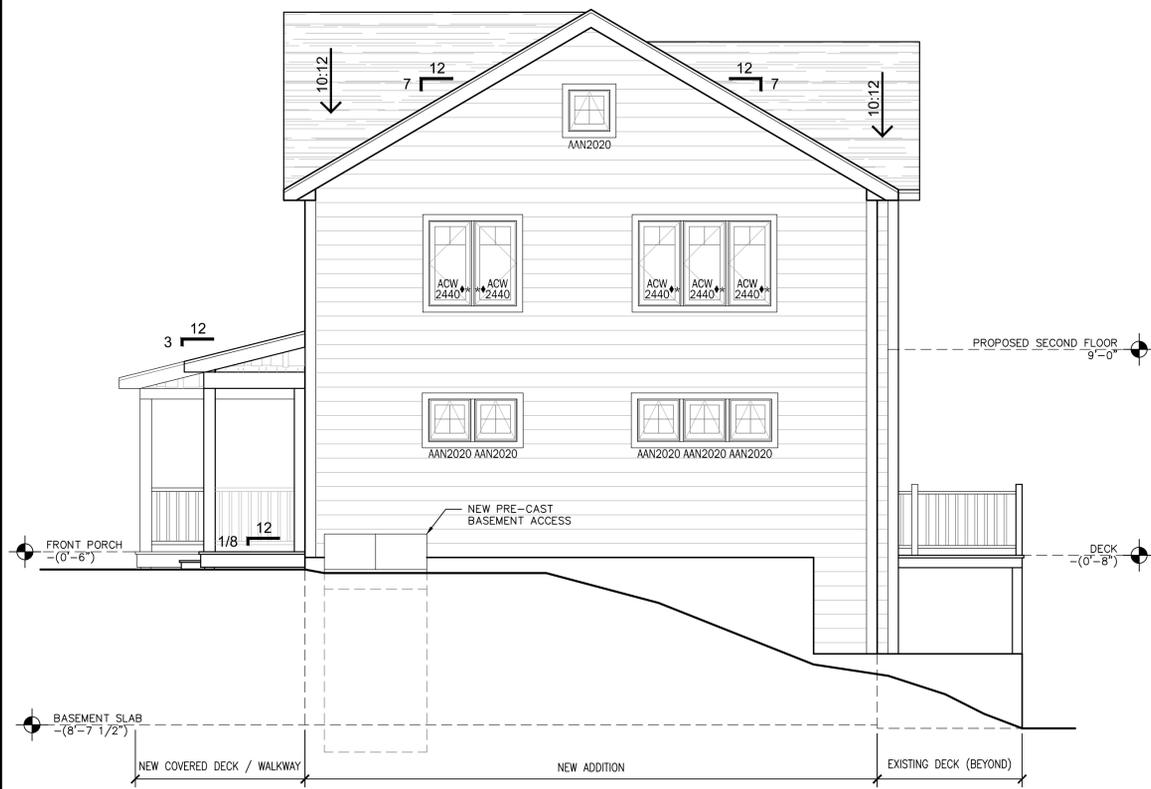
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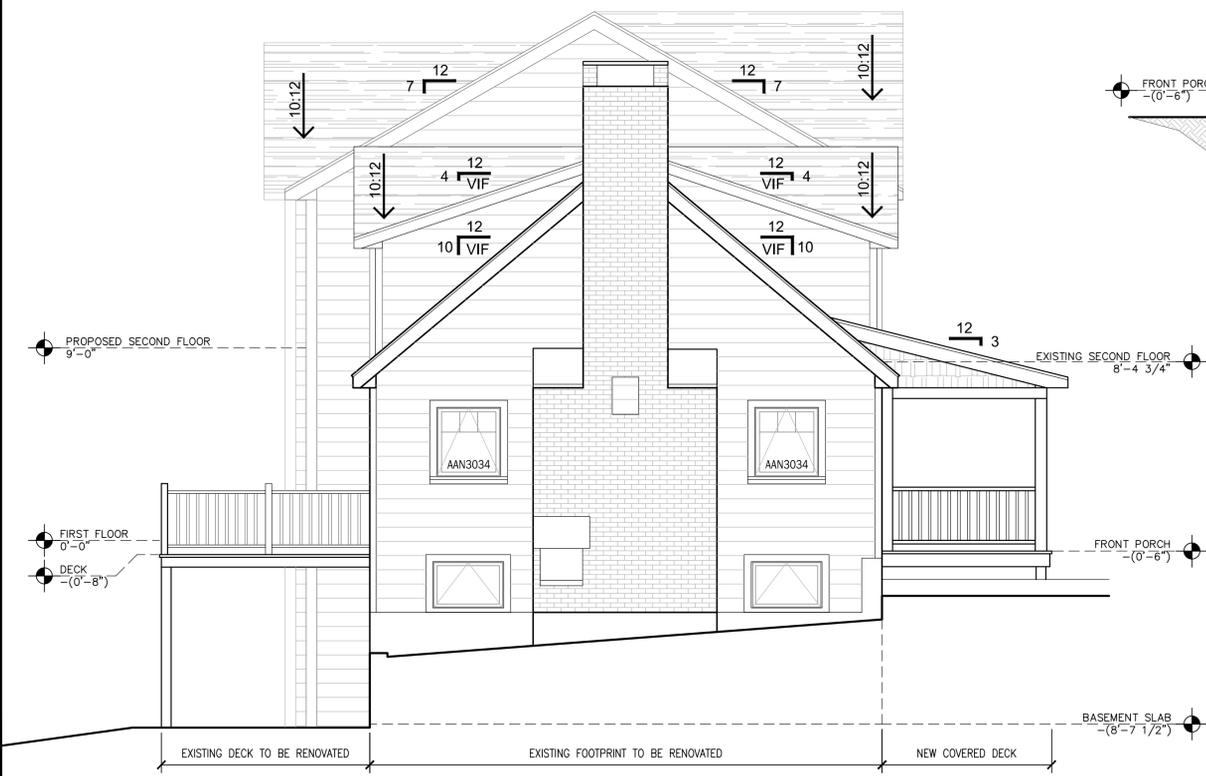
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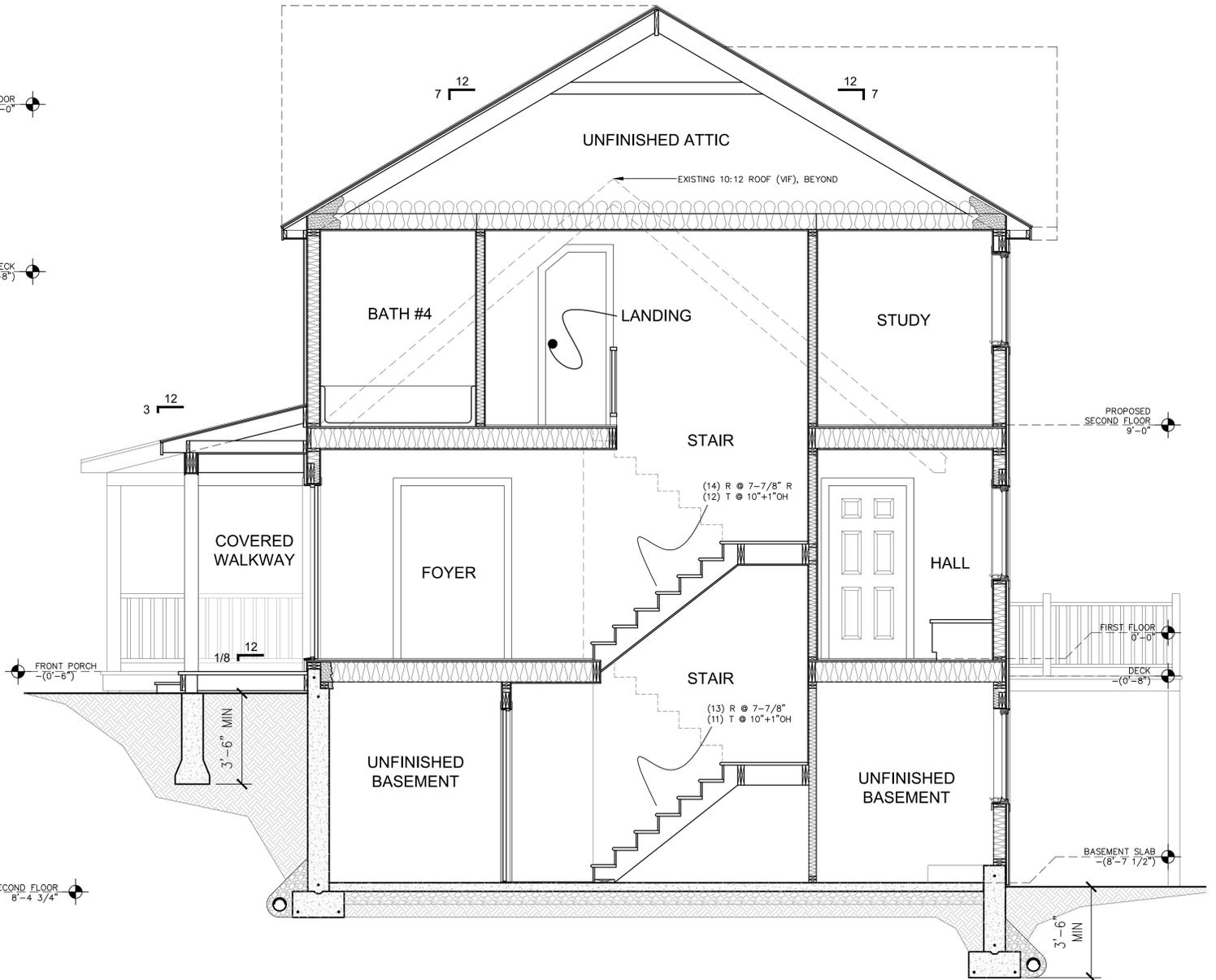
A2.1



6 NORTH EXTERIOR ELEVATION  
1/4" = 1'-0"



7 SOUTH EXTERIOR ELEVATION  
1/4" = 1'-0"



8 BUILDING SECTION - STAIR  
3/8" = 1'-0"

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