



Office Use Only

Project# 1W-22-031

Address: 49 Wangonk-r.

MBL: 09A/706/39

Minimum Requirements for Submission of Application to Inland Wetlands and Watercourses Agency

This form must be submitted with your application

Please check all that are being submitted:

- Completed Application Form (3 Pages)
- Fee Paid
- Site Plan (Showing project location, extent of wetlands, dimensions, etc) – 10 Copies
- Project Narrative – 10 Copies
- Soils Report (As Required)
- Stormwater Report (As Required)
- State Reporting Form (Filled in to extent possible)
- Completed Application Checklist (Page 3 of Application)

- Schedule a Site Visit with Planning & Zoning Official at time of Application

oldtown159@Charter.net
Liguore
DAL@NE-COS.COM
(DOMINIC LaPENTA)

<i>I certify that this application is complete:</i>	
Signature of Applicant: <u>Christopher Liguore</u>	Date: <u>12/5/2022</u>

The Agency reserves the right to add additional requirements in accordance with the Regulations.

Only Complete Application Packages Will Be Accepted

ck #2055

Office Use Only		
Fee Paid \$135	Date Approved _____	Permit Number 16.22-031
Public Hearing: YES NO	Agent Approval: YES NO	

TOWN OF EAST HAMPTON
INLAND WETLANDS & WATERCOURSES AGENCY

Date: December 5, 2022

1. Name of Applicant* re Christopher Liguoro
 Phone Numbers: Home _____, business _____, Cell 508-259-2300
 Home Address: Street 49 Wangonk Tr. Town E. Hampton State/Zip CT 06424
 Business Address: Street _____ Town _____ State/Zip _____

* All applications MUST list contact phone numbers. If the applicant is a Limited Liability Corporation or a Corporation, provide the managing member's or responsible corporate officer's name, address, and telephone number.

2. Name of Property Owner (if different from Applicant): _____ Phone _____
 Address: Street _____ Town _____ State/Zip _____

As the legal owner of the property listed on this application I hereby consent to the proposed activities. I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.

Printed Name: Christopher Liguoro, Signature: Christopher Liguoro, Date: 12/5/2022

3. Provide the applicant's interest in the land. owner

4. Site Location and Description: Assessor's Map 9A, Block 709, Lot 39
 Address: Street 49 Wangonk Tr. Town E. Hampton State/Zip CT 06424

Note: It is the applicant's responsibility to provide the correct site address, map, block, and lot number for the legal notice. Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation.

Area of Wetland to be disturbed: 0 acres or sq. ft.
 Area of Watercourse to be disturbed: 0 acres or sq. ft.
 Area of Upland Review Area to be disturbed: 500 sq ft acres or sq. ft. (Area within 100' of wetland)
TOTAL AREA OF DISTURBANCE 510 acres or sq. ft.

Will fill be needed on site? Yes No If yes, how much fill is needed? None cubic yards

The property contains (circle one or more)
 WETLANDS, BROOK, RIVER, INTERMITTANT STREAM, VERNAL POOL, SWAMP, OTHER _____
 Description of near lake Pocotopaug soil types on site: _____
 Description of near lake Pocotopaug wetland vegetation: _____
 Name of Soil Scientist and date of survey: _____

5. Attach a written narrative of the purpose and description of the proposed activity and proposed erosion and sedimentation controls, best management practices, and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including but not limited to; measures to:

(1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance or create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computations, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer. Include a construction schedule, impacts to vegetation, and pictures that clearly show the existing conditions of all areas to be disturbed and/or cleared of vegetation.

6. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagramed on a site plan or drawing.

RECEIVED
DEC 05 2022
TIME JDD

Attach plans showing all alternatives considered.

Design build - see description in building permit application.

7. Attach a site plan showing the proposed activity and existing and proposed conditions in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands or watercourses. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.

8. Attach the names and mailing addresses of adjacent landowners. Attach additional sheets if necessary.

Name Jessica Miron Address 47 Wangonk Tr E. Hampton
Name _____ Address _____
Name _____ Address _____

9. Attach a completed DEEP reporting form.

The Agency shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-39-14 of the Regulations of Connecticut State Agencies.

10. Attach the appropriate filing fee based on the fee schedule in Section 19 of the regulations.

Fee: _ (Make check payable to "The Town of East Hampton")

11. Name of Erosion Control Agent (Person Responsible for Compliance): _____
Phone Numbers: Home _____, Business _____
Cell _____ Address: Street _____ Town _____
_____ State/Zip _____

12. Are you aware of any wetland violations (past or present) on this property? YES NO
If yes, explain _____

13. Are you aware of any vernal pools located on or adjacent (within 500') to the property? YES NO

14. For projects that do not fall under the ACOE Category 1 general permit – Have you contacted the Army Corps of Engineers? YES NO

15. . Is this project within a public water supply aquifer protection area or a public water supply watershed area? YES NO

If so, have you notified the Commissioner of the Connecticut Department of Public Health and the East Hampton WPCA? YES NO

(Proof of notification must be submitted with your application.)

16. PUBLIC HEARINGS ONLY. The applicant must provide proof of mailing notices to the abutters prior to the hearing date.

17. **As the applicant I am familiar with all the information provided in the application and I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.**

Printed name Christopher Liguiore, Signature: Christopher Liguiore, Date: 12/5/2022

Please Note: You or a representative must attend the Inland Wetlands meeting to present your application.

CHECKLIST FOR A COMPLETE APPLICATION

- completed application form including Department of Energy and Environmental Protection reporting form (green copy)
 - A narrative of the purpose and description and methodology of all proposed activities;
 - Alternatives considered by the applicant, reasons for leaving less than a 10' buffer between clearing and the wetlands. Such alternatives to be diagrammed on a site plan or drawing and submitted to the commission as part of the application;
 - Names and mailing addresses of abutting property owners;
 - Three copies of approximately 1"=40' scale plans
 - Locations of existing and proposed land uses
 - Locations of existing and proposed buildings
 - Locations of existing and proposed subsurface sewage disposal systems, and test hole descriptions
 - Existing and proposed topographical and man-made features including roads and driveways, on and adjacent to the site. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.
 - Location and diagrams of proposed erosion control structures
 - Pictures of existing conditions clearly showing all areas to be disturbed, and/or cleared of vegetation.
 - Assessor map, block and lot number
 - Key or inset map
 - North arrow
 - Flood zone classification and delineation
 - Use of wetland and watercourse markers where appropriate.
 - Soil types classification and boundary delineation (flagged and numbered boundary), Soil Scientist's original signature and certification on plans
 - Soil Scientist's (or other wetland scientist) report on the function of the wetlands
 - Watercourse channel location and flow direction, where appropriate
 - 100 ft. regulated area depicted on plans
 - Conservation easements where appropriate
 - A detailed erosion and sediment control plan which meets requirements set forth in the most recent revision of the *Connecticut Guidelines for Soil Erosion and Sediment Control*, published by the Connecticut Council on Soil and Water Conservation, including:
 - Location of areas to be stripped of vegetation and other unprotected areas
 - Schedule of operations including starting and completion dates for major development phases
 - Seeding, sodding, or re-vegetation plans for all unprotected or un-vegetated areas
 - Location and design of structural sediment control measures
 - Timing of planned sediment control measures
 - Use of wetland and watercourse markers
 - Proper certification on the application documents and plans
- In the case of filling in wetlands, watercourses, or regulated upland areas, the following items are necessary:
- Area to be filled
 - Volume of requested fill
 - Finished slopes of filled areas
 - Containment and stabilization measures
 - Proposed finished contours
 - Evaluation of the effect of filling the wetlands with respect to storage volume and its impact downstream showing before and after development flows, and the evaluation of storm water detention including the existing need for flood control downstream
- Other required items:
- Proof of adjoining Town notification, where required;
 - All application fees required by Section 19 of these regulations;
 - A written narrative detailing how the effects of the applicant's proposed activities upon wetlands and watercourses shall be mitigated.
 - A written description of any and all future plans which may be linked to the activities proposed in the current application.
 - Address the potential to enhance the current buffer area.
 - Review drainage information with Town Engineering
 - Mailing requirements for abutters (public hearing only)

SECTION 19
APPLICATION FEES

19.5 Fee Schedule. Application fees will be based on the following schedule:

DEEP fee required by C.G.S. 22a-27j will be added to the base fee	\$60.00 ✓
19.5.1 Application Fee plus fee from Schedule A	
19.5.1.1 Residential Uses.	\$75.00 Plus ✓
*Each additional lot with regulated activities.	*Plus \$50.00/lot
19.5.1.2 Commercial/Industrial/Other Uses.	\$400.00
19.5.2 Approval by Authorized Agent	
19.5.2.1 Residential	\$60.00
19.5.2.2 Commercial	\$75.00
19.5.3 Public Hearing Fee	
19.5.3.1 Single Residential	\$100.00
19.5.3.2 Subdivision	\$400.00
19.5.3.2 Commercial, Industrial, Other	\$400.00
19.5.4 Complex Application Fee	(Actual Cost)
The Inland Wetland Agency may charge an additional fee sufficient to cover the cost of reviewing and acting on complex applications. Such fee may include, but not be limited to, the cost of retaining experts, to advise, review, and report on issues requiring such experts. The Agency shall estimate the complex application fee, which shall be paid pursuant to section 19 of these regulations within 10 days of the applicant's receipt or notice of such estimate. Any portion of the complex application fee in excess of the actual cost shall be refunded to the applicant no later than 30 days after publication of the Agency's decision.	
19.5.5 Permitted and Nonregulated Uses:	
19.5.5.1 Permitted Uses as of Right	\$25.00
19.5.5.2 Nonregulated	\$0.00
19.5.6 Regulation Amendment Petitions	\$150.00
(Does not include Notices or Regulation Advisories from DEEP.)	
19.5.6.1 Map Amendment Petitions	\$50.00
Plus fee from Schedule B	
19.5.7 Modification of Previous Approval	
19.5.7.1 Residential	\$ 25.00
19.5.7.2 Subdivision	\$ 50.00
19.5.7.3 Commercial/Industrial/Other	\$ 75.00
19.5.8 Renewal of Previous Approval	\$50.00
19.5.9 SCHEDULE A. For the purposes of calculating the permit application fee, the area in schedule A is the total area of wetlands and watercourses and upland review area upon which a regulated activity is proposed.	
SQUARE FEET OF AREA	
19.5.9.1 Less than 1,000	\$0.00
19.5.9.2 1,000 to 5,000	\$200.00
19.5.9.3 More than 5,000	\$400.00
19.5.10 SCHEDULE B. For the purposed of calculating the map amendment petition fee, the linear feet in schedule B is the total length of wetlands and watercourses boundary subject to the proposed boundary change.	
LINEAR FEET	
19.5.10.1 Less than 500	\$0.00
19.5.10.2 500 to 1,000	\$100.00
19.5.10.3 More than 1,000	\$200.00



Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions on pages 2 and 3 to:

DEEP Land & Water Resources Division, Inland Wetlands Management Program, 79 Elm Street, 3rd Floor, Hartford, CT 06106

Incomplete or incomprehensible forms will be mailed back to the inland wetlands agency.

PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: _____ month: _____
- ACTION TAKEN (see instructions, only use one code): _____
- WAS A PUBLIC HEARING HELD (check one)? yes no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print name) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTION IS OCCURRING (print name): East Hampton, CT
does this project cross municipal boundaries (check one)? yes no
if yes, list the other town(s) in which the action is occurring (print name(s)): _____
- LOCATION (see instructions for information): USGS quad name: _____ or number: _____
subregional drainage basin number: _____
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (print name): Christopher Liguore
- NAME & ADDRESS / LOCATION OF PROJECT SITE (print information): 49 Wangont Tr
briefly describe the action/project/activity (check and print information): temporary permanent description: _____
- ACTIVITY PURPOSE CODE (see instructions, only use one code): _____
- ACTIVITY TYPE CODE(S) (see instructions for codes): _____
- WETLAND / WATERCOURSE AREA ALTERED (must provide acres or linear feet):
wetlands: _____ acres open water body: _____ acres stream: _____ linear feet
- UPLAND AREA ALTERED (must provide acres): _____ acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (must provide acres): _____ acres

DATE RECEIVED:

PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO



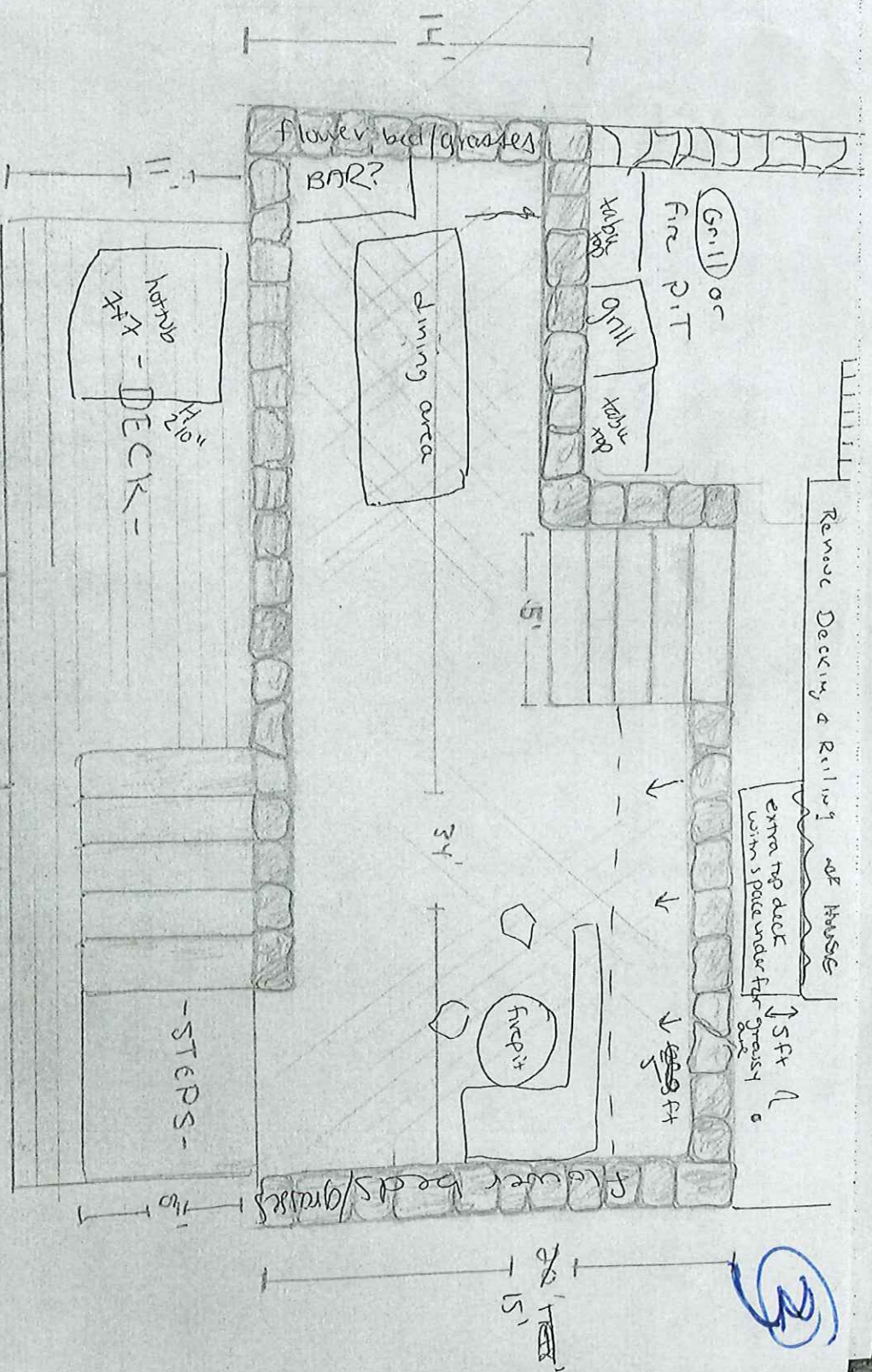
Town of East Hampton
 Building Department
 1 Community Drive, East Hampton, CT 06424
 Tel (860) 267-9601 www.easthamptonct.gov

BUILDING APPLICATION

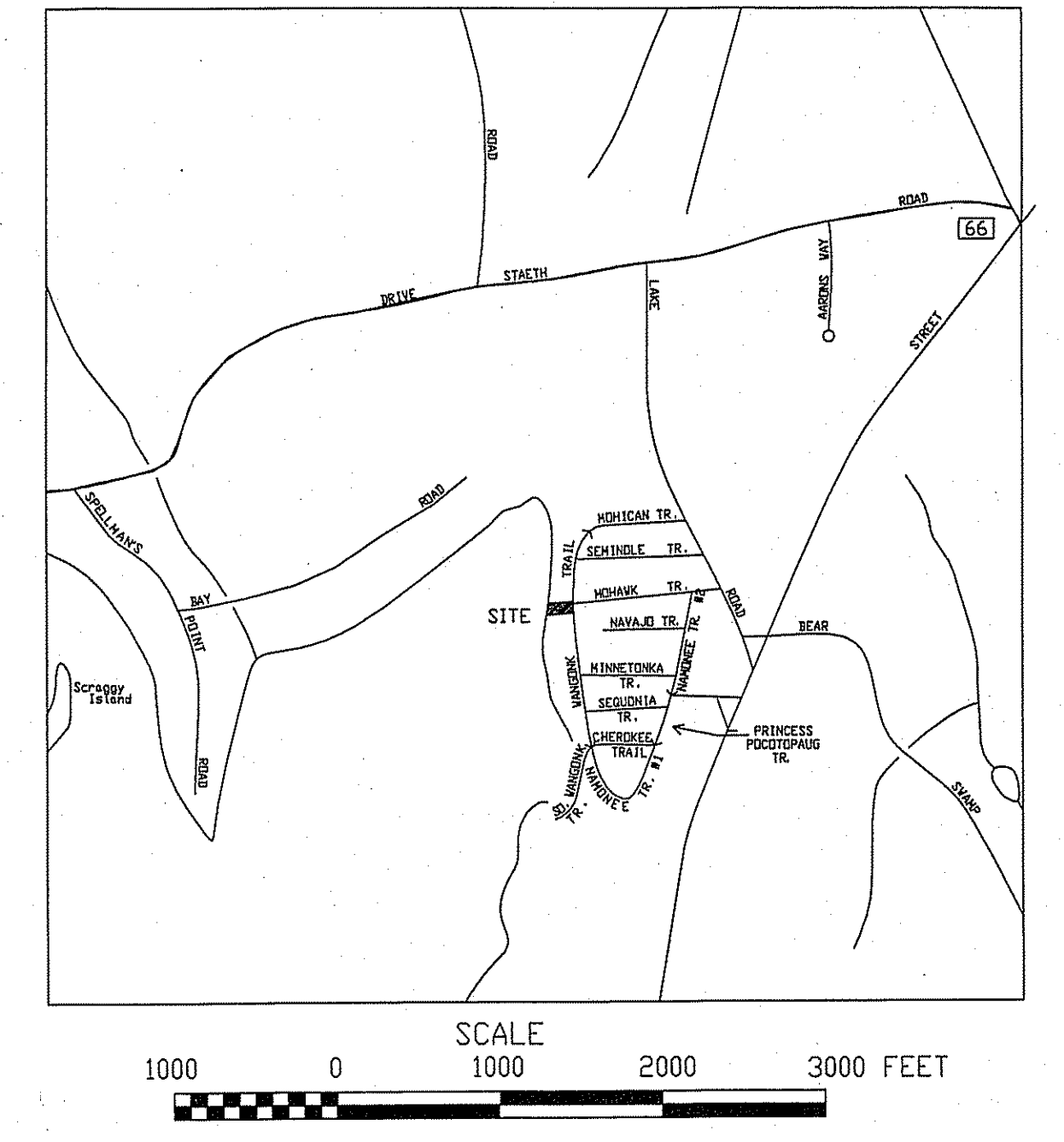
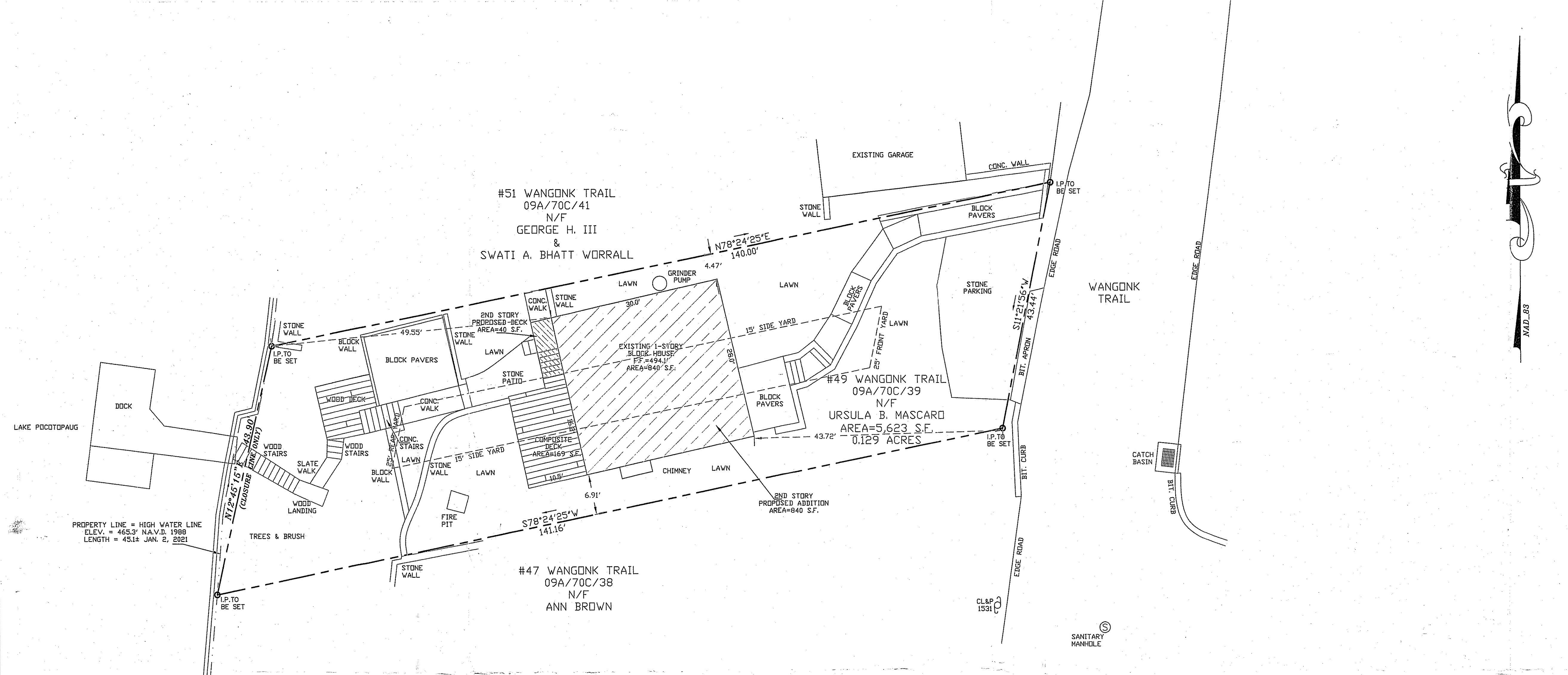
PROJECT LOCATION INFORMATION		
Street No. & Street Name: 49 WANGONK TRAIL		<input checked="" type="checkbox"/> Sewer <input type="checkbox"/> Septic <input type="checkbox"/> Well
Detailed Description of Project: <input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multi-Family # _____		
Remove existing Decking board, & railings from Deck attached to house marked EXD1 on plan. Check ledger board and flash if needed. Install new joists in between existing joists to shorten span for manufacturer specifications to install composite decking, add joist hangers g (12" min.) supply and install composite decking and railings(42") heights. up to date IRC2015 Code. Remove existing Decking board, & railings from Deck attached to existing retaining wall marked EXD2 on plan. Check ledger board and flash if needed. Install new joists in between existing joists to shorten span between joists (12")for manufacturer specifications to install composite decking, to deck structer increasing size to 34' lenght, change stairs to parrell of existing wall, add 12" piers (3) per row. (3) rows 6" apart, add 2"x8"x11' joist @ 12" on center, add joist hangers. Supply and install composite decking and railings(42") heights. Add 42" railings to existing front walkway to house on one side. add safety barior to existing parking space in front of house. disassemble existing stone walls and install footing drains and base, assemble walls with same stone, remove stone pavers and install base(12") re-install pavers. dig out grassey area and existing stairs and straighten existing stone wall, replace stairs to code out of composite decking and 42" railing. Frame and support future hot tub area on lower deck, remove existing stairs to dock and replace with code compliance steps and railings. (EXD2) What we remove/replace or new work will be up to IRC2015 Code.		
PROPERTY OWNER'S INFORMATION AS IT APPEARS ON THE LAND RECORDS		
Name: AMANDA STERMAN		
Mailing Address: 49 WANGONK TRAIL		
Phone:	Cell: 203-640-0818	Email: amandalsterman@gmail.com
APPLICANT/CONTRACTOR INFORMATION		
Name:		
Business Name (if applicable):		
Mailing Address:		
License/Registration (Type & No.):		Workman's Compensation Insurance:
Phone:	Cell:	Email:
AFFIDAVIT		
I am aware that this is only an Application for the work described, and that I am not authorized to proceed with the project until such time as a Permit has been issued by the Building Official. I am aware that there are REQUIRED INSPECTIONS associated with this project. I hereby certify that the proposed work shall conform to the Connecticut State Building Code and all other codes as adopted by the State of Connecticut, the Town of East Hampton Ordinances and the Town of East Hampton Zoning Regulations. I further attest that I am authorized to make application for a Permit for such work as described above.		
Signature:		<input type="checkbox"/> Owner <input type="checkbox"/> Applicant
Print Name:		Date:
VALUE OF PROJECT: Value shall include all labor and material costs.		PERMIT FEES (Office Use Only)
TOTAL VALUE OF PROJECT: \$		Building Fee: \$
An Application for a Permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such Application has been pursued in good faith or a Permit has been issued.		<input type="checkbox"/> Cash <input type="checkbox"/> Check #
		Received By:

ANY FALSE STATEMENT OR ANY BUILDING PERMITS GAINED BY SUCH STATEMENT WILL RENDER PERMITS NULL & VOID.

THIS IS NOT A PERMIT



- Rebuild existing slat wall adding drainage behind structure and footing to prevent freeze/thaw damage.
- Remove compromised wood decking and replace.



PROPERTY LINE = HIGH WATER LINE
ELEV. = 465.3' N.A.V.D. 1988
LENGTH = 451± JAN. 2, 2021

ZONING INFORMATION TABLE FOR #49 WANGONK TRAIL			
RI DISTRICT (WITH SANITARY SEWERS)			
	REQUIRED/ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 S.F.	5,623 S.F.	5,623 S.F.
MAXIMUM LOT COVERAGE (S.F.)	1,125 S.F.	1,124 S.F.	1,094 S.F.
MAXIMUM LOT COVERAGE (%)	20%	20.0%	19.5%
MINIMUM LOT FRONTAGE	100 FEET	43.44 FEET	43.44 FEET
MINIMUM LOT WIDTH	125 FEET	40 FEET	40 FEET
MINIMUM LOT DEPTH	125 FEET	140 FEET	140 FEET
STREET SETBACK - WANGONK TRAIL	25 FEET	43.72 FEET	43.72 FEET
SIDE YARD SETBACK - NORTH	15 FEET	4.47 FEET	4.47 FEET
SIDE YARD SETBACK - SOUTH	15 FEET	6.91 FEET	6.91 FEET
REAR YARD SETBACK - WEST	25 FEET	49.55 FEET	49.55 FEET
MAXIMUM BUILDING HEIGHT	30 FEET	14± FEET	24± FEET

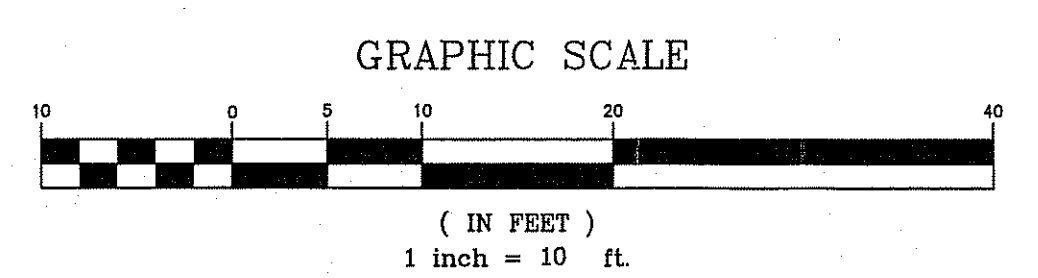
EXISTING AREAS FOR #49 WANGONK TRAIL		
	STRUCTURES	IMPERVIOUS
HOUSE	840 S.F.	840 S.F.
DECK #1	169 S.F.	169 S.F.
CDNC. WALK #1		39 S.F.
CDNC. WALK #2		46 S.F.
TOTAL AREA	1,009 S.F.	1,094 S.F.

PROPOSED AREAS FOR #49 WANGONK TRAIL		
	STRUCTURES	IMPERVIOUS
HOUSE	840 S.F.	840 S.F.
DECK #1	169 S.F.	169 S.F.
DECK #2 (2ND FLOOR)	40 S.F.	0 S.F. AREA INCLUDED WALK #1 & DECK #1
CDNC. WALK #1		39 S.F.
CDNC. WALK #2		46 S.F.
HOUSE (2ND FLOOR)	840 S.F.	
TOTAL AREA	1,889 S.F.	1,094 S.F.

- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGGREGATE SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THIS MAP SHOWS AN IMPROVEMENT LOCATION SURVEY-PROPOSED DEPICTING PROPOSED IMPROVEMENTS IN RELATION TO THE EXISTING BOUNDARY LINES UNDER THE PROPERTY/BOUNDARY SURVEY CATEGORY.
 - BOUNDARY DETERMINATION/OPINION IS BASED UPON A DEPENDENT RESURVEY AS NOTED. SEE NOTE 9.
 - THIS SURVEY CONFORMS TO A CLASS A-2.
 - THE HORIZONTAL DATUM IS NAD 83 WITH 1996 ADJUSTMENTS. THE VERTICAL DATUM IS NAD 88.
 - THIS PROPERTY IS LOCATED IN "R-1S" ZONE.
 - #49 WANGONK TRAIL LOT AREA = 5,623 S.F. / 0.129 ACRES.
 - THIS PROPERTY IS NOT WITHIN ANY-FLOOD ZONE.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - PRINCESS POCOTOPAUG EAST HAMPTON, CONN. SCALE: 1"=50' DATED: SEPT. 1942 PREPARED BY: PHILIP MERIAM MAP VOL. 4/PAGE 94 ON FILE WITH THE EAST HAMPTON TOWN CLERK'S OFFICE.
 - PROPERTY OF NICOLA LAGANA EAST HAMPTON, CT. SCALE: 1"=40' DATED: NOV. 20, 1986 PREPARED BY: T.F. JACKOWIAK MAP #52 ON FILE WITH THE EAST HAMPTON TOWN CLERK'S OFFICE.
 - PROPERTY SURVEY PREPARED FOR PRINCESS POCOTOPAUG ASSOCIATION WANGONK TRAIL LAKE POCOTOPAUG EAST HAMPTON, CONNECTICUT SCALE: 1"=20' DATED: AUGUST 7, 2002 PREPARED BY: ROBERT JACKOWIAK MAP VOL. 59/PAGE 42 ON FILE WITH THE EAST HAMPTON TOWN CLERK'S OFFICE.
 - THE STONEWALLS AND/OR THE WIRE FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES OF COURSE BETWEEN THE PRINCIPAL POINTS OF COURSE INDICATED.

UNDERGROUND FEATURES DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING, PAROL TESTIMONY, FIELD INVESTIGATIONS, AND OTHER SOURCES. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KENNETH J. PICARD DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT. THE LOCATIONS OF ALL UNDERGROUND UTILITIES, STRUCTURES, AND FACILITIES SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE IN NATURE AND ALL SUCH FEATURES MAY NOT BE SHOWN. CALL BEFORE YOU DIG 1-800-922-4455.

REVISIONS			
NO.	DATE	DESCRIPTION	BY

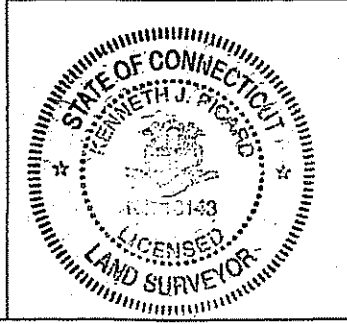


- LEGEND:
- I.P. FOUND
 - LOT CORNER
 - x SPOT ELEVATIONS
 - MONUMENT
 - MONUMENT FOUND
 - BOUNDARY LINE
 - - - SETBACK LINE
 - - - CONTOURS
 - - - WETLANDS
 - STONEWALLS
 - PROPOSED ELEVATION

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth J. Picard

KENNETH J. PICARD L.S. 18143
PICARD LAND SURVEYING, LLC
459 JONES HOLLOW ROAD
HARTFORD, CT 06147



RECEIVED
DEC 05 2022
TIME _____

IMPROVEMENT LOCATION SURVEY-PROPOSED
MAP SHOWING THE PROPOSED ADDITIONS
FOR PARCEL KNOWN AS
#49 WANGONK TRAIL
PREPARED FOR
URSULA B. MASCARO

ASSESSORS MAP 9A / BLOCK 70C / LOT 39
EAST HAMPTON, CONNECTICUT

DRAWN BY: K.J.P. CHECKED BY: _____

SCALE: 1 INCH = 10 FEET

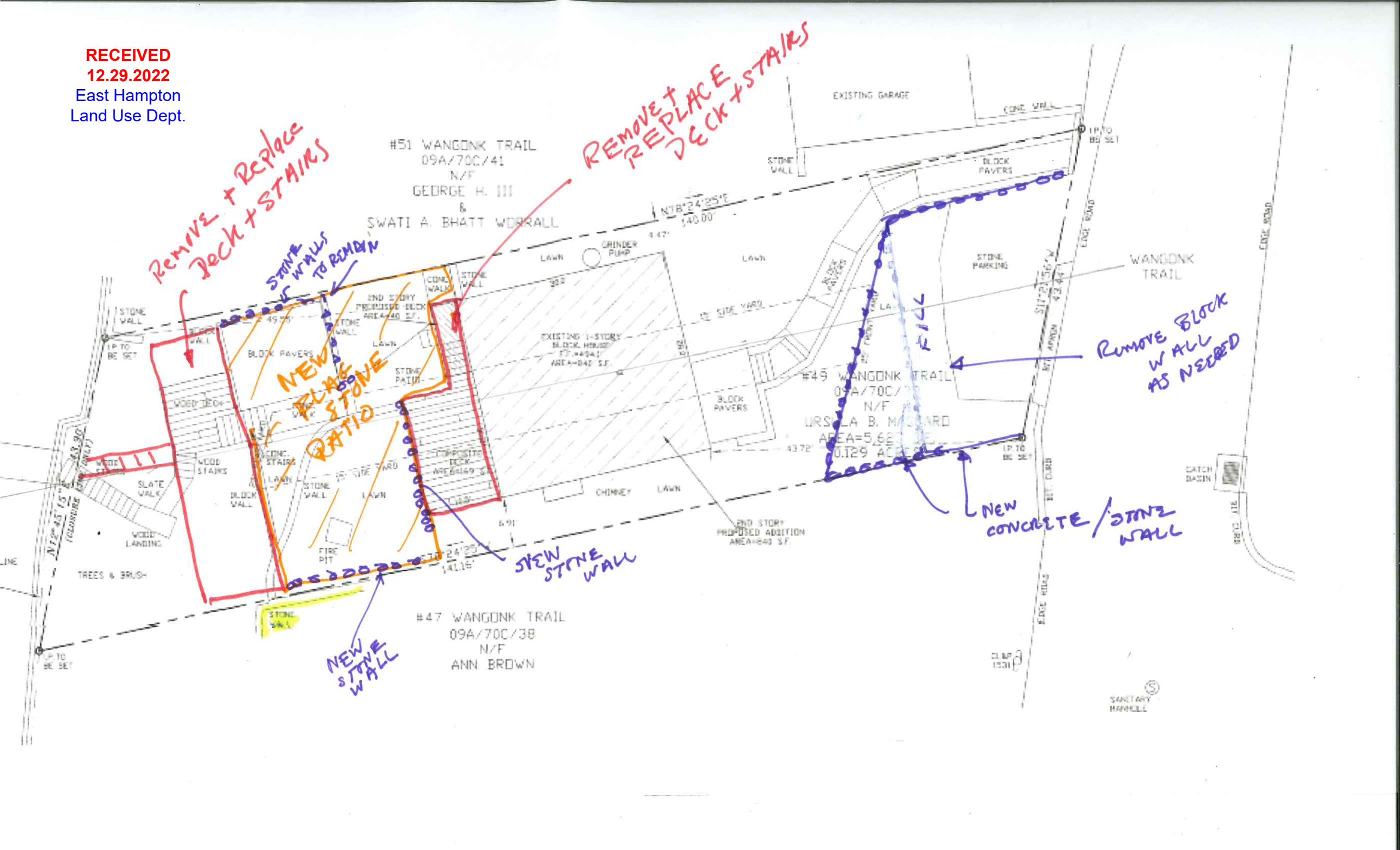
DATE: JANUARY 2, 2021

PROPOSED ADDITIONS SHEET: 1 OF 1

RECEIVED

12.29.2022

East Hampton
Land Use Dept.



#51 WANGONK TRAIL
09A/70C/41
N/F
GEORGE H. III
&
SWATI A. BHATT WDRRALL

REMOVE + REPLACE
DECK + STAIRS

REMOVE + REPLACE
DECK + STAIRS

STONE
WALLS
TO REMAIN

NEW
FLAS
STONE
RATIO

NEW
STONE
WALL

NEW
STONE
WALL

#47 WANGONK TRAIL
09A/70C/38
N/F
ANN BROWN

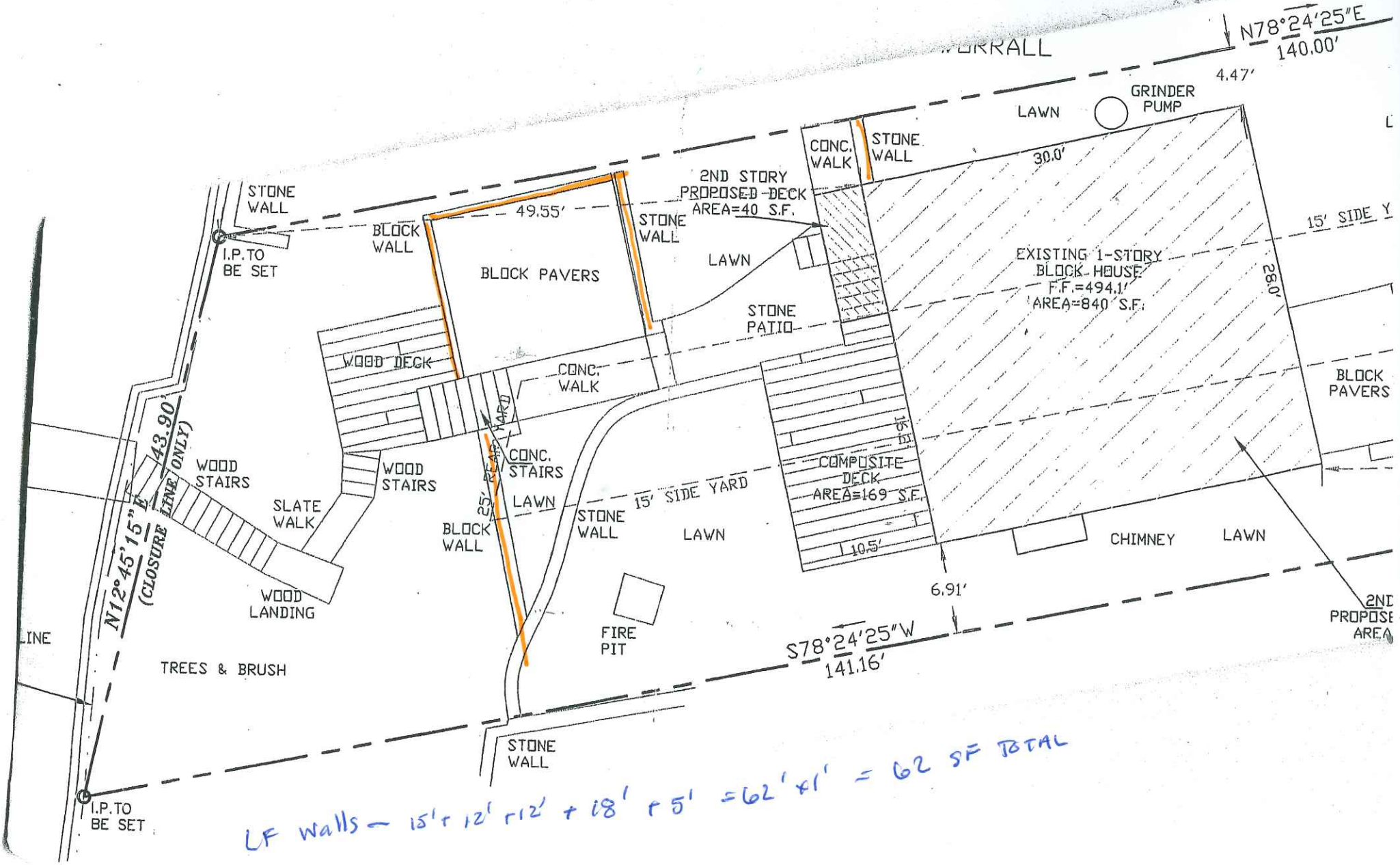
#45 WANGONK TRAIL
09A/70C/37
N/F
URSULA B. MCGARD
AREA=5,623 S.F.
0.129 ACRES

REMOVE BLOCK
WALL
AS NEEDED

NEW
CONCRETE / STONE
WALL

SANITARY
MANHOLE

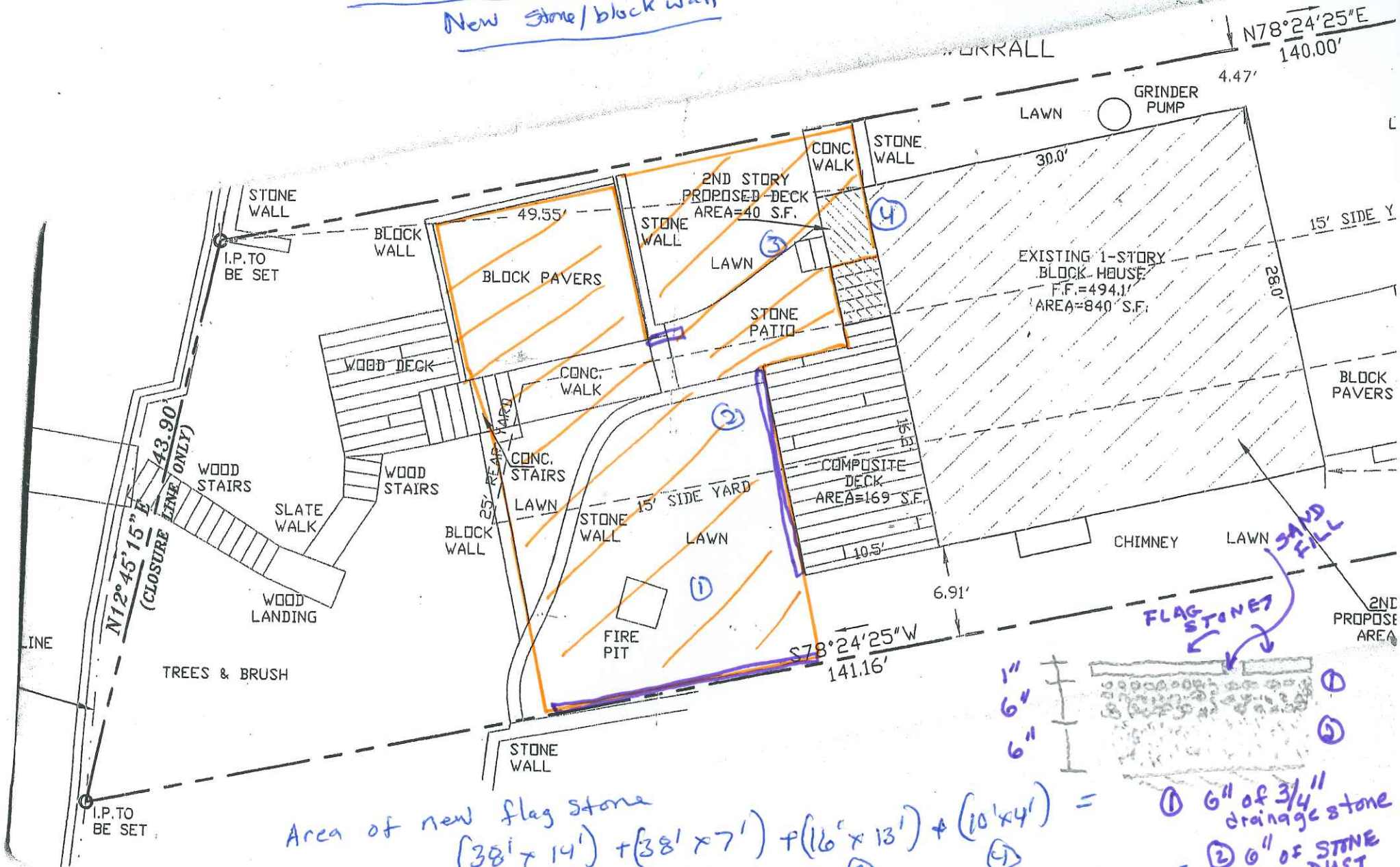
Impervious Area to Remain



LF walls - $15' + 12' + 12' + 18' + 5' = 62' \times 1' = 62 \text{ SF TOTAL}$

New Flag Stone Patio

New stone/block wall



Area of new flag stone

$$(38' \times 14') + (38' \times 7') + (16' \times 13') + (10' \times 4') =$$

$$\textcircled{1} \quad \textcircled{2} \quad \textcircled{3} \quad \textcircled{4}$$

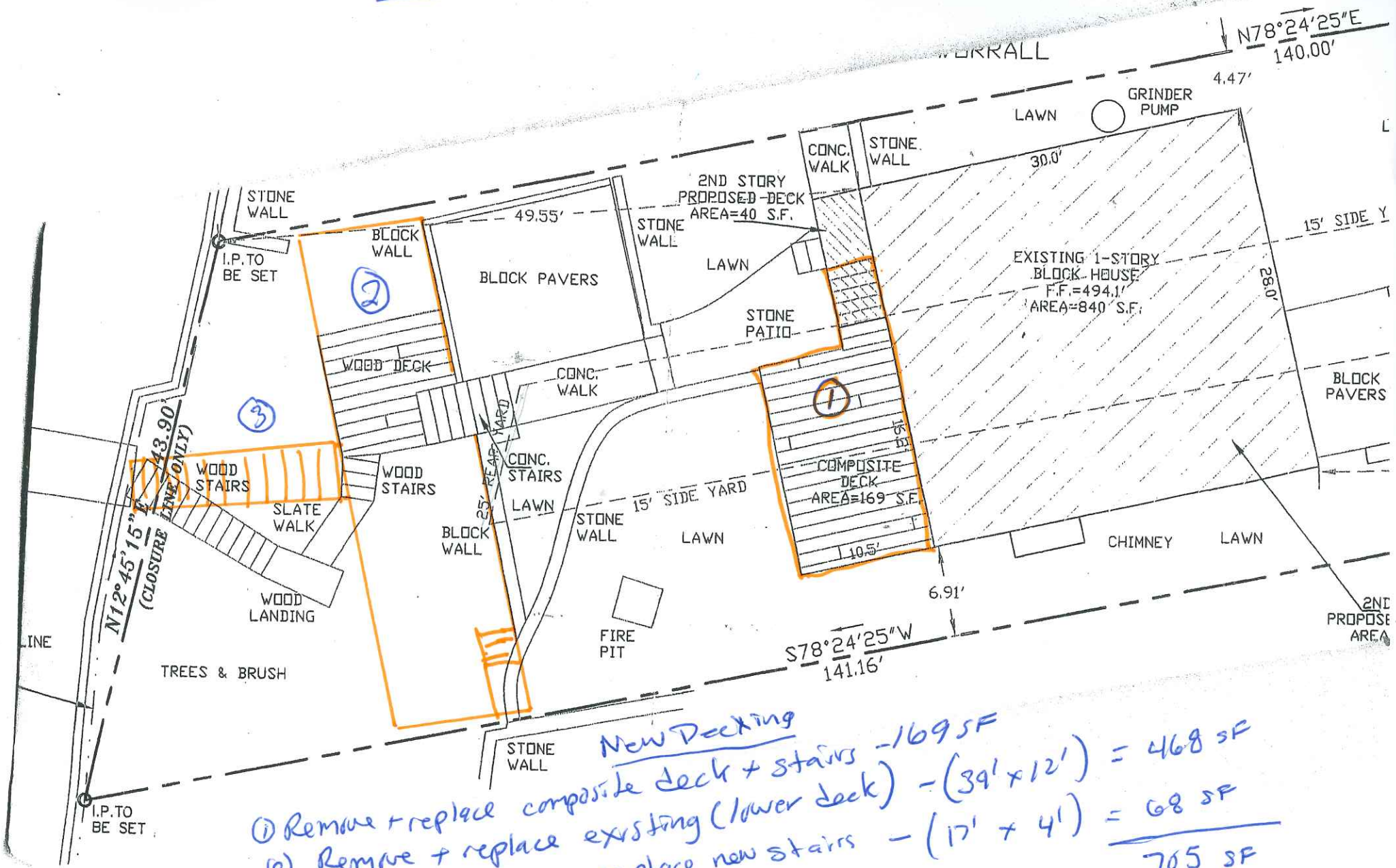
$$532 + 266 + 208 + 40 = 1,046 \text{ SF}$$

New stone/block walls = 40 LF (included above)

Total Flag Stone
1000 SF
Total Walls 40 SF



New Deck + stairs



- New Decking
- ① Remove + replace composite deck + stairs - 169 SF
 - ② Remove + replace existing (lower deck) - (39' x 12') = 468 SF
 - ③ Remove wood stairs + replace new stairs - (17' x 4') = 68 SF
-
- 705 SF

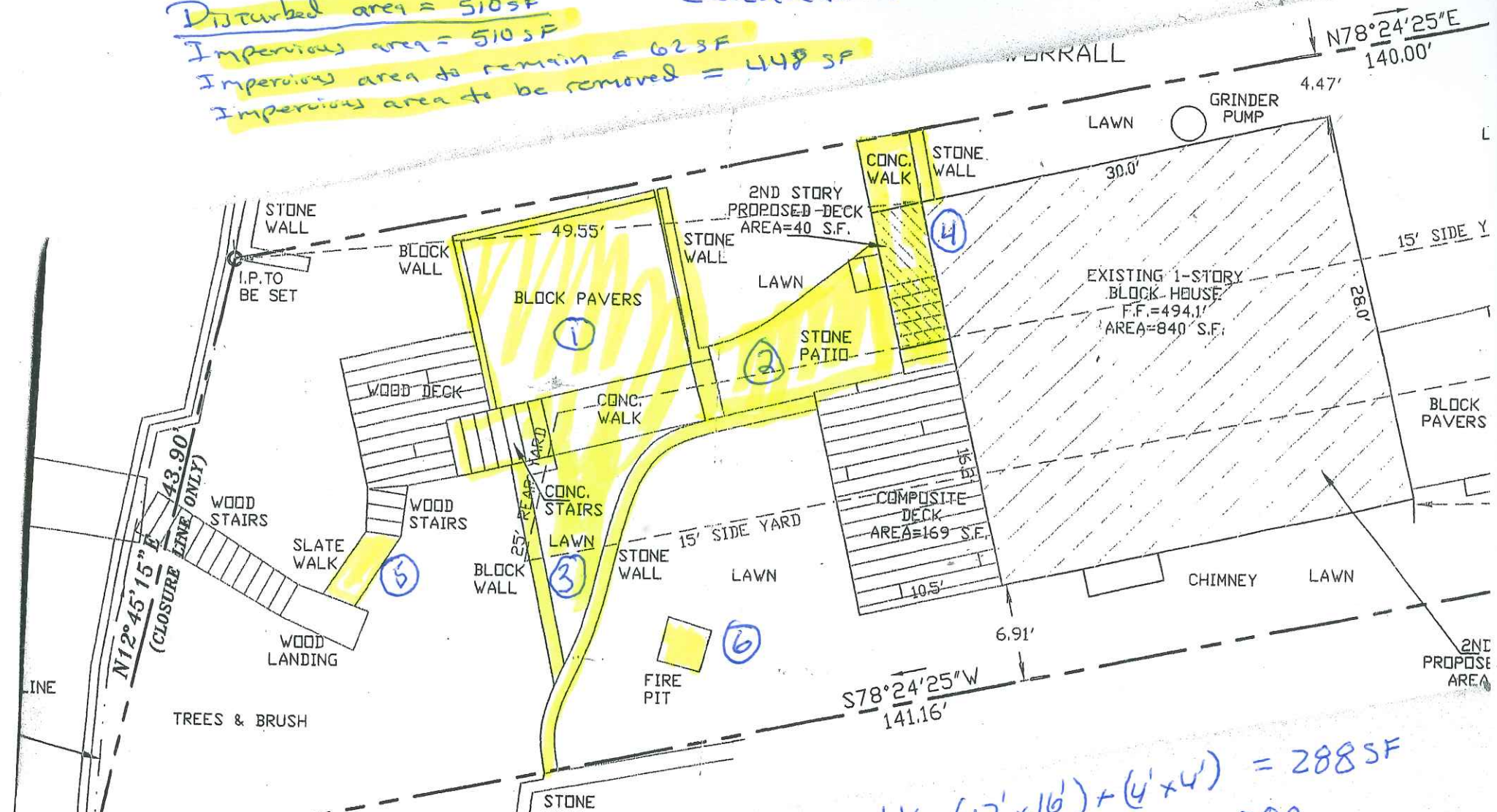
EXISTING Impervious Area Calculations

Disturbed area = 510 SF

Impervious area = 510 SF

Impervious area to remain = 62 SF

Impervious area to be removed = 448 SF



Impervious Areas

① Block pavers + Block/stone walls + conc. walk $(17' \times 16') + (4' \times 4') = 288 \text{ SF}$

② Stone patio $(\frac{5 \times 8}{2}) \times (\frac{13' + 15'}{2}) = 91 \text{ SF}$

③ Block + Stone Walls $(16' + 27' + 12') \times 1' = 55 \text{ SF}$

④ Conc. walk + wall $(10' \times 4') = 40 \text{ SF}$

⑤ Slate Walk $(6' \times 3') = 18 \text{ SF}$

⑥ Fire Pit -16 SF

288
91
55
40
18
<hr/>
492 SF
16
<hr/>
508 SF
TOTAL
Rem 510 SF