



**Office Use Only**

Project# I.W. 24-001

Address: 195 W. High

MBL: \_\_\_\_\_

## Minimum Requirements for Submission of Application to Inland Wetlands and Watercourses Agency

*This form must be submitted with your application*

**Please check all that are being submitted:**

- Completed Application Form (4 Pages)
  - Fee Paid
  - Site Plan (Showing project location, extent of wetlands, dimensions, etc) – PDF & 4 Copies of 11 x 17s
  - PDF & 4 Copies Project Narrative – PDF & 4 Copies of 11 x 17s
  - Soils Report (As Required)
  - Stormwater Report (As Required)
  - Completed Application Checklist (Page 3 of Application)
  - Schedule a Site Visit with Planning & Zoning Official at time of Application
- Date of Site Visit: \_\_\_\_\_



**I certify that this application is complete:**

Signature of Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

The Agency reserves the right to add additional requirements in accordance with the Regulations.

***Only Complete Application Packages Will Be Accepted***

Office Use Only  
 Fee Paid 8200 ck# 5274 Date Approved \_\_\_\_\_ Permit Number \_\_\_\_\_  
 Public Hearing: YES NO Agent Approval: YES NO

TOWN OF EAST HAMPTON  
 INLAND WETLANDS & WATERCOURSES AGENCY

Date: 1/11/24

1. Name of Applicant\* West High Enterprises Email: Wayne@randci.com  
 Phone Numbers: Home \_\_\_\_\_, Business 860-267-6625 Cell 800-982-9700  
 Home Address: Street \_\_\_\_\_ Town \_\_\_\_\_ State/Zip \_\_\_\_\_  
 Business Address: Street 204 Middletown Ave Town East Hampton State/Zip CT 06424

\* All applications MUST list contact phone numbers. If the applicant is a Limited Liability Corporation or a Corporation, provide the managing member's or responsible corporate officer's name, address, and telephone number.

2. Name of Property Owner (if different from Applicant): \_\_\_\_\_ Phone \_\_\_\_\_  
 Address: Street \_\_\_\_\_ Town \_\_\_\_\_ State/Zip \_\_\_\_\_

**As the legal owner of the property listed on this application I hereby consent to the proposed activities. I hereby authorize the members and agents of the Agency to inspect the subject land, at reasonable times, during the pendency of the application and for the life of the permit.**

Printed Name: \_\_\_\_\_, Signature: \_\_\_\_\_, Date: \_\_\_\_\_

3. Provide the applicant's interest in the land. \_\_\_\_\_

4. Site Location and Description: Assessor's Map \_\_\_\_\_, Block \_\_\_\_\_, Lot \_\_\_\_\_  
 Address: Street 195 West High St Town East Hampton State/Zip CT 06424

Note: It is the applicant's responsibility to provide the correct site address, map, block, and lot number for the legal notice.

Provide a description of the land in sufficient detail to allow identification of the inland wetlands and watercourses, the area(s) (in acres or square feet) of wetlands or watercourses to be disturbed, soil type(s), and wetland vegetation.

Area of Wetland to be disturbed: 0 acres or sq. ft.  
 Area of Watercourse to be disturbed: 0 acres or sq. ft.  
 Area of Upland Review Area to be disturbed: 0 acres or sq. ft. (Area within 100' of wetland)  
**TOTAL AREA OF DISTURBANCE** 16,550 acres or sq. ft.

Will fill be needed on site? Yes No If yes, how much fill is needed? \_\_\_\_\_ cubic yards

The property contains (circle one or more)  
 WETLANDS, BROOK, RIVER, INTERMITTANT STREAM, VERNAL POOL, SWAMP, OTHER \_\_\_\_\_

Description of soil types on site: \_\_\_\_\_  
 Description of wetland vegetation: \_\_\_\_\_

Name of Soil Scientist and date of survey: \_\_\_\_\_

5. Attach a written narrative of the purpose and description of the proposed activity and proposed erosion and sedimentation controls, best management practices, and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including but not limited to; measures to:

(1) prevent or minimize pollution or other environmental damage, (2) maintain or enhance existing environmental quality, or (3) in the following order of priority: restore, enhance or create productive wetland or watercourse resources. Depending on the complexity of the project, include the following: sequence of operations, drainage computations with pre and post construction runoff quantities and runoff rates, plans clearly showing the drainage areas corresponding to the drainage computations, existing wetland inventory and functional assessment, soils report, construction plans signed by a certified soils scientist, licensed surveyor, and licensed professional engineer. Include a construction schedule, impacts to vegetation, and pictures that clearly show the existing conditions of all areas to be disturbed and/or cleared of vegetation.

6. Provide information of all alternatives considered. List all alternatives which would cause less or no environmental impact to wetlands or watercourses and state why the alternative as set forth in the application was chosen. All such alternatives shall be diagramed on a site plan or drawing.



Attach plans showing all alternatives considered.

7. Attach a site plan showing the proposed activity and existing and proposed conditions in relation to wetlands and watercourses and identifying any further activities associated with, or reasonably related to, the proposed regulated activity which are made inevitable by the proposed regulated activity and which may have an impact on wetlands or watercourses. Include a colored grading plan showing areas to be filled (green) and areas to be excavated (brown) that clearly shows existing and proposed contours and proposed limits of disturbance.

8. Attach the names and mailing addresses of adjacent landowners. Attach additional sheets if necessary.

Name \_\_\_\_\_ Address \_\_\_\_\_  
Name \_\_\_\_\_ Address \_\_\_\_\_  
Name \_\_\_\_\_ Address \_\_\_\_\_

9. Attach a completed DEEP reporting form.

*The Agency shall revise or correct the information provided by the applicant and submit the form to the Commissioner of Environmental Protection in accordance with section 22a-39-14 of the Regulations of Connecticut State Agencies.*

10. Attach the appropriate filing fee based on the fee schedule in Section 19 of the regulations.

Fee: \_\_\_\_\_ (Make check payable to "The Town of East Hampton")

11. Name of Erosion Control Agent (Person Responsible for Compliance): \_\_\_\_\_  
Phone Numbers: Home \_\_\_\_\_, Business \_\_\_\_\_  
Cell \_\_\_\_\_ Address: Street \_\_\_\_\_ Town \_\_\_\_\_  
State/Zip \_\_\_\_\_

12. Are you aware of any wetland violations (past or present) on this property? YES NO

If yes, explain \_\_\_\_\_

13. Are you aware of any vernal pools located on or adjacent (within 500') to the property? YES NO

14. For projects that do not fall under the ACOE Category 1 general permit – Have you contacted the Army Corps of Engineers? YES NO

15. . Is this project within a public water supply aquifer protection area or a public water supply watershed area? YES NO

If so, have you notified the Commissioner of the Connecticut Department of Public Health and the East Hampton WPCA? YES NO

(Proof of notification must be submitted with your application.)

16. PUBLIC HEARINGS ONLY. The applicant must provide proof of mailing notices to the abutters prior to the hearing date.

17. ***As the applicant I am familiar with all the information provided in the application and I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.***

Printed name: Wayne Rand, Signature: [Signature], Date: 1/11/24

**Please Note: You or a representative must attend the Inland Wetlands meeting to present your application.**

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SECTION 19  
APPLICATION FEES

19.5 Fee Schedule. Application fees will be based on the following schedule:

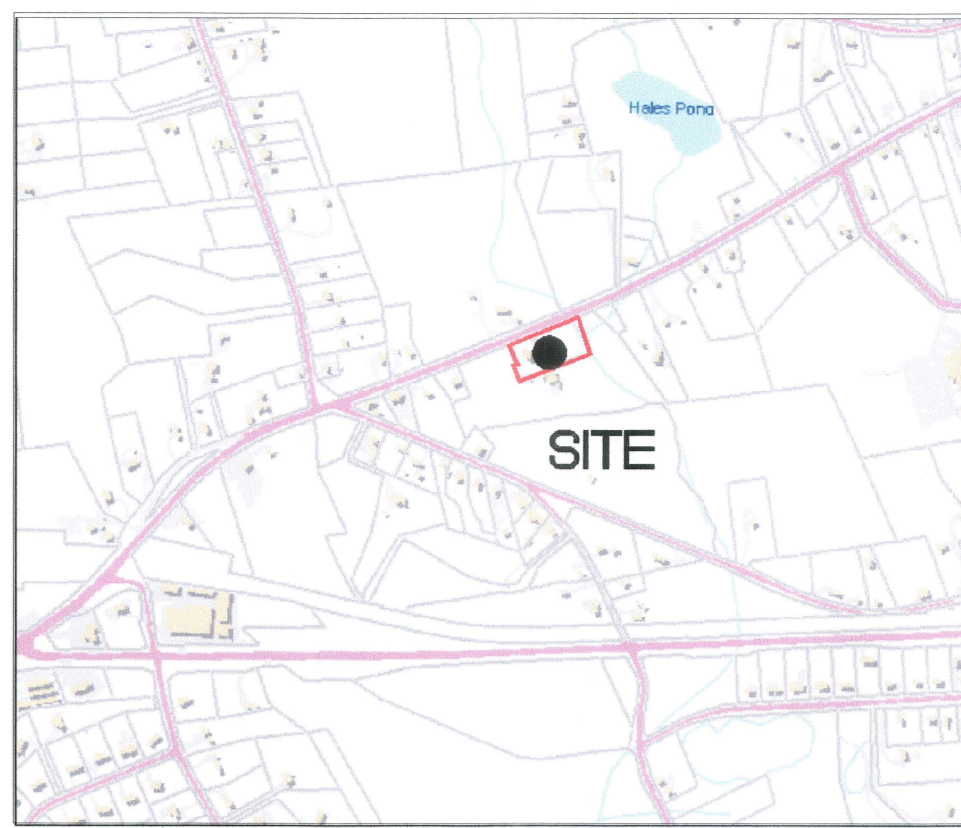
DEEP fee required by C.G.S. 22a-27j will be added to the base fee	\$60.00 ✓
19.5.1 Application Fee plus fee from Schedule A	
19.5.1.1 Residential Uses.	\$75.00 Plus ✗
*Each additional lot with regulated activities.	*Plus \$50.00/lot
19.5.1.2 Commercial/Industrial/Other Uses.	\$400.00 ✓
19.5.2 Approval by Authorized Agent	
19.5.2.1 Residential	\$60.00
19.5.2.2 Commercial	\$75.00
19.5.3 Public Hearing Fee	
19.5.3.1 Single Residential	\$100.00
19.5.3.2 Subdivision	\$400.00
19.5.3.2 Commercial, Industrial, Other	\$400.00
19.5.4 Complex Application Fee	(Actual Cost)
The Inland Wetland Agency may charge an additional fee sufficient to cover the cost of reviewing and acting on complex applications. Such fee may include, but not be limited to, the cost of retaining experts, to advise, review, and report on issues requiring such experts. The Agency shall estimate the complex application fee, which shall be paid pursuant to section 19 of these regulations within 10 days of the applicant's receipt or notice of such estimate. Any portion of the complex application fee in excess of the actual cost shall be refunded to the applicant no later than 30 days after publication of the Agency's decision.	
19.5.5 Permitted and Nonregulated Uses:	
19.5.5.1 Permitted Uses as of Right	\$25.00
19.5.5.2 Nonregulated	\$0.00
19.5.6 Regulation Amendment Petitions	\$150.00
(Does not include Notices or Regulation Advisories from DEEP.)	
19.5.6.1 Map Amendment Petitions	\$50.00
Plus fee from Schedule B	
19.5.7 Modification of Previous Approval	
19.5.7.1 Residential	\$ 25.00
19.5.7.2 Subdivision	\$ 50.00
19.5.7.3 Commercial/Industrial/Other	\$ 75.00
19.5.8 Renewal of Previous Approval	\$50.00
19.5.9 SCHEDULE A. For the purposes of calculating the permit application fee, the area in schedule A is the total area of wetlands and watercourses and upland review area upon which a regulated activity is proposed.	
SQUARE FEET OF AREA	
19.5.9.1 Less than 1,000	\$0.00
19.5.9.2 1,000 to 5,000	\$200.00
19.5.9.3 More than 5,000	\$400.00 ✓
19.5.10 SCHEDULE B. For the purposes of calculating the map amendment petition fee, the linear feet in schedule B is the total length of wetlands and watercourses boundary subject to the proposed boundary change.	
LINEAR FEET	
19.5.10.1 Less than 500	\$0.00
19.5.10.2 500 to 1,000	\$100.00
19.5.10.3 More than 1,000	\$200.00



# PROPOSED COMMERCIAL BUILDING

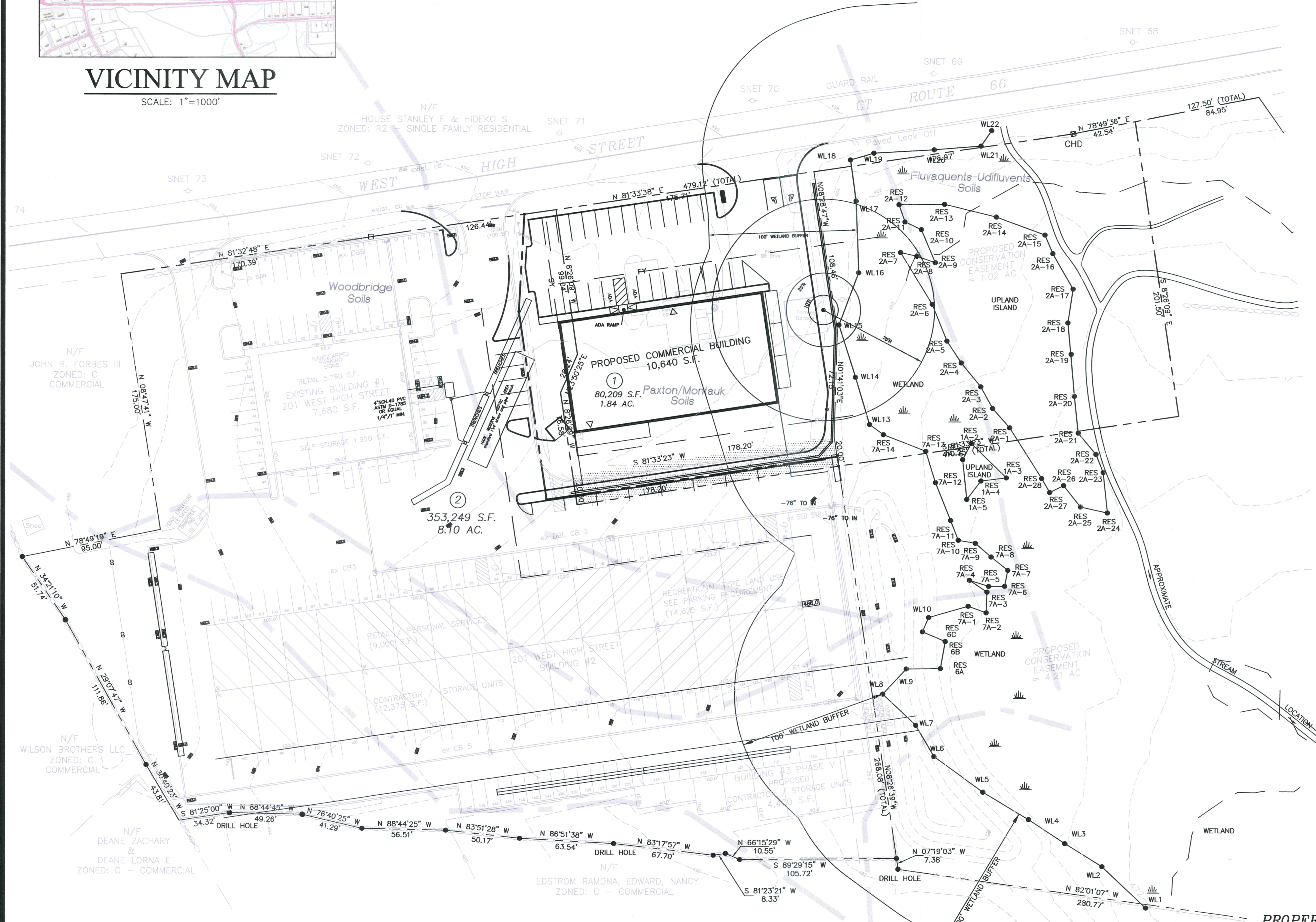
## 195 WEST HIGH STREET, EAST HAMPTON CONNECTICUT

### INLAND WETLANDS AND PLANNING & ZONING APPLICATION



VICINITY MAP

SCALE: 1"=1000'



STANDARD	MINIMUM/REQUIRED	EXISTING	EXISTING	PROPOSED	PROPOSED
	MAXIMUM/ALLOWED	195 W HIGH	207 W HIGH	195 HIGH	207 W HIGH
Min Lot Area (Sq. Ft.)	40,000	80,209	349,322	84,136	345,395
Min Lot Width (Ft.)	150'	395.22	296.83	416.88	275.17
Min Lot Depth (Ft.)	175'	199.5+/-	375+/-	195.00	375+/-+/-
Min Front Setback (Ft.)	50'	40+/-	69+/-	75.4	69+/-
Min Side Setback (Ft.)	25'	40+/-	83+/-	25.5	83+/-
Min Rear Setback (Ft.)	25'	75+/-	26+/-	41.7	26+/-
Min Street Frontage (Ft.)	100'	395.22	296.83	416.88	275.17
Max Lot Coverage (%)	60%	3	58	40	59
Max Floor Area Coverage	N/A	N/A	N/A	N/A	N/A
Max Number of Stories Per Building	N/A	N/A	N/A	N/A	N/A
Max Height for a Building or Structure	35'	24'±	24'±	24'±	24'±

GENERAL SITE DEVELOPMENT NOTES

- Reference is made to a map entitled "195 West High Street Subdivision, Prepared for West High Enterprises, LLC, East Hampton, CT, By: Chatham Engineering Inc., Dated 1/10/12 and revised to 5/16/12, Sheets 1 thru 8" on file in the East Hampton Lands Records Map Book 79 Pages 55 thru 61.
- This property is located in the C: Commercial Zone
- All grades adjacent to fills shall be blended so as to prevent ponding.
- For locations of underground electric, telephone, gas, cable television, or other utilities, inquire at the appropriate utility company and contact CALL BEFORE YOU DIG at 1-800-922-4455.
- All work to conform to Town of East Hampton specifications and regulations.
- The contractor is required to provide demolition and removal of all items, either above or below grade, required to construct the proposed site improvements.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the areas, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated on the plans. The contractor shall confirm the location of all underground utilities prior to the commencement of excavation.
- The contractor is required to provide and install all items as shown on the site development plans, and as required by the owner.
- The proposed parking areas shall be striped with a 4" wide white line.
- All materials and methods shall conform to CT DOT Form 816 as revised.
- CT DOT permit is required by the owner for all work over the state right of way line.
- All excess material from construction or demolition shall be disposed of off site.
- The contractor shall verify and report any discrepancies between the design plans and actual field conditions to the owner, general contractor or design engineer prior to the commencement of construction.
- Adjust all existing and proposed utility frames, grates, covers, valve boxes etc. to be flush with the proposed grades.
- This parcel is shown on Tax Map 12, Block 36, Lot 3.
- The owner and applicant is West High Enterprises, LLC, 244 Middletown Ave, East Hampton, CT 06424, 860-267-6623.
- The purpose of this Layout Plan is to construct a new commercial development on 195 West High Street, and to show the proposed building uses and parking layout.

**PARKING REQUIREMENT**  
 1. BUILDING #1:  
 RETAIL = 10,640 SF  
 MINIMUM REQUIREMENT: 3 SP/1000 SF = 32 SPACES  
 MAXIMUM REQUIREMENT: 6 SP/1000 SF = 32 SPACES  
 2. PARKING PROVIDED: 32 SPACES PROVIDED

- SHEET INDEX:**
- SP-1 OVERALL SITE PLAN
  - SP-2 SITE PLAN / LANDSCAPING PLAN
  - SP-3 GRADING AND UTILITY / EROSION SEDIMENT CONTROL PLAN
  - TD-1 SEPTIC DATA SHEET
  - DN-1 SITE DETAIL SHEET
  - DN-2 SITE DETAIL SHEET

**OVERALL SITE PLAN**

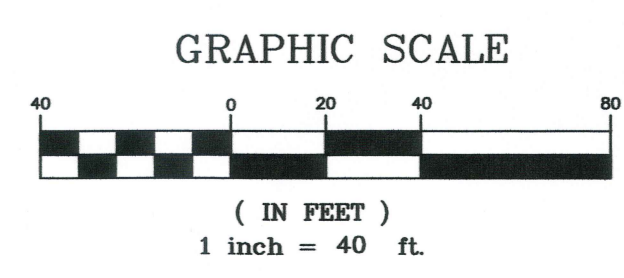
**PROPOSED COMMERCIAL BUILDING**  
 PROPERTY OF WEST HIGH ENTERPRISES  
 195 WEST HIGH STREET  
 EAST HAMPTON, CONNECTICUT

*Robert V. Baltramaitis, P.E.*  
 27 Tammy Hill Road  
 Wallingford, Connecticut 06492  
 (203) 915-8301

DATE: 1/11/2024    SCALE: 1" = 40'    SHT #: SP-1

**PROPERTY OWNER/APPLICANT:**  
 West High Enterprises  
 244 Middletown Ave  
 East Hampton, CT 06424

**PROJECT NARRATIVE:**  
 This project involves the re-development of a 1.93 acre parcel which was formerly a single family residential dwelling. The proposed redevelopment includes changing the use to a free standing 10,640 s.f Commercial building as well as all the parking and infrastructure needed. The parcel contains some inland wetlands soils that currently are located within an existing conservation easement. The redevelopment requires disturbance of approx. 16,550 s.f. of the 100' upland review area.



Approved by the East Hampton Planning & Zoning Commission

Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

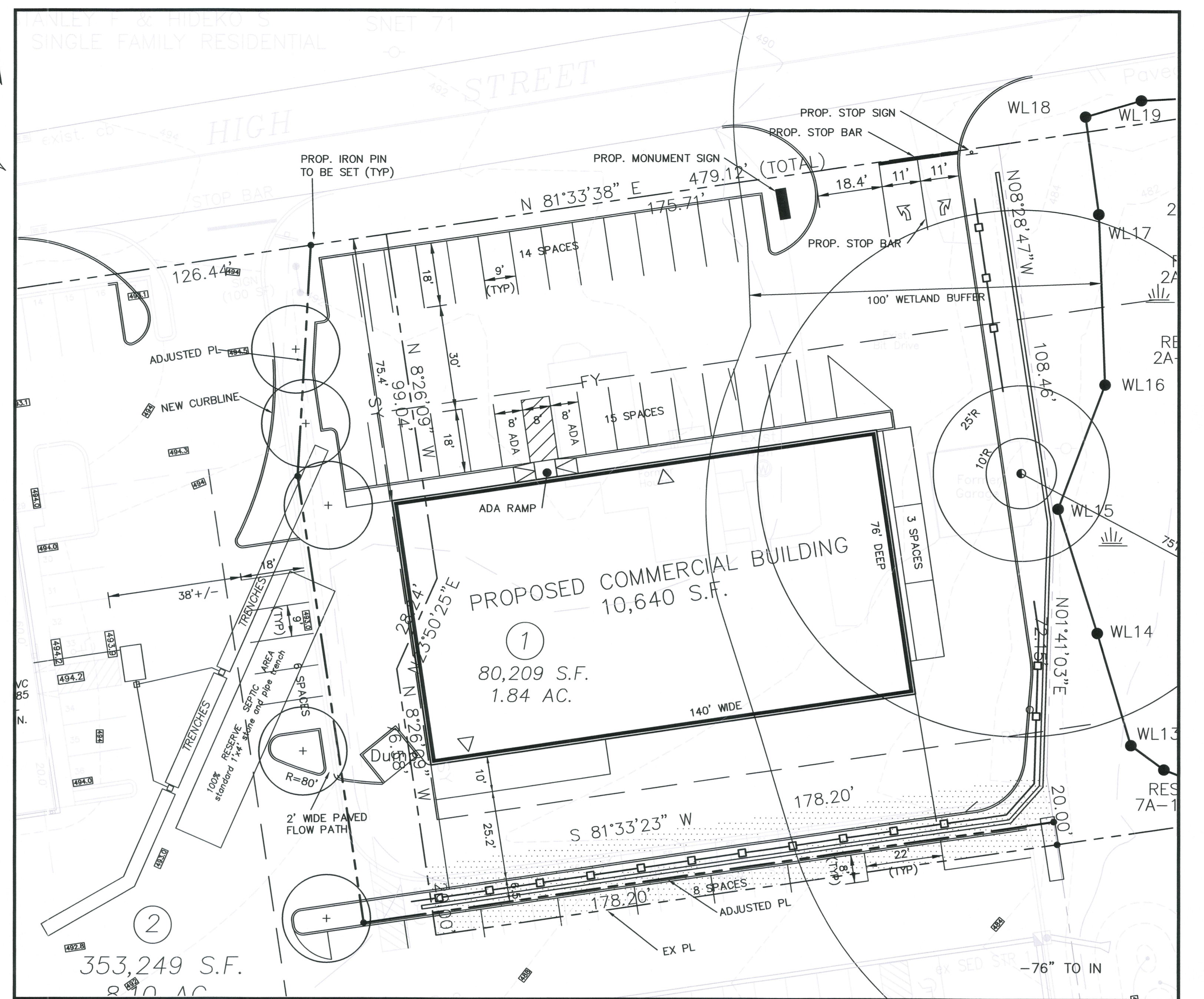
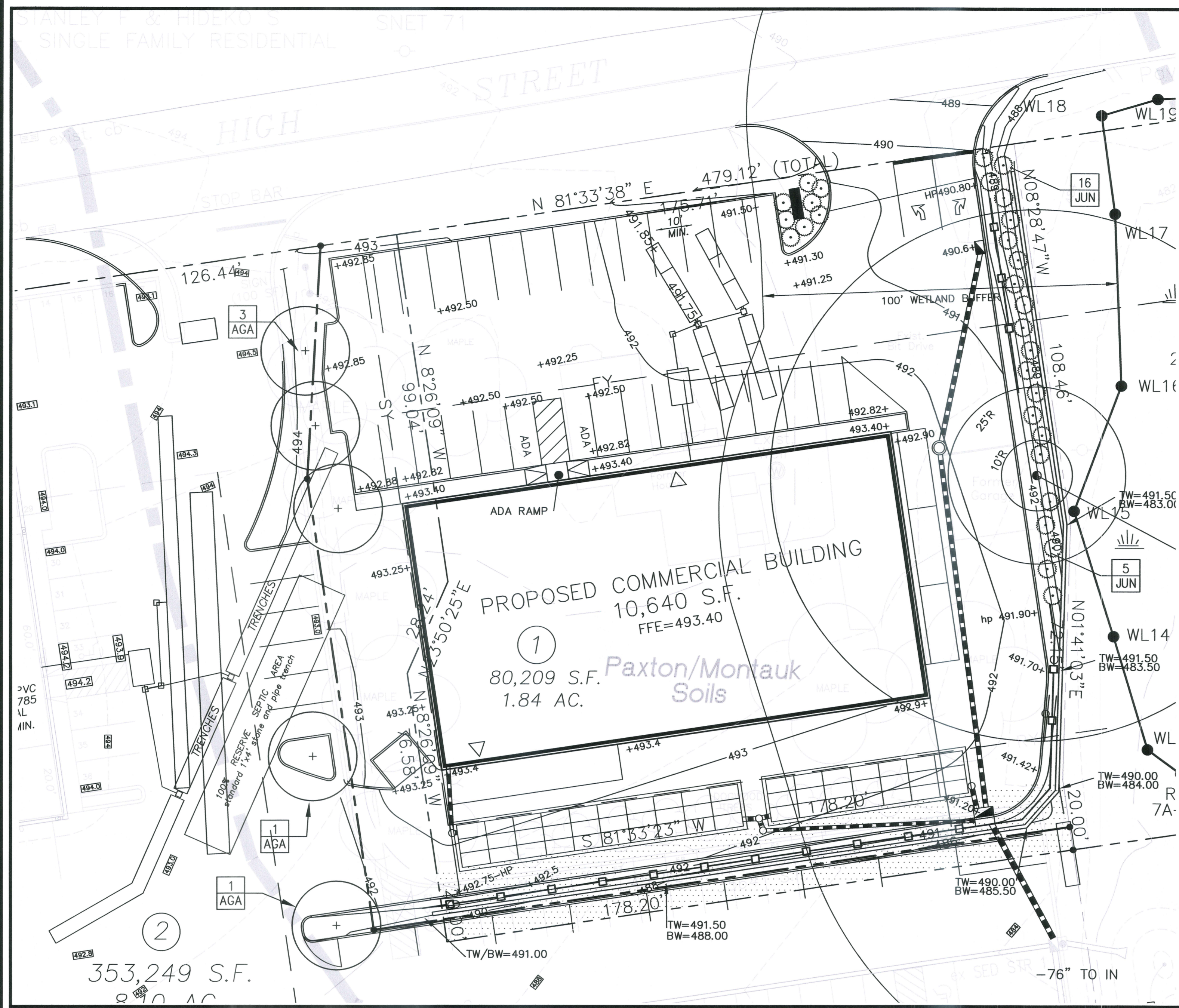
Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

#	DATE	DESCRIPTION





**PLANTING NOTES:**

- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS, TREES, AND SHRUBS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEED REQUIREMENTS INCLUDING MAINTENANCE, MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE ONE YEAR GUARANTEE PERIOD.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY.
- ALL SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH SHREDDED HARDWOOD BARK MULCH.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY ENGINEER. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL. SEE SHEET LL-3 FOR PLANTING DETAILS.

Approved by the East Hampton Planning & Zoning Commission

Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date. The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

**LANDSCAPING PLAN**

- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND UTILITY DRAWINGS FOR STORM, SANITARY AND WATER LINES. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED FROM WITHIN TRAFFIC ISLANDS TO BE LANDSCAPED TO A DEPTH OF 2" OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITHIN ISLANDS WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN ISLANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.
- PLANTING SOIL MIXTURE FOR TREES AND SHRUBS:  
1 PART PEAT MOSS  
3 PARTS TOPSOIL  
MYCORRHIZA INOCULANT - "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS. FERTILIZER/LIME (APPLY AS RECOMMENDED BY SOIL ANALYSIS)
- PLANTING SOIL MIXTURE FOR PERENNIAL AND ORNAMENTAL GRASS BEDS:  
1 PART MANURE (WEED FREE)  
3 PARTS TOPSOIL  
FERTILIZER/LIME (APPLY AS RECOMMENDED BY SOIL ANALYSIS)  
MILORGANITE APPLIED AT 5 LBS. PER 100 S.F.
- TIME OF PLANTING: NEW PLANT MATERIALS SHALL BE INSTALLED AFTER SEPTEMBER 15TH AND NO LATER THAN OCTOBER 31ST.
- TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE PH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL EXTENSION OFFICE OF USDA TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

**11. SEEDING MIXTURES:**

- LAWN SEEDING MIXTURE:  
15% KENTUCKY BLUEGRASS (POA PRATENSIS - SINGLE VARIETY)  
15% PERENNIAL RYEGRASS (LOLIUM PERENNE)  
30% CREEPING RED FESCUE (FESTUCA RUBRA "SHADEMASTER II")  
25% CHEWINGS FESCUE (FESTUCA RUBRA "JAMESTOWN II")  
15% HARD FESCUE (FESTUCA OVINA "RELIANT II")  
SEEDING RATES: 4-5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDING).  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- NO-MOW / LOW MAINTENANCE SEEDING MIXTURE - BLEND OF 3 TO 5 CREEPING RED FESCUES  
SEEDING RATES: 4-5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDING).  
SEEDING DATES: SEPTEMBER 1 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. ALL AREAS CALLED OUT AS NO-MOW OR LOW MAINTENANCE SEEDING MIXTURE ON THE LANDSCAPE PLAN SHALL BE SEED AS INDICATED.
- STEEP SLOPES (>3:1) SEED MIX: "LOW-GROWING WILDFLOWER & GRASS MIX" ERNIX #156 BY ERNST SEEDS, 9006 MERCER PIKE, MEADVILLE, PA 16335; www.ernstseeds.com; 800-873-3321 OR APPROVED EQUIVALENT.
- WET BASIN SEED MIX: "NEW ENGLAND WET MIX" BY NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA.  
APPLY AT A RATE OF 18 LBS PER ACRE (1 LB/2,500 SF).
- ALL SLOPES GREATER THAN 3:1 RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEED WITH THE LAWN SEEDING MIXTURE.

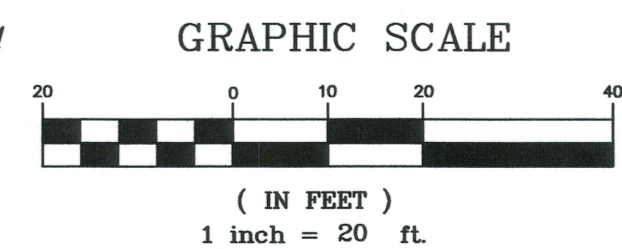
**PLANT LIST:**

CODE	QTY.	BOTANICAL NAME (INSTALLED MATURE)	COMMON NAME	ROOT	PLANTING SIZE	SIZE	COMMENTS
AGA	2	AMELANCHIER x G. 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B&B	8-10" ht.	25' ht.	Clump Form
PCC	7	PYRUS CALLER. 'CLEVELAND SELECT'	CLEVELAND SELECT (CHANTICLEER) PEAR	B&B	2.5-3" cal.	30' ht.	Matched Form
CAV	13	CLETHRA ALNIFOLIA 'VANILLA SPICE'	VANILLA SPICE SUMMERSWEET	CONT.#5	3-4' ht	5-6' ht.	
JUN	10	JUNIPERUS PROCUMBENS 'NANA'	JAPANESE GARDEN JUNIPER	CONT.#3	12" ht.		
FG	14	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	CONT.#5	1-2' ht.	3-4' ht.	

**LEGEND**

- PROPOSED CURB
- PROPOSED CONCRETE
- PROPOSED RIP RAP
- PROPOSED LANDSCAPING

**SITE PLAN**



**PROPERTY OWNER/APPLICANT:**

West High Enterprises  
244 Middletown Ave  
East Hampton, CT 06424

**GENERAL NOTES:**

- EXISTING CONDITIONS BASED ON PREVIOUS APPROVED PLAN DESIGNED BY CHATHAM ENGINEERING.
- ALL PROPOSED PAVED AREAS SHALL BE 2" TOP COARSE, ON 2" BINDER COARSE, ON 6" MIN SUBBASE.
- ALL CURBING SHOWN IS TO BE 6" BIT CURBING.
- PROPOSED RETAINING WALL SHALL BE DECORATIVE MODULAR BLOCK WALL DESIGNED BY MANUFACTURER.
- PARKING SHALL BE 4" WHITE, QUICK DRY EPOXY PAINT. FOR ALL ANGLED STRIPING, LINES SHALL BE 2" APART.
- ALL ADA PARKING AND SIGNAGE SHALL MEET ALL CURRENT ADA GUIDELINES.
- THE DEVELOPMENT REQUIRES A CURB CUT PERMIT FROM CT DOT.

**SITE PLAN / LANDSCAPING PLAN**

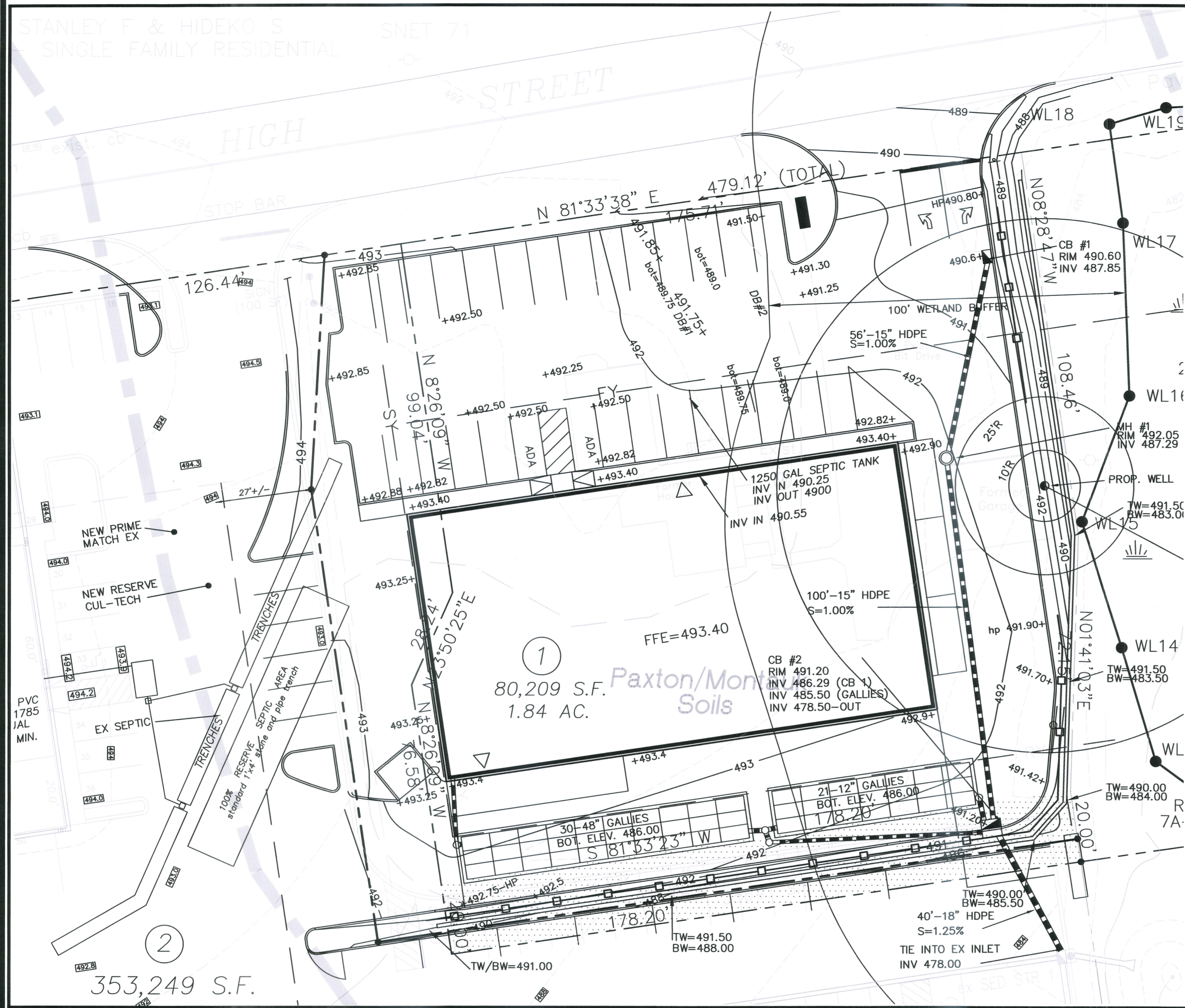
**PROPOSED COMMERCIAL BUILDING**  
PROPERTY OF WEST HIGH ENTERPRISES  
195 WEST HIGH STREET  
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.  
27 Tammy Hill Road  
Wallingford, Connecticut 06492  
(203) 915-8301

DATE: 1/11/2024 SCALE: 1" = 20' SHT #: SP-2

#	DATE	DESCRIPTION
		REVISIONS





**GRADING AND UTILITY PLAN**

**GRADING AND UTILITY NOTES:**

1. THE PROPERTY IS LOCATED IN THE ZONE X FLOOD PLAIN AS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOOD PLAIN AS REFERENCED FROM THE FLOOD INSURANCE RATE MAP PANEL 141 OF 450, MAP NUMBER 09007C0141G, EFFECTIVE DATE AUGUST 28, 2008.
2. THE MAINTENANCE OF THE UNDERGROUND DETENTION SYSTEM WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

Approved by the East Hampton Planning & Zoning Commission

Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statute, as amended, approval automatically expires if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

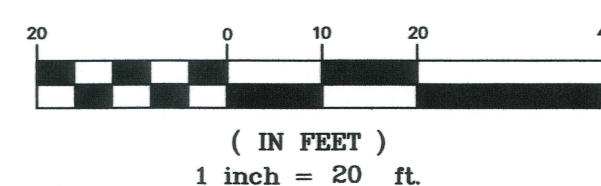
**LEGEND**

- PROPOSED CURB
- PROPOSED CONCRETE
- PROPOSED RIP RAP
- PROPOSED LANDSCAPING

**PROPERTY OWNER/APPLICANT:**

West High Enterprises  
244 Middletown Ave  
East Hampton, CT 06424

**GRAPHIC SCALE**



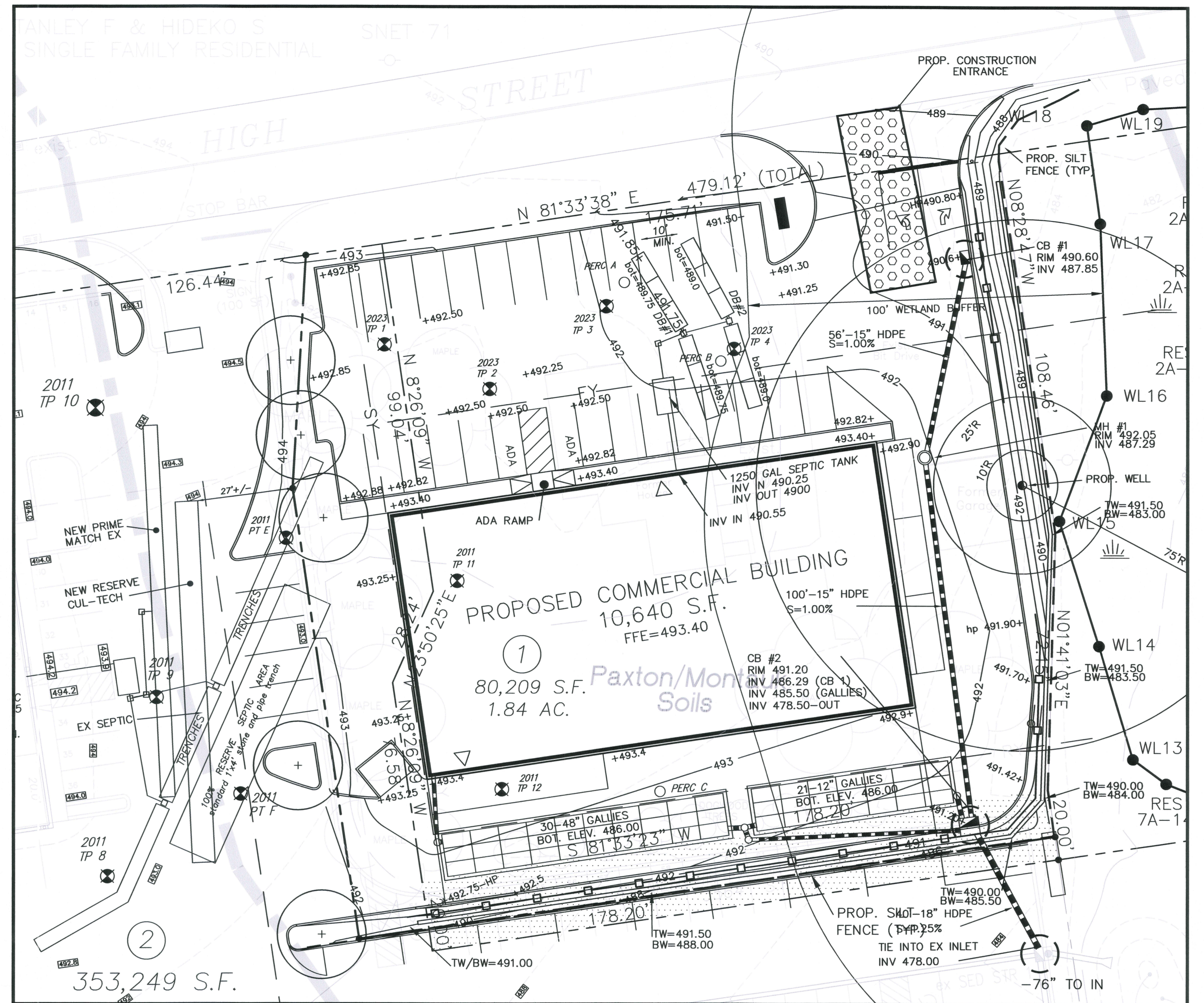
#	DATE	DESCRIPTION

**GRADING AND UTILITY / EROSION SEDIMENT CONTROL PLAN**

**PROPOSED COMMERCIAL BUILDING**  
PROPERTY OF WEST HIGH ENTERPRISES  
195 WEST HIGH STREET  
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.  
27 Tammy Hill Road  
Wallingford, Connecticut 06492  
(203) 915-8301

DATE:	SCALE:	SHT #:
1/11/2024	1" = 20'	SP-3



**EROSION SEDIMENT CONTROL PLAN**

**EROSION CONTROL NOTES:**

1. EROSION CONTROL BLANKETS WILL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1



Property Owner: Wayne Rand - Buyer, Dave Erlanson - engineer, John Cascio - operator  
 Location: 195 West High Street, East Hampton, CT.

DATE: 11/8/11 (Record all Test Pits)

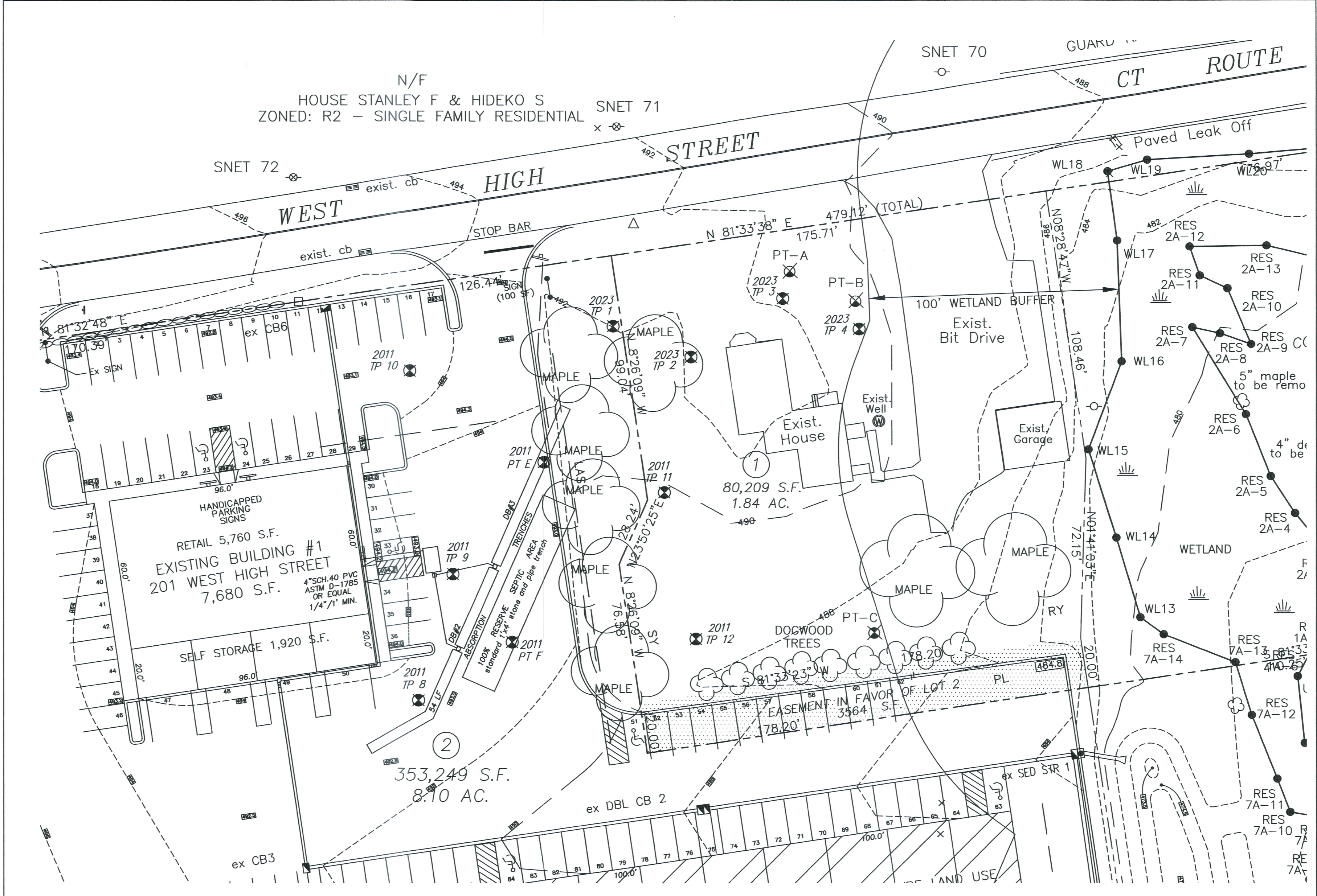
TEST PIT:	TP-1	TEST PIT:	TP-1A	TEST PIT:	TP-2
0-9" Topsoil	0-9" Topsoil	0-9" Topsoil	0-9" Topsoil	0-9" Topsoil	0-9" Topsoil
9-24" Orange brown fine sandy loam (loose)	Hit on rebar drain with flowline @ 53". Pipeless flowline. Did not read pit, which had a gravel fill.	10-2" Orange brown very fine sandy loam (loose)	10-2" Orange brown very fine sandy loam (loose)	27-82" Gray silty clay (very firm to compact)	27-82" Gray silty clay (very firm to compact)
Redox/Mottles:	Redox/Mottles:	Redox/Mottles:	Redox/Mottles:	Redox/Mottles:	Redox/Mottles:
Seeps @ 53", GW @ 53"	Seeps @ 53", GW @ 53"	Seeps @ 29", GW @ 29"	Seeps @ 29", GW @ 29"	Seeps @ 29", GW @ 29"	Seeps @ 29", GW @ 29"
Ledge: No refusal	Ledge: No refusal	Ledge: No refusal	Ledge: No refusal	Ledge: No refusal	Ledge: No refusal
Roots: 36"	Roots: 36"	Roots: None seen	Roots: None seen	Roots: None seen	Roots: None seen
Restrictive: 35"	Restrictive: 35"	Restrictive: 27"	Restrictive: 27"	Restrictive: 27"	Restrictive: 27"

Dave,  
 I think we'll need groundwater monitoring on most of this site. The following areas would need monitoring:  
 TP-2, TP-3, TP-4 & TP-5  
 TP-6, TP-7, TP-8, TP-9 & TP-10  
 TP-15, TP-16 & TP-17  
 These are just areas, we can decide together where to put stand pipes.

**Percolation Test Results:**

TIME (min)	READING	DROP	RATE (MIN/INCH)
2:30	25.25"	1.5"	4.0
2:36	26.75"	1.5"	4.0
2:42	28.125"	1.375"	4.4
2:48	29.5"	1.375"	4.4
2:54	30.5"	1.0"	6.0
3:00	31.5"	0.875"	6.8
3:06	32.375"	0.75"	8.0
3:12	33.125"	0.75"	8.0
3:18	33.875"	0.75"	8.0
3:24	34.625"	0.75"	8.0

RATE = 8.0 MIN/ INCH



Test Pit and Percolation Location Plan  
 Scale: NTS

**Perc # E RATE = 16 min/inch**  
 Pre-soak: 0/0/12 @ 3:05 PM  
 Tested: 0/0/2012

Time	Depth (ft)
4:23	6 1/4
4:35	8 7/8
4:47	10 7/8
4:59	12 3/4
5:11	14 1/2
5:23	15 5/8
5:35	16 1/2
5:47	17 1/4
5:59	18 Dry

**Perc # F RATE = 12 min/inch**  
 Pre-soak: 0/0/12 @ 3:05 PM  
 Tested: 0/0/2012

Time	Depth (ft)
4:24	6 1/2
4:36	10 3/4
4:48	13 1/2
5:00	15 1/8
5:12	16 1/4
5:24	17 1/4
5:36	18 Dry

**Septic System Design**

**PRIMARY SYSTEM**  
 50 SQ. FT. EFF. LEACH AREA  
 USE 12" CONCRETE LEACH GALERIES  
 EFFECTIVE LEACHING AREA = 5.9 SQ. FT./ L.F.  
 LAYOUT LENGTH = 50 SQ. FT. / 8.5 L.F. = 5.9 SF/LF  
 (USE 2 UNITS MINIMUM FOR 16 FT)

**RESERVE SYSTEM**  
 50 SQ. FT. EFF. LEACH AREA  
 USE 12" CONCRETE LEACH GALERIES  
 EFFECTIVE LEACHING AREA = 5.9 SQ. FT./ L.F.  
 LAYOUT LENGTH = 50 SQ. FT. / 8.5 L.F. = 5.9 SF/LF  
 (USE 2 UNITS MINIMUM FOR 16 FT)

**CHECK MLSS:**  
 MLSS = HF x FF x PF  
 = 28 (39" TO MOTTLER [TEST PIT 3])  
 SLOPE=3.8%  
 x 70/300 (NON-RES)  
 x 1.0 (<10 MIN/INCH RATE)  
 = 28 X 0.23 X 1.0 = 6.5 FEET

**ACTUAL PRIMARY CAPACITY**  
 6 UNITS @ 8 FT EACH = 48 L.F.  
 ELA PROVIDED = 5.9 SF/LF X 48 LF = 283 SF  
 ELA = DESIGN FLOW / APPLICATION RATE = 283  
 ACTUAL DESIGN FLOW = 424 GPD  
 MLSS = 48 FT = 28 X DESIGN FLOW/300 x 1.0  
 DESIGN FLOW = 514 GPD

**Septic System Sizing**

**DESIGN FLOW:**  
 PER CT DPH DESIGN MANUAL SDDS FOR HOUSEHOLDS AND SMALL COMMERCIAL BUILDINGS  
 USE AVERAGE of similar facilities and apply 1.5-2.0 Safety Factor  
 AVG Metered Daily Flow = 35 GPD  
 (Based on 2 Study Sites)  
 Design Flow = 35 GPD x 2.0 = 70 GPD

USE DESIGN FLOW = 70 GPD  
 REQ'D EFF. LEACHING AREA (ELA) = DESIGN FLOW / APPLICATION RATE  
 APPLICATION RATE = 1.5  
 PERC RATE = <10 MIN/ INCH (TABLE 8 CT PHC - NON-PROBLEMATIC SEWAGE)  
 ELA = 70 GPD / 1.5 = 47 SF (say 50 SF)



**PROPERTY OWNER/APPLICANT:**  
 West High Enterprises  
 244 Middletown Ave  
 East Hampton, CT 06424

#	DATE	DESCRIPTION

Chatham Health District  
 State of Connecticut Department of Public Health  
 SITE INVESTIGATION FOR A SEWAGE DISPOSAL SYSTEM  
 Property Owner: West High Street Enterprises LLC  
 Location: 195 West High Street  
 DATE: 11.15.2023

TEST PIT: 1	TEST PIT: 2
0-8" - Natural topsoil 8-25" - Light orange brown medium sandy loam 25-40" - Light brown sand 40-71" - Light brown, olive brown medium sand with gravel and stones, damp	0-10" - Natural topsoil 10-16" - Orange brown medium sandy loam 16-29" - Light brown medium sand with gravel 29-79" - Grey sandy hardpan, compact damp
Mottles: 24" GW: None Ledge: no refusal Roots: 40" Restrictive: 24"	Mottles: 27" GW: None Ledge: no refusal Roots: most to 29" some to 39" Restrictive: 27"

TEST PIT: 3	TEST PIT: 4
0-6" - Fill material 6-18" - Topsoil 18-28" - Fine to medium orange brown sandy loam 28-75" - Light brown, olive brown medium to coarse sand with gravel and stones, moderately compact, damp	0-3" - Topsoil 3-11" - Fill material 11-18" - Original topsoil 18-34" - Orange brown medium sandy loam with gravel 34-74" - Light brown medium sand with gravel moderately compact
Mottles: none visible some iron staining at 39" GW: none Ledge: no refusal Roots: most 22"	Mottles: 39" GW: None Ledge: none Roots: most to 42" Restrictive: (39" - 11" of fill) = 28" for MLSS calculations

**COMMENTS:**  
 Groundwater Table: (Near max, below max, etc.): Average  
 Soil Moisture (High, medium, low, etc.): Medium

**LOCATION DRAWING INCLUDING ALL TEST PITS AND PERCOLATION HOLES**

SPECIAL CONDITIONS	CONCLUSIONS	
Design Flow > 2000 GPD	N	Suitable for Sewage Disposal
Public Water Supply Watershed	?	Unsuitable for Sewage Disposal
Probable High Groundwater	?	Additional Investigation Req'd
Slope: 25 percent	N	Wet Season Monitoring Req'd
Perc Rate < 1 mm/inch	?	Retest During Wet Season
Perc Rate > 30 mm/inch	?	Well Exception Required
Ledge < 5 feet below grade	N	Licensed Engineer Plan Req'd
Limited Suitable Area	N	
Open Watercourse or Wetlands	?	
Flood Plain / Seasonal Flooding	?	
G.W. 36 inches below grade	Y	

**DESIGN RECOMMENDATIONS/COMMENTS:**

- Perc test to be conducted by PE? Engineering firm. Submit location, logs and data to CHD for review.
- Test pits marked on-site with stakes. Locations to be surveyed, labeled as per concept plan #4 dated 11.07.23
- Provide a specific design flow and floor/building plans for review and approval.
- Lot line adjustments shall meet 19-13-B100a and require CHD review and approval.

FORM COMPLETED BY: Liz Davidson, RS, MPH  
 OTHERS PRESENT FOR SITE INVESTIGATION (Engineer, developer, installer, etc.):  
 Zac - excavating contractor

**SEPTIC DESIGN DATA**

**PROPOSED COMMERCIAL BUILDING**  
 PROPERTY OF WEST HIGH ENTERPRISES  
 195 WEST HIGH STREET  
 EAST HAMPTON, CONNECTICUT

**Robert V. Baltramaitis, P.E.**  
 27 Tammy Hill Road  
 Wallingford, Connecticut 06492  
 (203) 915-8301

DATE: 1/11/2024 SCALE: NTS SHT #: TD-1



Figure PS-3 Seed Mixtures for Permanent Seeding

No.	Seed Mixture (Variety) <sup>4</sup>	Lbs/Acre	Lbs/1,000 Sq. Ft.
15	Kentucky Bluegrass	20	.45
	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Perennial Ryegrass (Norlea, Manhattan)	5	.10
	Total 45		1.00
25	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Redtop (streaker, Common)	2	.05
	Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln)	20	.45
	Total 42		.95
35	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Bird's-foot Trefoil (Empire, Viking) with inoculant <sup>1</sup>	8	.20
	Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln)	20	.45
	Total 48		1.10
45	Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31)	20	.45
	Redtop (streaker, Common)	2	.05
	Bird's-foot Trefoil (Empire, Viking) with inoculant <sup>1</sup>	8	.20
	Total 30		.70
55	White Clover	10	.25
	Perennial Rye Grass	2	.05
		Total 12	
65	Creeping Red Fescue	10	.50
	Redtop (streaker, Common)	2	.05
	Perennial Rye Grass	20	.50
	Total 42		1.05
75	Smooth Bromegrass (Saratoga, Lincoln)	15	.35
	Perennial Ryegrass (Norlea, Manhattan)	5	.10
	Bird's-foot Trefoil (Empire, Viking) with inoculant <sup>1</sup>	10	.25
	Total 30		.70
85	Switchgrass (Blackwell, Shelter, Cave-in-rock)	10	.25
	Weeping Lovegrass	3	.07
	Little Bluestem (Blaze, Aldous, Camper)	10	.25
	Total 23		.57
95	Creeping Red Fescue (Pennlawn, Wintergreen)	10	.25
	Crown Vetch (Chemung, Penngift) with inoculant <sup>1</sup>	15	.35
	(or Flatpea (Lathco) with inoculant <sup>1</sup> )	(30)	(.75)
	Total 42 (or 57)		1.00 (or 1.40)
105	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Redtop (streaker, Common)	2	.05
	Crown Vetch (Chemung, Penngift) with inoculant (or Flatpea (Lathco) with inoculant)	(30)	(.75)
	Total 37 (or 52)		.85 (or 1.25)
115	Bird's-foot Trefoil (Empire, Viking) with inoculant <sup>1</sup>	8	.20
	Crown Vetch (Chemung, Penngift) with inoculant <sup>1</sup>	15	.35
	Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31)	15	.35
	Total 45		1.05
125	Switchgrass (Blackwell, Shelter, Cave-in-rock)	10	.25
	Perennial Ryegrass (Norlea, Manhattan)	5	.10
	Crown Vetch (Chemung, Penngift) with inoculant <sup>1</sup>	15	.35
	Total 45		1.05
13-15	Not used		
165	Tall Fescue (Kentucky 31)	20	.45
	Flatpea (Lathco) with inoculant <sup>1</sup>	30	.75
		Total 50	
17 & 18	Not used		
195	Chewing Fescue	35	.80
	Hard Fescue	30	.70
	Colonial Bentgrass	5	.10
	Total 100		2.3
215	Creeping Red Fescue (Pennlawn, Wintergreen)	20	.45
	Redtop (streaker, Common)	2	.05
	Tall Fescue (Kentucky 31)	20	.45
	Total 60		1.35
225	Creeping Red Fescue (Pennlawn, Wintergreen)	40	.90
	Tall Fescue (Kentucky 31)	20	.45
		Total 60	
235	Creeping Red Fescue (Pennlawn, Wintergreen)	15	.35
	Flatpea (Lathco) with inoculant <sup>1</sup>	30	.75
		Total 45	
24	Not Used		
29	Turf Type Tall Fescue (Bonanza, Mustang, Rebel II, Spartan, Jaguar) or Perennial Rye ("Future 2000" mix, Fiesta II, Blazer II, and Dasher II)	175 to 250	6 to 8

<sup>1</sup> Use proper inoculant for legume seeds, use four times recommended rate when hydroseeding.  
<sup>2</sup> Use Pure Live Seed (PLS) =  $\frac{\% \text{ Germination} \times \% \text{ Purity}}{100}$   
 EXAMPLE: Common Bermuda seed with 70% germination and 80% purity =  $\frac{70 \times 80}{100} = 56\%$   
 $\frac{10 \text{ lbs PLS/acre}}{56\%} = 17.9 \text{ lbs/acre of bagged seed}$   
<sup>3</sup> DOT All purpose mix  
<sup>4</sup> Wild flower mix containing New England Aster, Baby's Breath, Black Eye Susan, Catchfly, Dwarf Columbine, Purple Coneflower, Lance-leaved Coreopsis, Cornflower, Ox-eye Daisy, Dame's Rocket, Scarlet Flax, Foxglove, Gayfeather, Rocky Larkspur, Spanish Larkspur, Corn Poppy, Spurred Spadogon, Willflower and/or Yarrow may be added to any seed mix given. Most seed suppliers carry a wild flower mixture that is suitable for the Northeast and contains a variety of both annual and perennial flowers. Seeding rates for the specific mixtures should be followed.  
<sup>5</sup> Considered to be a cool season mix.  
<sup>6</sup> Considered to be a warm season mix.

Species <sup>4</sup>	Seeding Rates (lb/acre)	Optimum Seed Depth (inches)	Optimum Seeding Dates										Plant Characteristics		
			3/15	4/15	5/15	6/15	7/15	8/15	9/15	10/15					
Annual ryegrass Lolium multiflorum	40	1.0	0.5												May be added in mixes. Will mow out of most stands.
Perennial ryegrass Lolium perenne	40	1.0	0.5												Use for winter cover. Tolerates cold and low moisture.
Winter rye Secale cereale	120	3.0	1.0												Quick germinating and heavy spring growth. Dies back in June with little regrowth.
Oats Avena sativa	86	2.0	1.0												In northern CT, will winter kill with the first killing frost and may throughout the state in severe winters.
Winter Wheat Triticum aestivum	120	3.0	1.0												Quick germination with moderate growth. Dies back in June with no regrowth.
Millet Echinochloa crusgalli	20	0.5	1.0												Warm season small grain. Dies with frost in September.
Sudangrass Sorghum sudanense	30	0.7	1.0												Tolerates warm temperatures and droughty conditions.
Sudangrass Sorghum sudanense	15	0.4	1.0												Hardy plant that will reseed itself and is good as a green manure crop.
Weeping Lovegrass Eragrostis curvula	5	0.2	0.25												Warm-season perennial. May bunch. Tolerates hot, dry slopes, acid infertile soils. Excellent nurse crop. Usually winter kills.
DOT All Purpose Mix <sup>3</sup>	150	3.4	0.5												Suitable for all conditions.

<sup>1</sup> May be planted throughout summer if soil moisture is adequate or can be irrigated. Fall seeding may be extended 15 days in the coastal towns.  
<sup>2</sup> Seed at twice the indicated depth for sandy soils.  
<sup>3</sup> See Permanent Seeding Figure PS-3 for seeding mixture requirements.  
<sup>4</sup> Listed species may be used in combinations to be obtained a broader time spectrum. If used in combinations, reduce each species planting rate by 20% of that listed.

**WETLANDS APPLICATION DATA**

1. This project involves the re-development of a 1.93 acre parcel which was formerly a single family residential dwelling. The proposed redevelopment includes changing the use to a free standing 10,640 s.f Commercial building as well as all the parking and infrastructure needed. The parcel contains some inland wetlands soils that currently are located within an existing conservation easement. The redevelopment requires disturbance of approx. 16,550 s.f. of the 100' upland review area.  
 2. The on-site regulated areas to be protected by the use of erosion control measures during construction and the finished surfaces such as grass and pavement.

**EROSION CONTROL INTENT**

THE EROSION CONTROL PLAN IS INTENDED TO MINIMIZE THE MOVEMENT OF MATERIAL INTO ADJACENT WETLANDS AND WATERCOURSES BY ONE OR MORE OF THE FOLLOWING:  
 A. LIMIT THE TIME OF BARE SOIL EXPOSURE. ONCE EXCAVATION OR FILL HAS BEEN COMPLETED AND WITHOUT WAITING UNTIL THE ENTIRE SITE IS READY, PROVIDE SOME TYPE OF GROUND COVER AS SPECIFIED. INSTALL MULCH, PAVEMENT, TEMPORARY SEEDING, OR PERMANENT SEEDING. SLOPES SHOULD BE PERMANENTLY SEED AS SOON AS FORMING IS COMPLETED.  
 B. THE USE OF MULCH, TEMPORARY SEEDING OR JUTE MESH WILL BIND THE SOIL BY ABSORBING AND SPREADING HEAVY RAIN CONCENTRATIONS AND MINIMIZING EROSION.  
 C. A TEMPORARY LINING SHOULD BE USED IN THE BOTTOM OF SWALES TO SLOW VELOCITY OF THE STORMWATER AND PREVENT EROSION. THIS ALSO SETTLES OUT MANY OF THE FINE SILTS. SEE SWALE CHART FOR CHANNEL LINING DETAILS. CONTROL OF SHEET FLOW.  
 D. THE USE OF SILT FENCE ANCHORED AS REQUIRED, WILL CONTROL SHEET FLOW AS LONG AS THE WATER VOLUME IS NOT GREAT. IN SOME CASES, WHERE THE FLOW IS GREAT ENOUGH, THE FENCE SHOULD BE BACKED UP BY HAY BALES TO PROVIDE STRENGTH AGAINST THE FENCE TIPPING OVER DUE TO THE WATER VOLUME. ACCUMULATED SILT SHOULD BE PERIODICALLY CLEANED FROM IN FRONT OF THE SILT FENCE.  
 E. THE CONTROL AND REMOVAL OF ALL SILT IS NOT POSSIBLE, BUT BY CAREFUL APPLICATION OF THE REQUIREMENTS OF THIS PLAN COMBINED WITH CONTRACTOR CONCERN WILL GREATLY IMPROVE THE QUALITY OF BOTH THE SITE AREAS AND THE OFF-SITE AREAS.

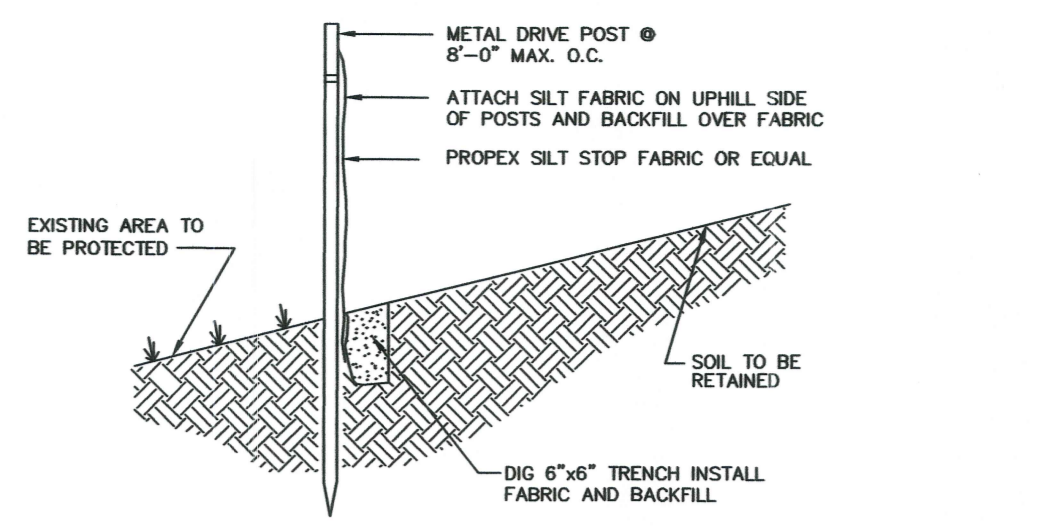
**CONSTRUCTION TIME SCHEDULE**

- The total Construction time for all improvements shall be 6-12 months.
- All erosion control measures shall be in place and inspected prior to start of Construction.
- Contractor to construct the proposed stone lined drainage roadside swale.
- Next, the contractor shall do the building foundation vertical extensions to allow for filling to happen.
- Contractor shall do all rough grading, install retaining walls and install drainage network.
- All concrete, curbing and pavement shall be installed.
- Lastly, the contractor shall perform all finished grading, install topsoil, seed, mulch and final landscaping.
- All erosion control measures will remain in place until final signout from the Town E&S inspector.

Figure PS-2 Selecting Seed Mix to Match Need

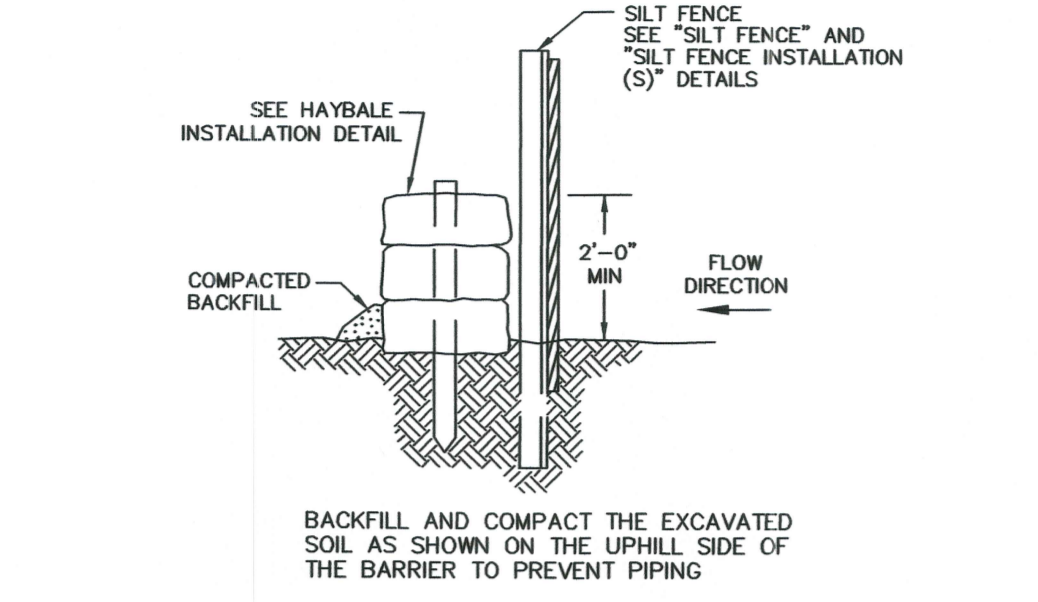
Area To Be Seeded	Mixture Number <sup>1</sup>	
	Mowing Desired	Mowing Not Req.
BORROW AREAS, ROADSIDE, DIKES, LEVEES, POND BANKS AND OTHER SLOPES AND BANKS		
A) Well or excessively drained soil <sup>2</sup>	1,2,3,4,5, or 8	5,6,7,8,9,10,11
B) Somewhat poorly drained soils <sup>2</sup>	2	12,16, 22
C) Variable drainage soils <sup>2</sup>	2	5,6, 11
DRAINAGE DITCH AND CHANNEL BANKS		
A) Well or excessively drained soil <sup>2</sup>	1,2,3 or 4	9,10,11,12
B) Somewhat poorly drained soils <sup>2</sup>	2	
C) Variable drainage soils <sup>2</sup>	2	
DIVERSIONS		
A) Well or excessively drained soil <sup>2</sup>	2,3 or 4	9,10,11
B) Somewhat poorly drained soils <sup>2</sup>	2	
C) Variable drainage soils <sup>2</sup>	2	
GULLIED AND ERODED AREAS		3,4,5,8,10,11,12
SOD WATERWAYS AND SPILLWAYS	1,2,3,4,6,7, or 8	1,2,3,4,6,7, or 8
SUNNY RECREATION AREAS (Picnic areas and playgrounds or driving and archery ranges, nature trails)	1,2, or 23	
LAWNS AND HIGH MAINTENANCE AREAS	1,19, 21 or 29	

<sup>1</sup> The numbers following in these columns refer to seed mixtures in Figure PS-3. Mixes for shady areas are in *italics*. (Including mixes 20 through 24)  
<sup>2</sup> See county soil survey for drainage class. Soil surveys are available from the County Soil and Water Conservation District Office.  
<sup>3</sup> Use mix 26 when soil passing a 200 mesh sieve is less than 15% of total weight. Use mix 26 & 27 when passing a 200 mesh sieve is between 15 and 20% of total weight. Use mix 26, 27 & 28 when soil passing a 200 mesh is above 20% of total weight.

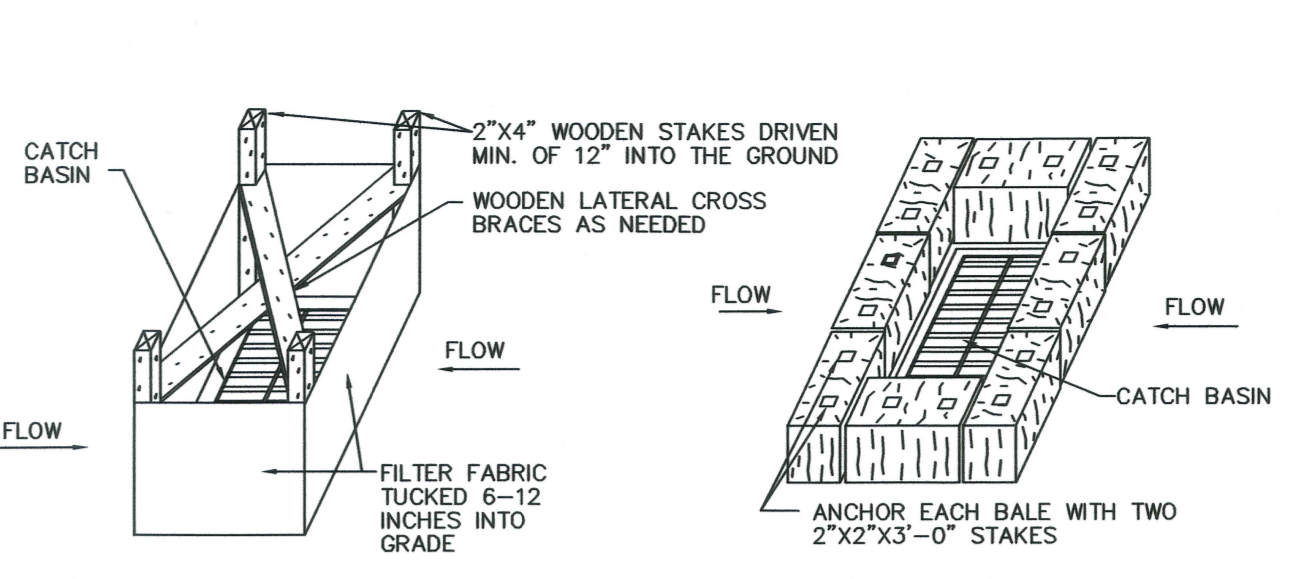


NOTE: FOR SLOPES > 5:1; PERPENDICULAR WINGS PLACED EVERY 100'  
 FOR SLOPES > 3:1 TO 5:1; PERPENDICULAR WINGS PLACED EVERY 75'  
 FOR SLOPES > 2:1 TO 3:1; PERPENDICULAR WINGS PLACED EVERY 50'

**SILT FENCE**  
N.T.S.

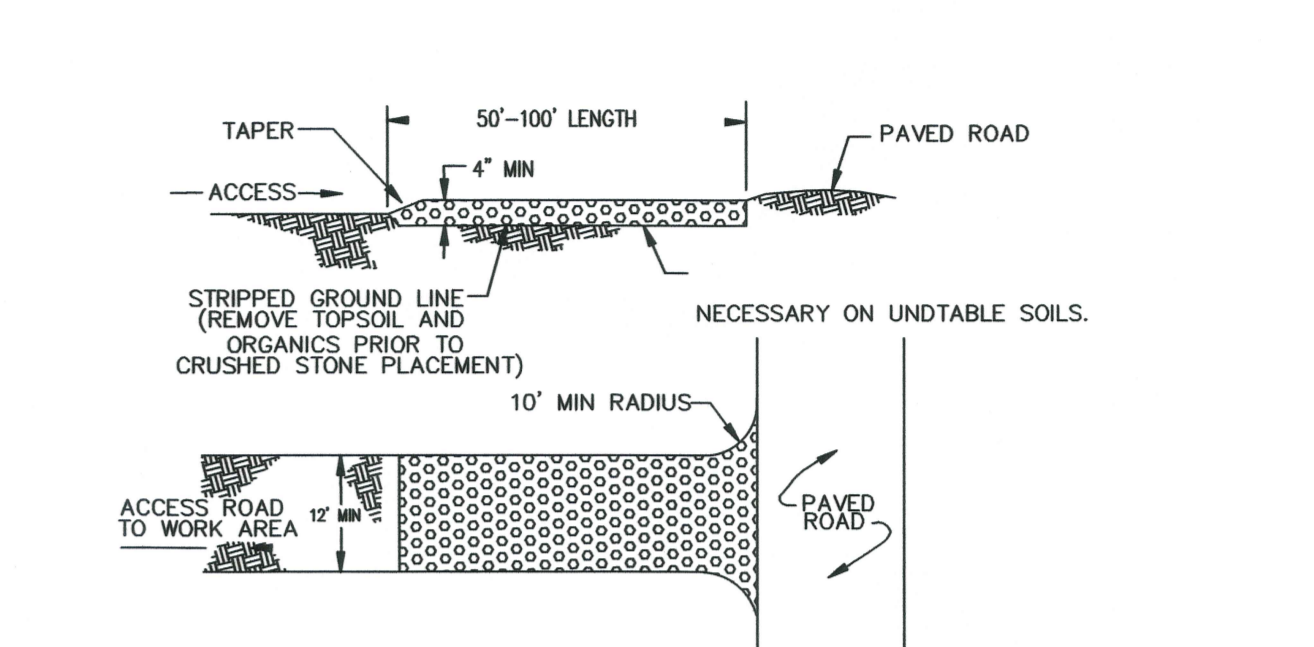


**SEDIMENTATION CONTROL BARRIER WITH HAY BALE BARRIER**  
N.T.S.



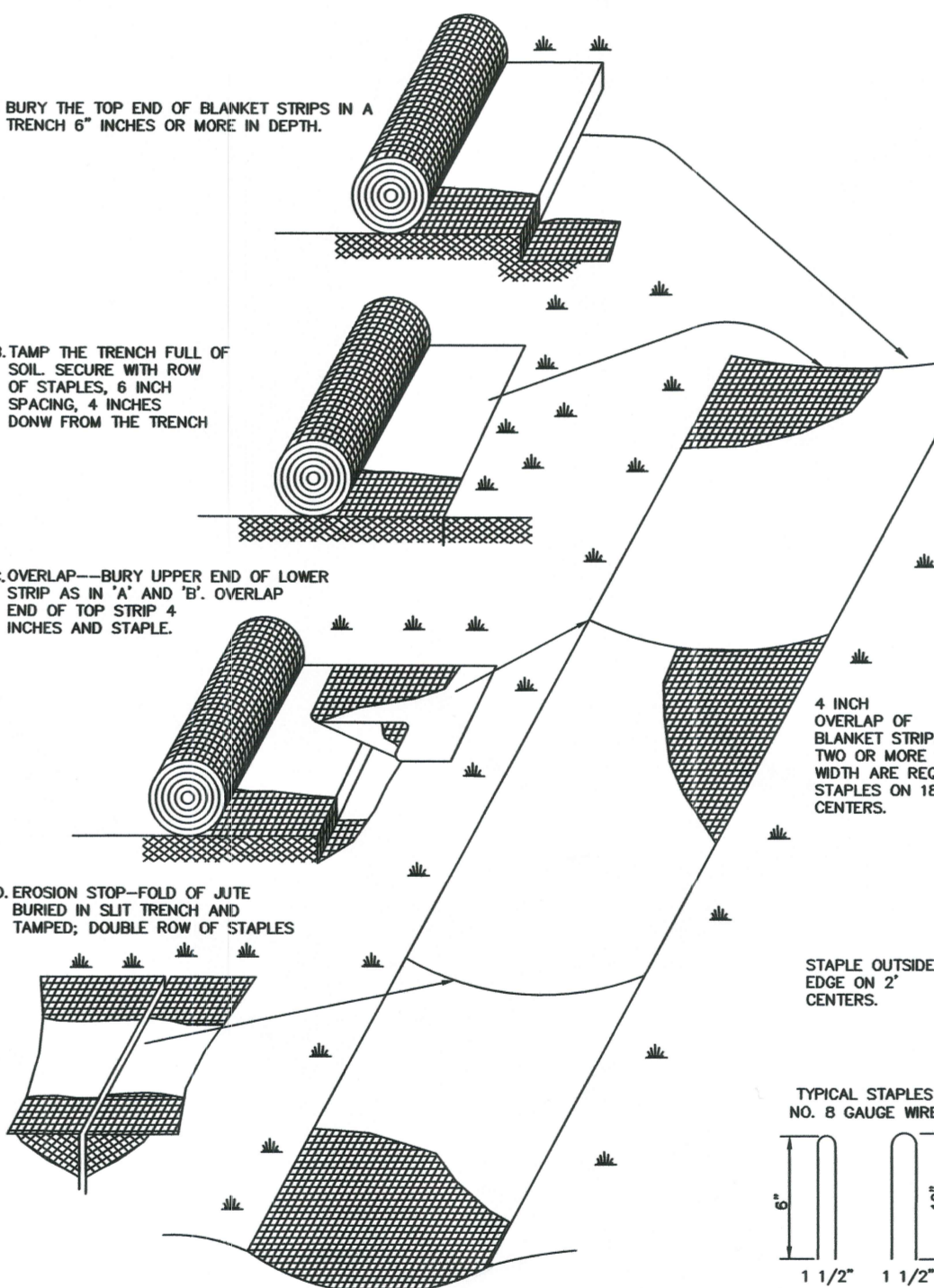
SILT FENCE INSTALLATION AT CATCH BASINS AT LOW POINTS  
 HAY BALE FILTER INSTALLATION AT CATCH BASIN AT LOW POINTS

**CATCH BASIN EROSION CONTROL**  
N.T.S.



Construction Entrance shall be installed if required by E&S Inspector)

**TYPICAL CONSTRUCTION ENTRANCE**



NOTE: BLANKET IS TO BE INSTALLED ON ANY FINISHED SLOPES THAT ARE STEEPER THAN 3:1

**EROSION CONTROL BLANKET INSTALLATION DETAIL**  
N.T.S.

PROPERTY OWNER/APPLICANT:  
 West High Enterprises  
 244 Middletown Ave  
 East Hampton, CT 06424

**DETAIL SHEET**

PROPOSED COMMERCIAL BUILDING  
 PROPERTY OF WEST HIGH ENTERPRISES  
 195 WEST HIGH STREET  
 EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.  
 27 Tammy Hill Road  
 Wallingford, Connecticut 06492  
 (203) 915-8301

DATE: 1/11/2024 SCALE: NTS SHT #: DN-1

Approved by the East Hampton Planning & Zoning Commission

Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Per Section 8-26c of the Connecticut General Statute, as amended, approval automatically expires \_\_\_\_\_ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

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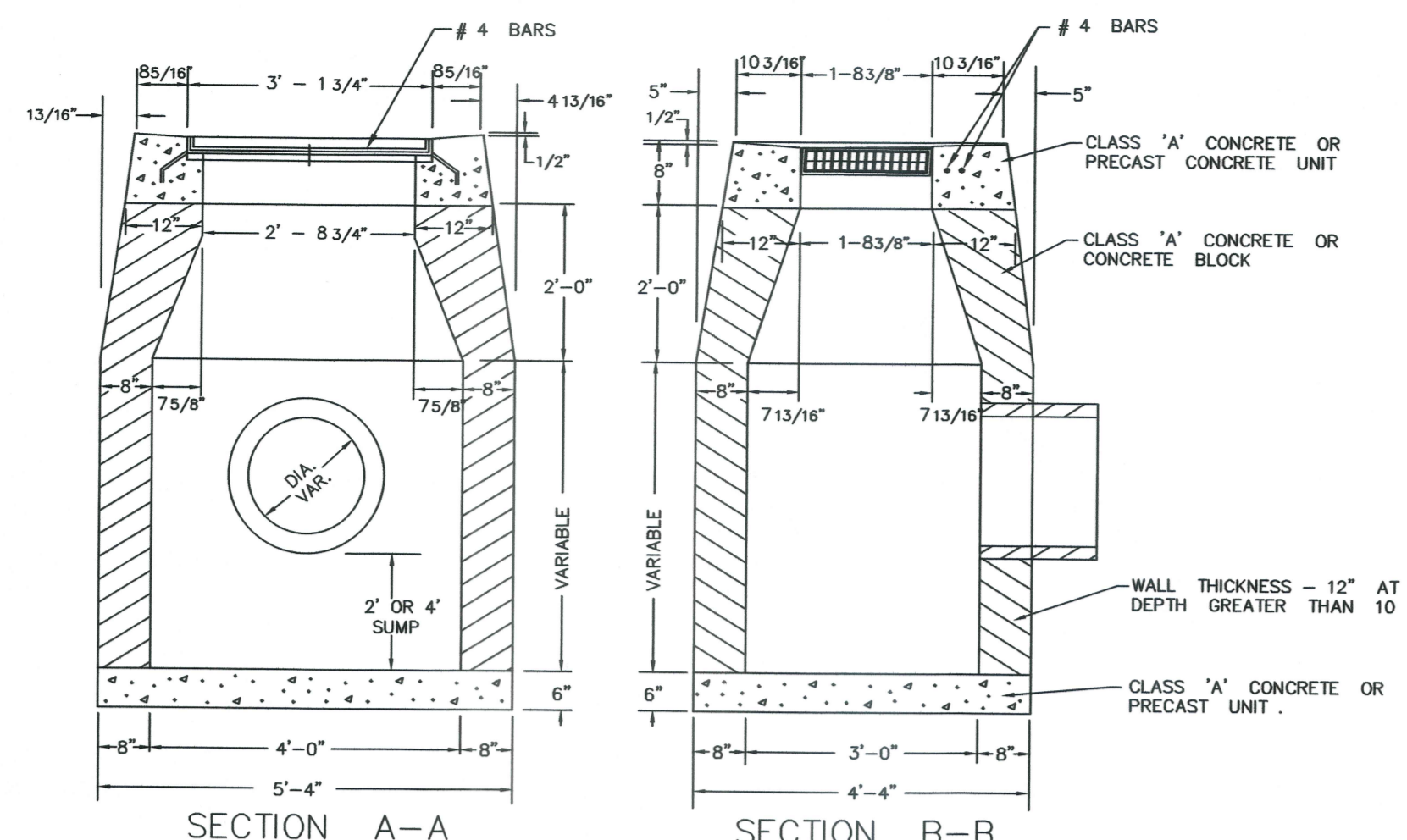
Final Approval \_\_\_\_\_ Chairman

Date: \_\_\_\_\_

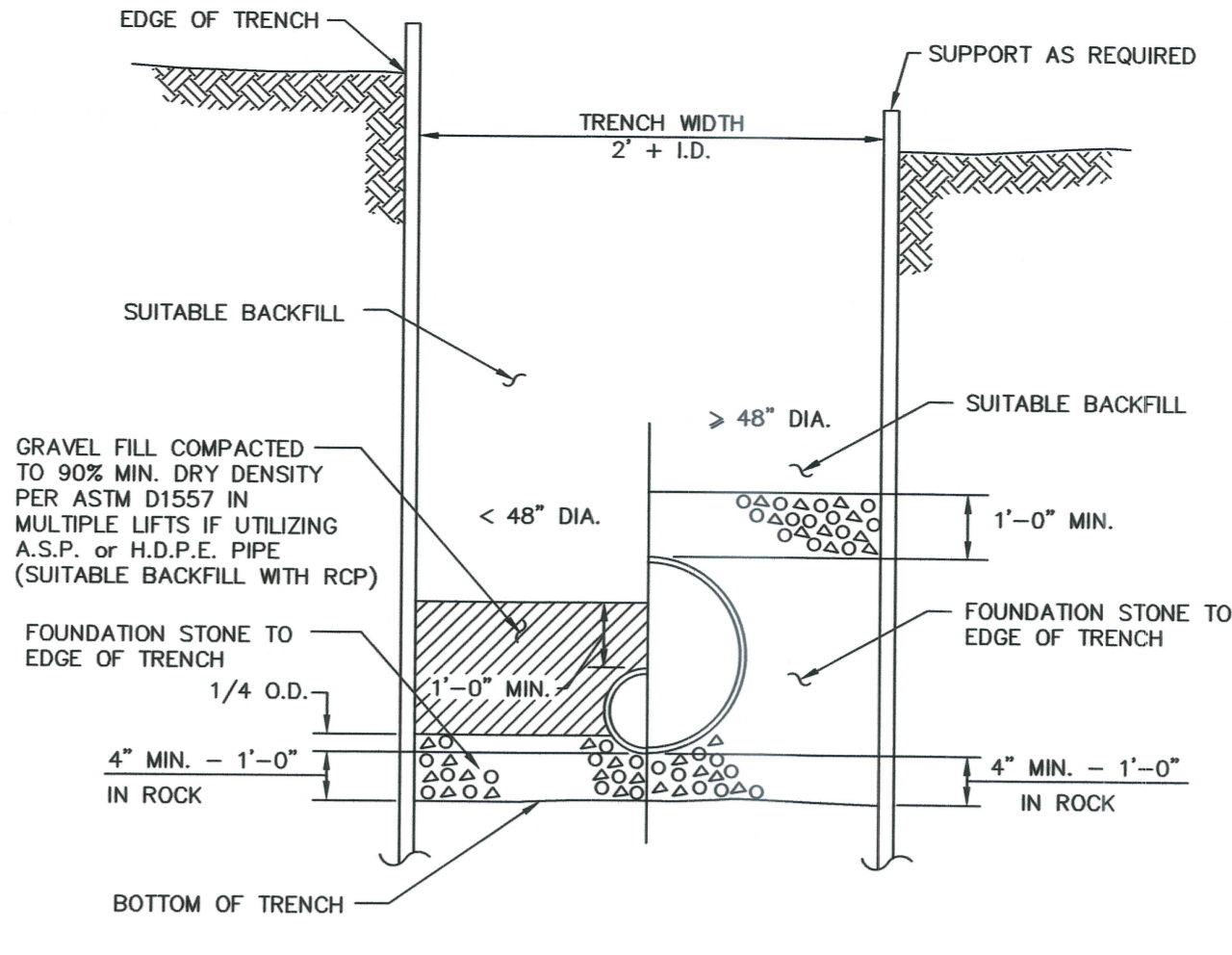
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#	DATE	REVISIONS





CONNECTICUT DEPARTMENT OF TRANSPORTATION  
**TYPE "C-L" CATCH BASIN**  
 N.T.S.

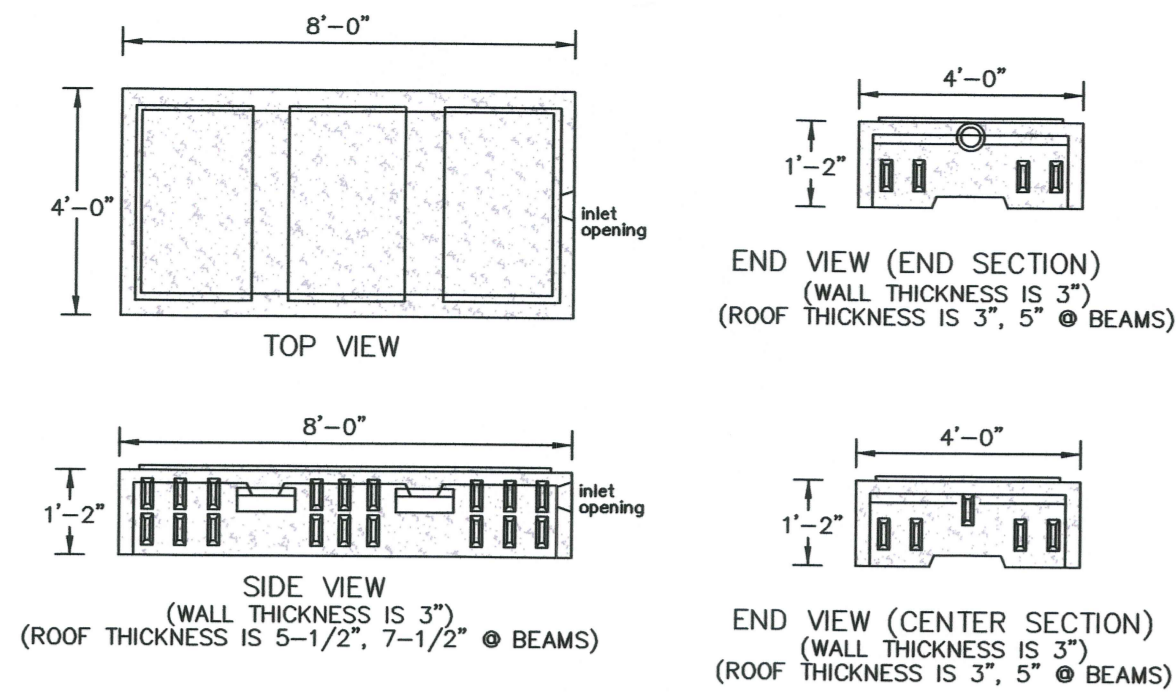


**TYPICAL STORM SEWER TRENCH SECTION**  
 N.T.S.

**Septic System Notes:**

1. THE HOUSE SEWER SHALL BE 4" SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D 1785/ ASTM D 2665 SET AT A MINIMUM SLOPE OF 1" PER FOOT. THE PIPE SHALL BE LAID TRUE TO THE GRADE IN A SAND BED AND BACKFILLED WITH MATERIAL FREE OF LARGE OR JAGGED STONES.
2. THE PRE-CAST CONCRETE SEPTIC TANK SHALL HAVE A CAPACITY OF AT LEAST 1,500 GALLONS. THE TANK SHALL HAVE TWO CHAMBERS, THE FIRST OF WHICH SHALL HOLD 2/3 THE REQUIRED TOTAL CAPACITY.
3. THE SEPTIC TANK SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CONNECTICUT PUBLIC HEALTH CODE, LATEST REVISION. THE TANK SHALL HAVE A NON-BYPASS EFFLUENT FILTER AT THE OUTLET AND POLYETHYLENE GASKETS AT THE INLET AND OUTLET.
4. THE DISTRIBUTION PIPE FROM THE TANK TO THE DISTRIBUTION BOX OR LEACHING GALLERIES SHALL BE 4" PVC CONFORMING TO ASTM 3034 SDR35 WITH INTEGRAL RUBBER COMPRESSION GASKETS. PIPE SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1/4" PER FOOT (2.08%).
6. THE DISTRIBUTION BOXES SHALL BE HS-20 PRE-CAST CONCRETE WITH WATER-TIGHT GASKETS AND SET LEVEL.
7. THE CONCRETE LEACHING GALLERIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND THIS PLAN. ANY DEVIATION IN THE SPECIFIED PRODUCT SHALL BE REVIEWED BY THE DESIGN ENGINEER AS IT MAY AFFECT THE REQUIRED LEACHING FIELD SIZE.
8. THE IMPORTED "SELECT FILL" SHALL BE CLEAN SAND OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND OTHER FOREIGN SUBSTANCES. THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE 3" SIEVE. UP TO 45% OF THE DRY WEIGHT OF THE SAMPLE MAY BE RETAINED ON THE #4 SIEVE. THE MATERIAL PASSING IS RE-WEIGHED AND SIEVE ANALYSIS STARTED AND SHALL CONFORM TO THE FOLLOWING CRITERIA:  

SIEVE	DRY SIEVE (% PASSING)
# 4	100%
# 10	70-100%
# 40	10-75%
#100	0-5%
#200	0-2.5%
9. "APPROVED AGGREGATE" SHALL BE EITHER No. 4 (1-1/2") OR No. 6 (3/4") STONE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF SECTION 8 OF THE PUBLIC HEALTH CODE.
10. THE GEOTEXTILE SHALL BE NON-WOVEN FABRIC CONFORMING TO ASTM D 5261, ASTM D 4491 AND ASTM D 4533 MEETING THE REQUIREMENTS OF THE STATE PUBLIC HEALTH CODE.
11. THE SYSTEM SHALL BE STAKED OUT IN THE FIELD BY A LICENSED ENGINEER OR LAND SURVEYOR.
12. THE TOPSOIL/ ORGANICS SHALL BE REMOVED FROM THE LEACHING AREA AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT FILL, IF REQUIRED.
13. THE INSTALLER SHALL TAKE THE PROPER PRECAUTIONS TO AVOID OVERCOMPACTING UNDERLYING SOILS WHILE PROVIDING SUFFICIENT COMPACTION OF THE SELECT FILL TO FACILITATE CONSTRUCTION AND AVOID SETTLEMENT.



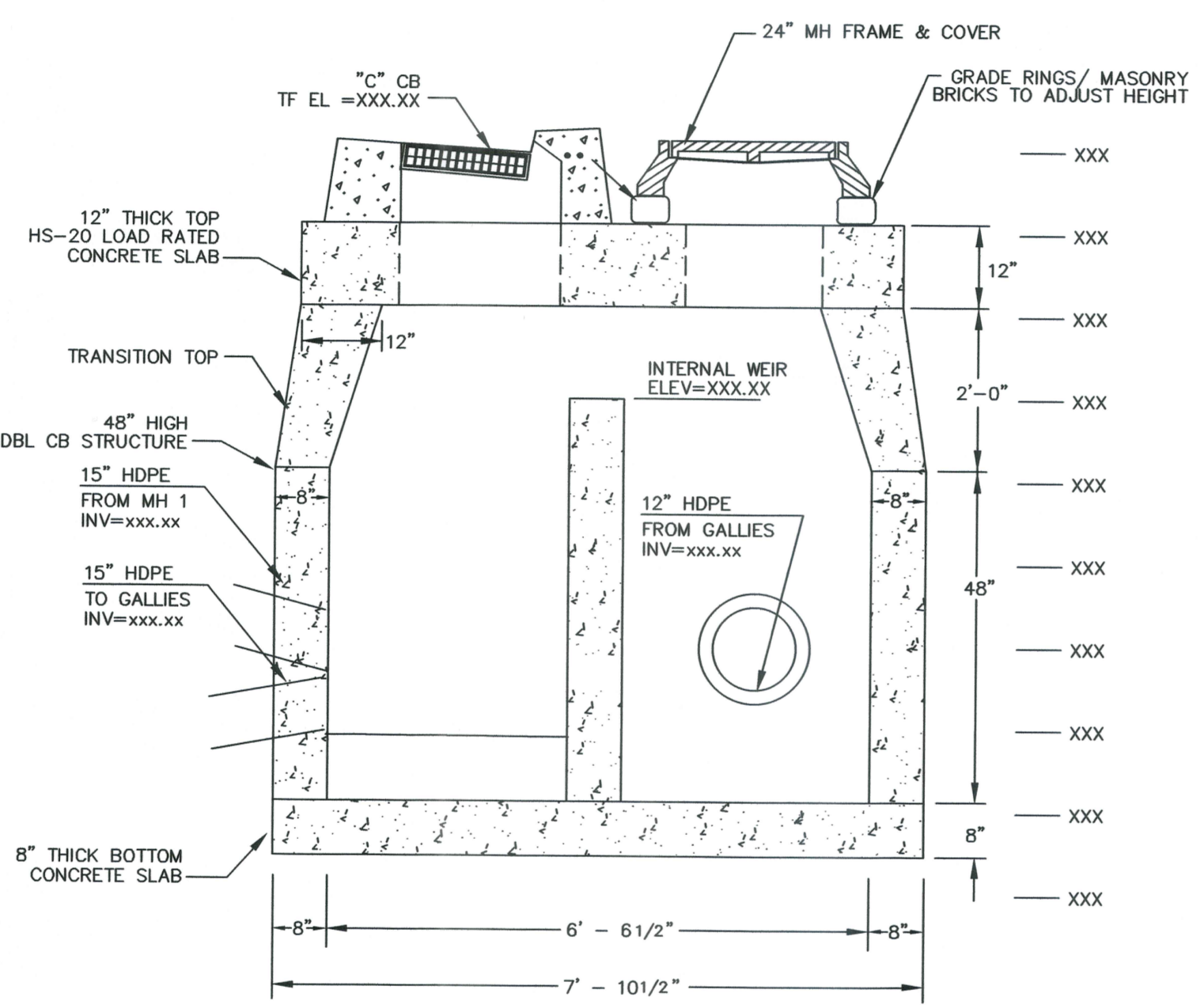
**WEIGHT CHART**

PRODUCT	APPROX. WEIGHT
18" GALLEY	2,450 LBS.

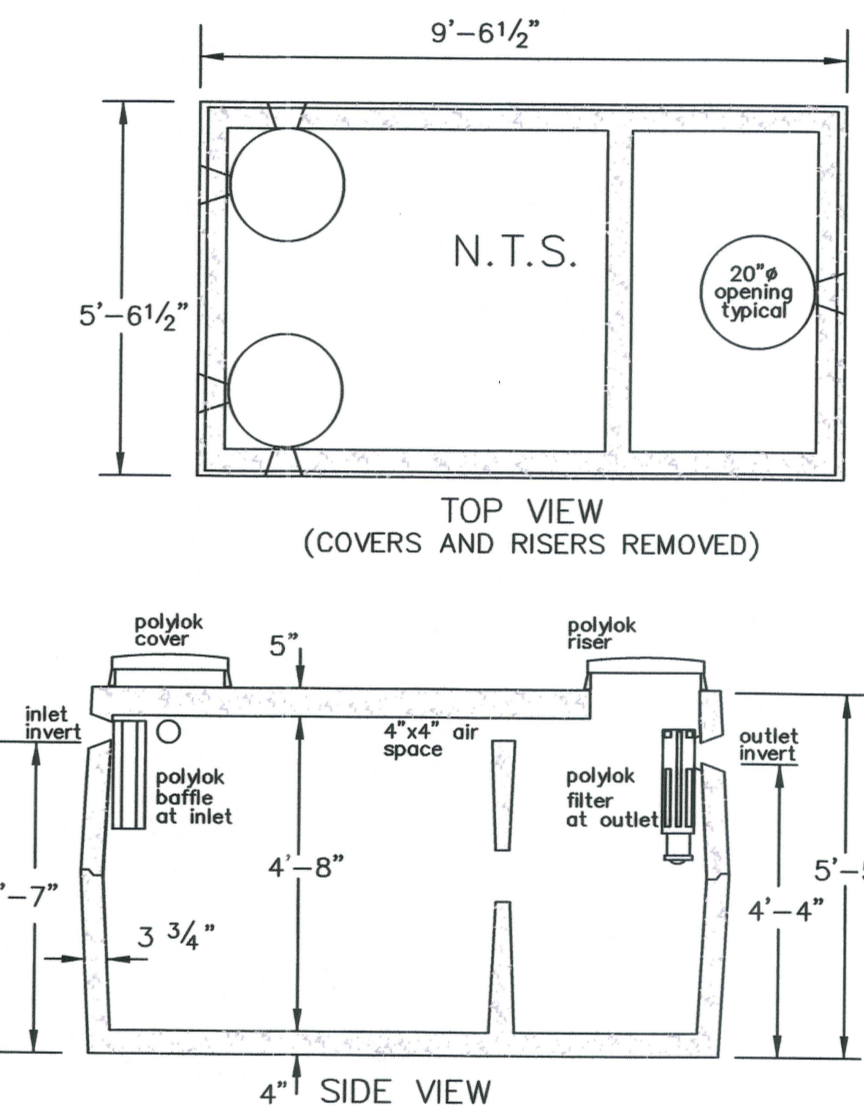
  

FLOW LINE (INCHES)	LEACHING (GALLONS)	LEACHING (SQ. FT)	INSIDE CAPACITY (GALLONS)
12	5.9	47.2	140

**HS-20 12" CONCRETE LEACHING GALLEY**  
 N.T.S.



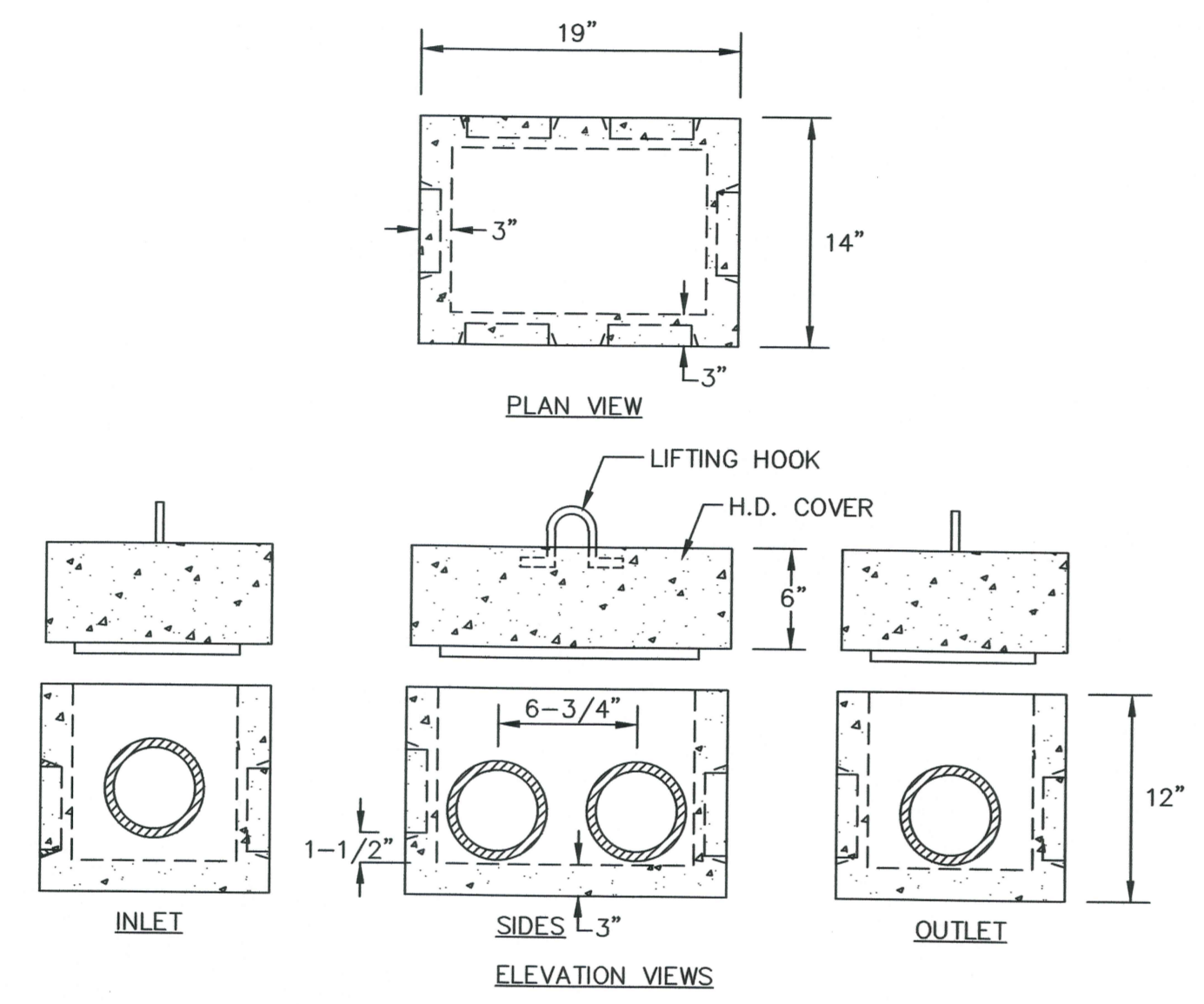
**OUTLET CONTROL DETAIL**  
 N.T.S.



**WEIGHT CHART**

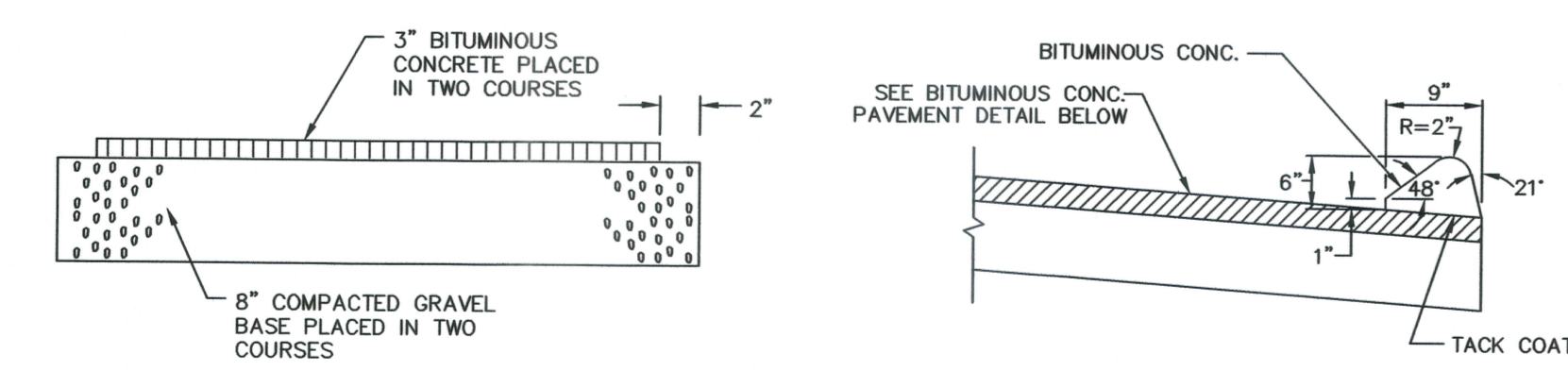
PRODUCT	APPROX. WEIGHT
1,250 GAL TANK	12,100 LBS.

**1,250 GALLON SEPTIC TANK**  
 N.T.S.



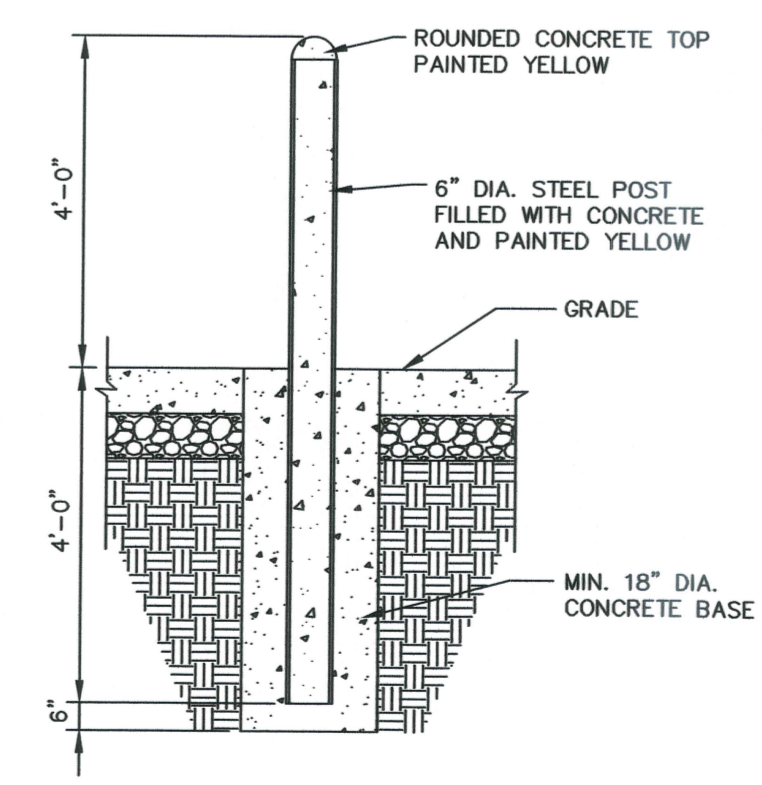
- NOTES:**
1. THE CONCRETE SHALL HAVE 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
  2. D-BOXES SHALL HAVE INTEGRAL PLASTIC PIPE SEALS ON ALL OPENINGS.
  3. THE BOXES SHALL BE HEAVY DUTY AND RATED FOR HS-20 LOADING FOR UNDER-PAVEMENT APPLICATIONS.
  4. PER CT PHC, D-BOXES SHALL BE ACCESSIBLE TO GRADE WITH H.D. MANHOLE FRAME AND COVER.
  5. D-BOX'S SHALL BE CONFIGURED FOR EVEN DISTRIBUTION OF EFFLUENT TO ALL GALLEYS.

**HEAVY DUTY CONCRETE D-BOX DETAIL**  
 N.T.S.

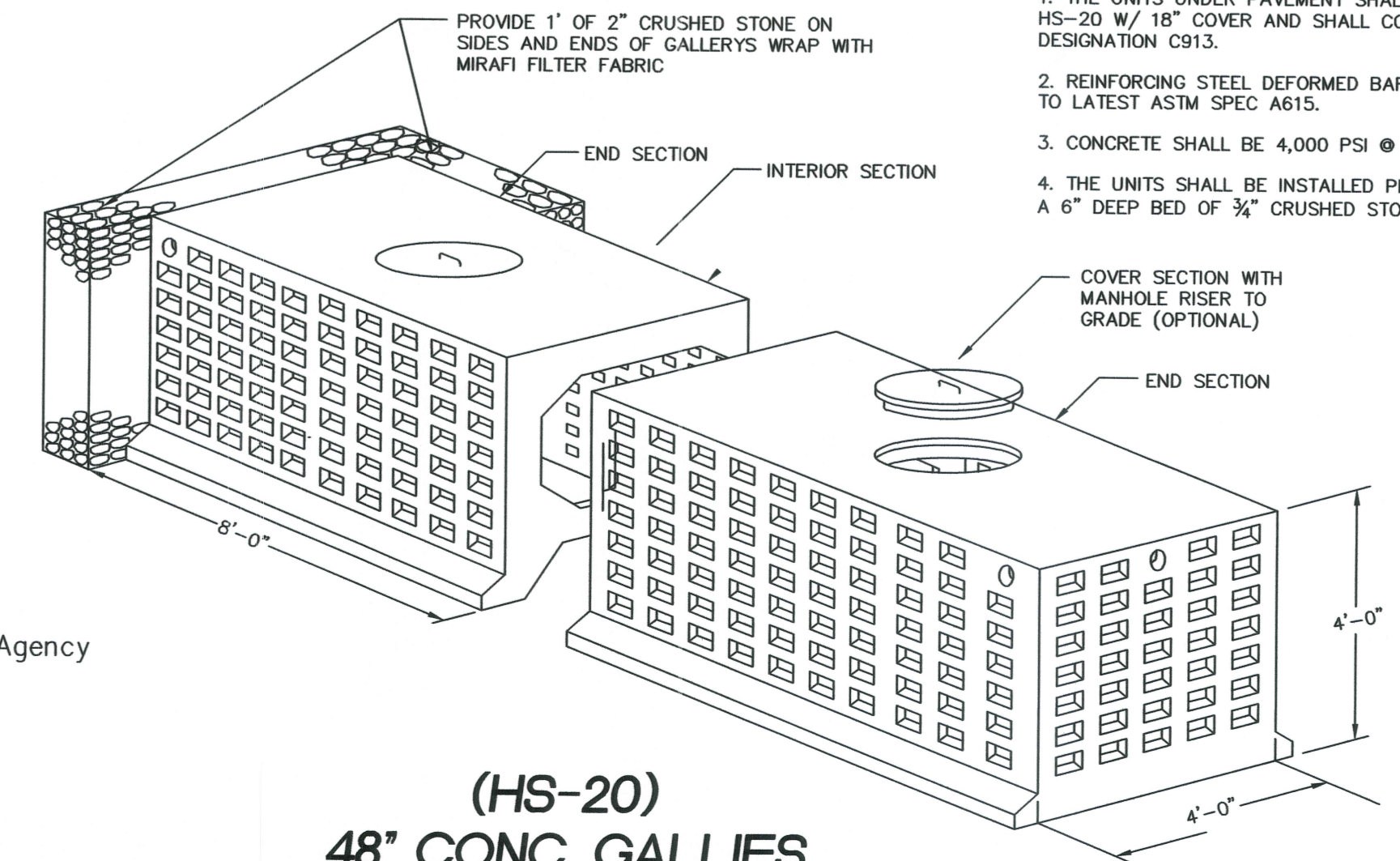


**BITUMINOUS CONCRETE DRIVEWAY**  
 N.T.S.

**BITUMINOUS CONCRETE LIP CURBING**  
 N.T.S.



**BOLLARD DETAIL**  
 N.T.S.



**(HS-20)  
 48\"/>
 N.T.S.**

- NOTES:**
1. THE UNITS UNDER PAVEMENT SHALL BE DESIGNED FOR HS-20 W/ 18" COVER AND SHALL CONFORM TO ASTM DESIGNATION C913.
  2. REINFORCING STEEL DEFORMED BARS SHALL CONFORM TO LATEST ASTM SPEC A615.
  3. CONCRETE SHALL BE 4,000 PSI @ 28 DAYS.
  4. THE UNITS SHALL BE INSTALLED PLUMB AND LEVEL ON A 6" DEEP BED OF 3/4" CRUSHED STONE.

**PROPERTY OWNER/APPLICANT:**  
 West High Enterprises  
 244 Middletown Ave  
 East Hampton, CT 06424

Approved by the East Hampton Planning & Zoning Commission

Final Approval \_\_\_\_\_ Chairman  
 Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

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 PROPERTY OF WEST HIGH ENTERPRISES  
 195 WEST HIGH STREET  
 EAST HAMPTON, CONNECTICUT**

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