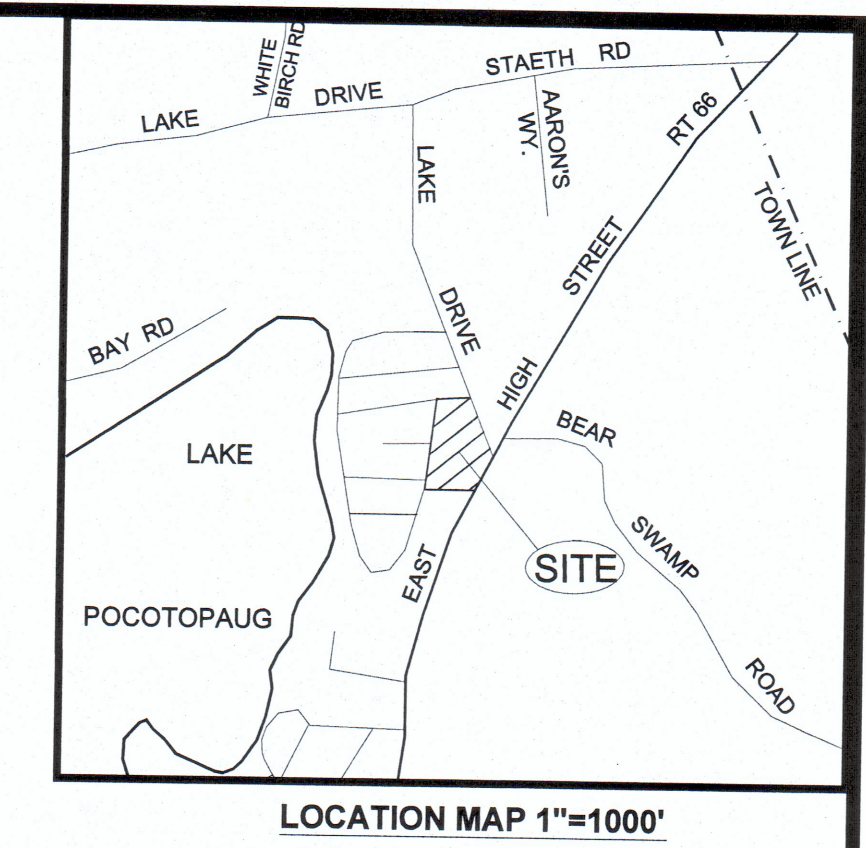


| SEQUENCE OF CONSTRUCTION | TYPICAL CONSTRUCTION SCHEDULE |
|--|-------------------------------|
| | START COMPLETE |
| INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND INSTALL TEMPORARY EROSION CONTROLS, HAY BALES & SILT FENCING PRIOR TO ANY SOIL DISTURBANCE. | MARCH 15th - MARCH 20th, 2020 |
| ESTABLISH STAGING AREA FOR CONSTRUCTION EQUIPMENT. | MARCH 20th - MARCH 21st |
| CUT VEGETATION TO THE LIMITS OF DISTURBANCE, REMOVE STUMPS AND PROPERLY DISPOSE OFF SITE. STRIP TOPSOIL AND STOCKPILE ON SITE. | MARCH 23rd - APRIL 3rd |
| INSTALL THE STONE DRIVEWAY, PARKING AREA, AND EXCAVATE FOR THE NEW BUILDING FOUNDATION AND DRILL THE WELL. BEGIN CONSTRUCTION OF THE HOUSE. | APRIL 3rd - APRIL 24th |
| INSTALL THE SEWER CONNECTION AND ROOF WATER DRAINS. | MAY 13th - MAY 29th |
| INSPECT AND MAINTAIN IN GOOD CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION AND MODIFY AS NEEDED OR AS INSTRUCTED BY THE TOWN WEO / ZEO. | MARCH 15th - NOV. 2nd |
| FINISH GRADE THE PARKING AREA, SHOULDER, AREAS AROUND BUILDING. FINAL GRADE ALL DISTURBED AREAS, PLACE TOPSOIL, SEED, MULCH AND STABILIZE THE SITE. | AUGUST 28th - SEPT. 16th |
| FINISH CONSTRUCTION OF THE HOUSE. | MARCH 23rd - SEPT. 23rd |
| ENSURE PERMANENT STABILIZATION OF ALL DISTURBED AREAS INCLUDING ALL LANDSCAPING REQUIREMENTS. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE PERMANENT STABILIZATION OF THE SITE HAS OCCURRED. | NOV. 1st, 2020 |

EROSION & SEDIMENTATION CONTROL NOTES

- PRIOR TO THE START OF CONSTRUCTION, HAY BALES AND/OR SILT FENCES SHOWN ON THIS DRAWING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS OUTLINED IN "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002" AND THIS SITE PLAN.
- AT THE REQUEST OF THE TOWN ENGINEER OR ZONING ENFORCEMENT OFFICER, ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED TO ADDRESS FIELD CONDITIONS.
- ALL DISTURBED AREAS SHALL BE TOPSOILED, SEED, FERTILIZED AND MULCHED IN ACCORDANCE WITH THE MINIMUM STANDARDS OUTLINED IN "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002" AS FOLLOWS:
 - PERMANENT SEEDING AND PLANTING DATES ARE APRIL 1ST TO JUNE 1ST AND AUG. 15TH TO SEPT. 30TH.
 - TOPSOIL - 4" DEPTH
 - LIME - 45-90 LBS PER 1000 SF
 - FERTILIZER - (10-10-10) 7.5 LBS PER 1000 SF
 - SEEDING - KENTUCKY BLUE GRASS - 2.25
 - CREeping RED FESCUE - 2.25
 - PERENNIAL RYEGRASS - .50
 - MULCH - STRAW/HAY 5.00 LBS PER 1000 SF
- THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THIS PLAN IS:
 - NAME: MIDDLESEX HABITAT FOR HUMANITY OF CT c/o MR. CURTIS WEYBRIGHT
 - ADDRESS: 34 SHUNPIKE ROAD CROMWELL, CT 06416
 - TEL #: 860-301-6483



PROJECT DESCRIPTION

THE PROJECT PROPOSES TO CONSTRUCT A NEW 1,162 SF SINGLE STORY DWELLING IN THE VICINITY OF THE ORIGINAL STRUCTURE. THE 0.726 ACRE PARCEL WILL BE SERVED BY A NEW ON-SITE WELL AND CONNECTION TO THE MUNICIPAL SEWER SYSTEM. THE EXISTING DRIVEWAY OFF LAKE ROAD WILL BE USED FOR ACCESS TO THIS LOT.

MAP REFERENCE

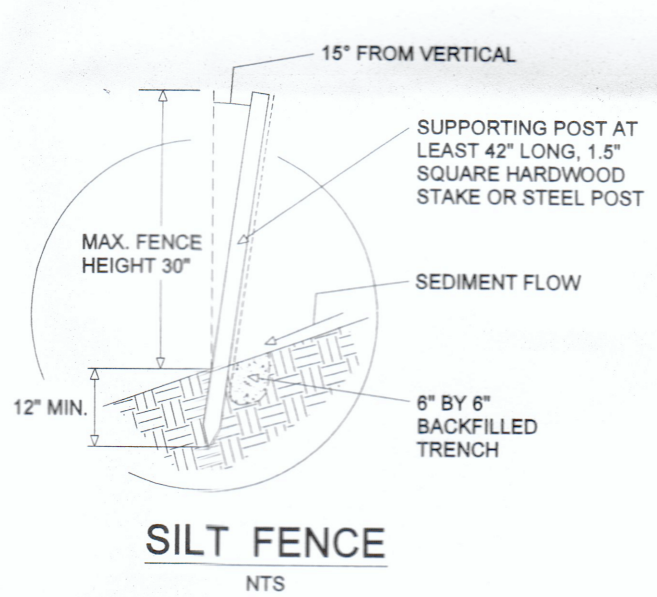
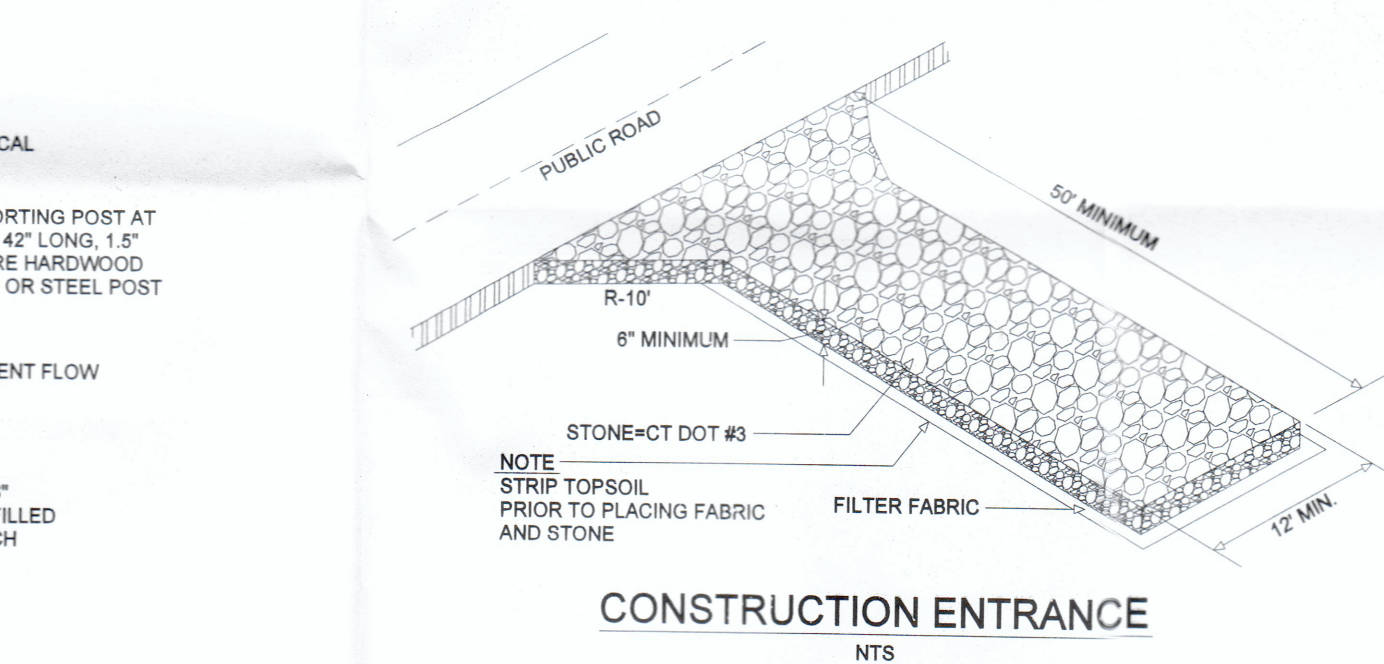
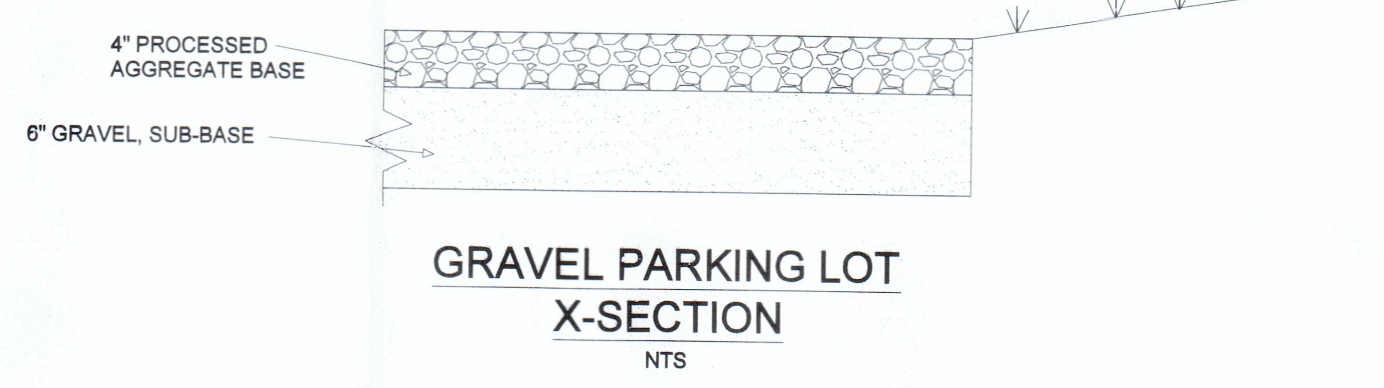
- PROPERTY & BOUNDARY SURVEY PREPARED FOR MIDDLESEX HABITAT FOR HUMANITY OF CT, PROPERTY KNOW AS #240 LAKE DRIVE, EAST HAMPTON, CONNECTICUT, SCALE: 1"=20', DATE: SEPTEMBER 28, 2018, PREPARED BY JACKOWIAK LAND SURVEYING.
- PREPARED BY JACKOWIAK LAND SURVEYING.
- CAPPED SEWER LOCATION BASED ON SURVEY SCHEDULES PROVIDED BY THE EAST HAMPTON WATER POLLUTION CONTROL AUTHORITY DATED SEPTEMBER 26, 2008 AND JUNE 6, 2017.

ZONING DATA

| ZONE: R-1 LAKESIDE & VILLAGE RESIDENTIAL | REQUIRED | PROPOSED |
|--|----------------|--|
| MINIMUM LOT AREA w/ SEWER | 20,000 SF | EXISTING-0.726 ACRE |
| MINIMUM LOT FRONTAGE | 100 | EXISTING PARCEL |
| MAXIMUM LOT COVERAGE | 20% (6,325 SF) | (PRIOR HOUSE 2,150 SF) NEW 1,340 SF (4.2%) |
| BUILDING SETBACKS- FRONT | 25 FT | 56.8 FT |
| SIDE | 15 FT | 62.2 FT |
| REAR | 25 FT | 34.8 FT |
| MAXIMUM BUILDING HEIGHT- | 30 FT | 20 FT |

SITE DEVELOPMENT NOTES

- ALL BURIED UTILITY LOCATIONS ON THIS PLAN ARE FROM AS-BUILT DOCUMENTS SUPPLIED BY THE RESPECTIVE UTILITY COMPANY. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY EACH UTILITY PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- THE LOCATION AND INVERT ELEVATION OF THE CAPPED SEWER LATERAL SHALL FIELD VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION OF THE DWELLING.
- FOR LOCATIONS OF ALL UNDERGROUND UTILITIES INQUIRE AT THE APPROPRIATE UTILITY AND CALL BEFORE YOU DIG AT 1-800-922-4455.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDING THE TEMPORARY CONSTRUCTION ENTRANCE AS SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO DISTURBANCE OF THE NATURAL GROUND CONDITIONS.
- THERE IS A DRAINAGE SWALE/INTERMITTENT WATERCOURSE LOCATED WITHIN 100 FEET OF THE PROPOSED CONSTRUCTION ACTIVITIES. THIS WETLAND BOUNDARY SHOWN ON THIS PLAN WAS FLAGGED BY RICHARD SNARSKI ON AUGUST 13, 2019 AND FIELD SURVEYED BY JACKOWIAK LAND SURVEYING.
- THIS PROPERTY IS LOCATED WITHIN THE WATERSHED OF LAKE POCOTOPAUG.
- THIS PROPERTY IS NOT WITHIN A REGULATED FLOODPLAIN.
- ALL SANITARY SEWER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND REGULATIONS OF THE EAST HAMPTON WATER POLLUTION CONTROL AUTHORITY AS AMENDED.
- NO FUEL TANKS SHALL BE BURIED ON THIS SITE.
- THE SCS SOIL CLASSIFICATIONS ON THIS SITE ARE:
 - 72C NIPMUCK-BROOKFIELD COMPLEX, VERY ROCKY, 3-15 PERCENT SLOPES



LIST OF ABBREVIATIONS

| | | | |
|----------|---------------------------|----------|-------------------------------|
| AC | ACRE | LVC | LENGTH OF VERTICAL CURVE |
| "ADS" | ADVANCED DRAINAGE SYSTEMS | MH | MANHOLE |
| BT | BITUMINOUS | P.A.G. | POINT OF APPLICATION OF GRADE |
| BVC | BEGIN VERTICAL CURVE | P.C.P.T. | POINT OF CURVATURE/TANGENT |
| CABLE TV | CABLE TV | PVC | POLYVINYL CHLORIDE |
| C.B. | CATCH BASIN | P.V.M.T. | PAVEMENT |
| CL | CENTER LINE | RCP | REINFORCED CONCRETE PIPE |
| CMP | CORRUGATED METAL PIPE | RET. | RETAINING WALL |
| C.O. | CLEANOUT TO GRADE | S.F. | SQUARE FEET |
| CONC. | CONCRETE | ST. | STORM SEWER |
| CORR. | CORRUGATED | STA. | STATION |
| DIA. | DIAMETER | S | SANITARY SEWER |
| DIP | DUCTILE IRON PIPE | SWL | 4" SOLID WHITE LINE |
| D.S. | DOWNSPOUT | SYL | 4" SOLID YELLOW LINE |
| EL. | ELEVATION | T/E/CATV | TELEPHONE / ELECTRIC / CABLE |
| EVC | END VERTICAL CURVE | T.F. | TOP OF FRAME |
| EX. | EXISTING | T.O.W. | TOP OF WALL |
| F.B.F. | FINISHED BASEMENT FLOOR | WCP | WATERFILLED CLAY PIPE |
| F.F. | FINISHED FLOOR | W | WATER |
| F.M. | FORCE MAIN | W.V. | WATER VALVE |
| FT. | FEET (') | (N) | NORTH |
| (S) | SOUTH | (S) | SOUTH |
| FL. | FLOW LINE | (E) | EAST |
| G. | GAS | (W) | WEST |
| HDPE | HIGH DENSITY POLYETHYLENE | | |
| HYD. | HYDRANT | | |
| IN. | INCHES (") | | |
| INV. | INVERT | | |

OWNER / APPLICANT
 MIDDLESEX HABITAT FOR HUMANITY OF CT
 c/o MR. CHRIS ARESKO, BUSINESS MGR.
 34 SHUNPIKE ROAD
 CROMWELL, CT 06416

ASSESSORS PARCEL: 09A / 75 / 3B

PROPERTY OF
MIDDLESEX HABITAT FOR HUMANITY OF CT
 #240 LAKE DRIVE
 EAST HAMPTON, CT. 06424

REVISIONS

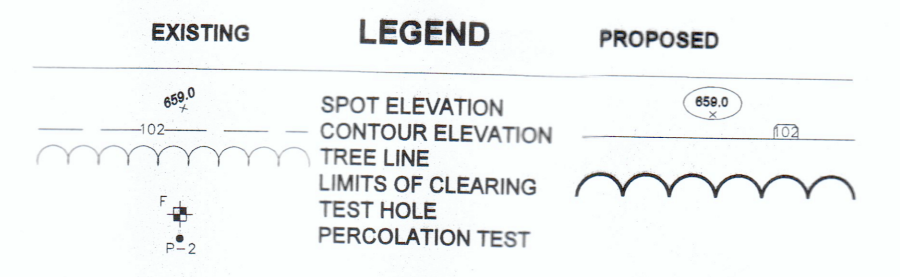
| NO. | DESCRIPTION | BY | DATE |
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| | | | |

Date: JANUARY 10, 2020
 Scale: 1" = 20'

SITE DEVELOPMENT & EROSION CONTROL PLAN

Project No. _____
 Sheet No. 1

FRANK C. MAGNOTTA, P.E. PC
 CONSULTING ENGINEER
 FrankCMagnottaPE@aol.com
 395 MAIN STREET, PORTLAND, CT 06480
 TEL. 860-342-2191



EAST HAMPTON INLAND WETLANDS & WATERCOURSES AGENCY

APPROVAL DATE _____
 EXPIRATION DATE _____

CHAIRMAN _____ DATE _____

I DELINEATED THE INLAND WETLAND & WATERCOURSE BOUNDARY ON THIS PROPERTY. I AM OF THE OPINION THAT THE WETLAND BOUNDARY WHICH I MARKED ON THE PROPERTY IS SHOWN CORRECTLY ON THIS MAP.

DATE _____
 R. Richard Snarski, Certified Soil Scientist #1975