

NEW GASOLINE DISPENSER CANOPY AND PARTIAL BUILDING INTERIOR REMODEL

ROUTE 66 GAS

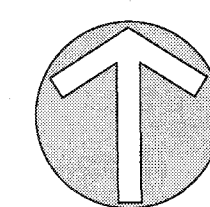
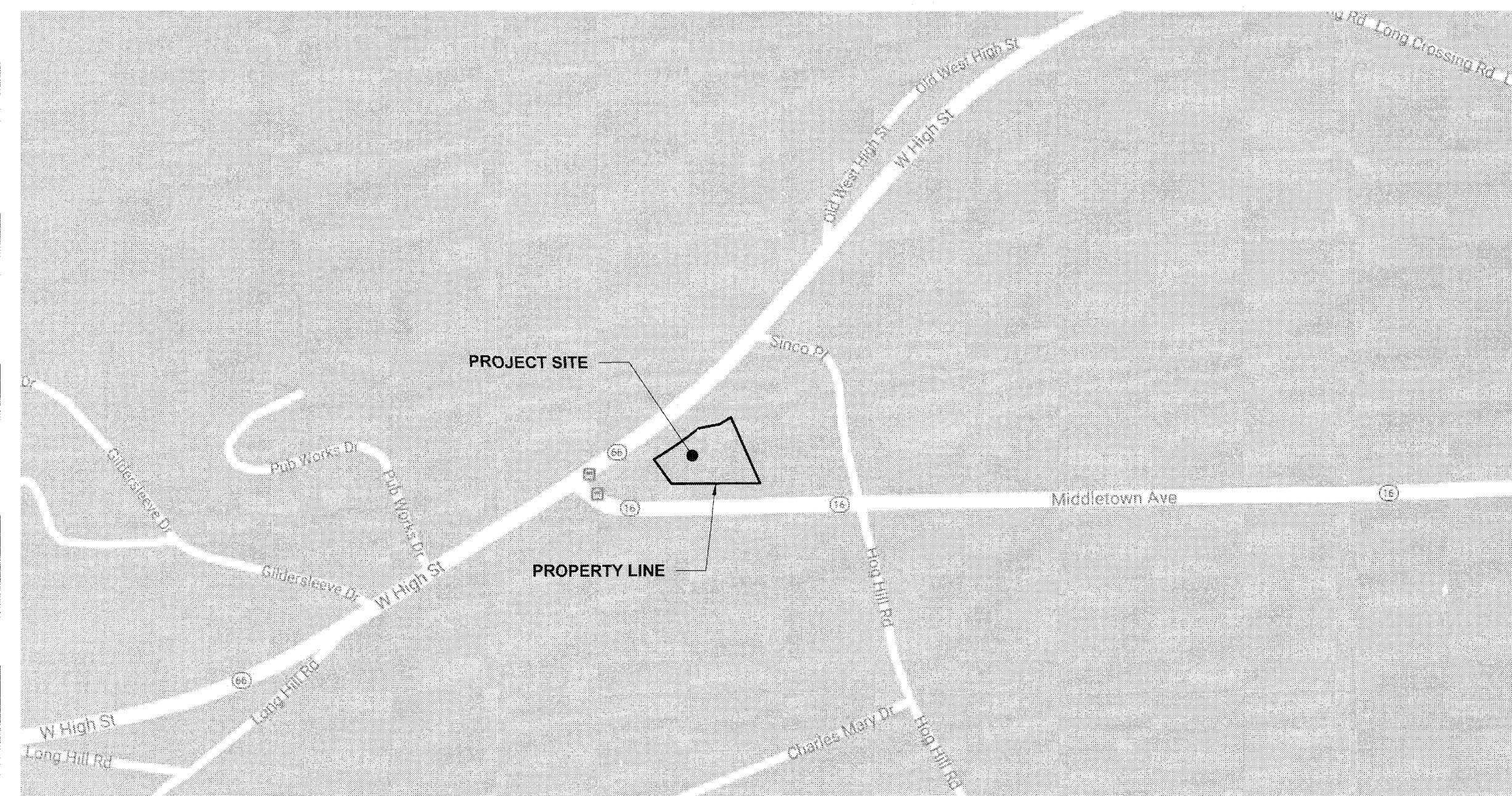
249 WEST HIGH STREET, EAST HAMPTON, CT 06424

OWNER

PHOEBE & VIOLET LLC,
249 WEST HIGH STREET
EAST HAMPTON, CT 06424

PREPARED FOR

PAULA FREE
249 WEST HIGH STREET
EAST HAMPTON, CT 06424

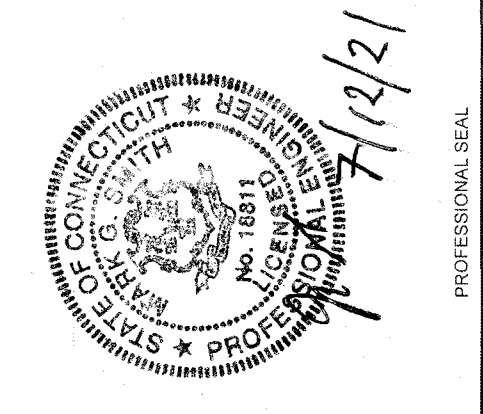


LOCUS MAP

APROX. SCALE: 1" = 300'

SHEET #	SHEET NAME
T-1.0	TITLE SHEET
2	TOPOGRAPHIC SURVEY
L-1	SITE PLAN
L-2	GRADING, UTILITIES AND EROSION CONTROL PLAN
L-3	PLANTING PLAN
L-4	DETAILS
L-5	DETAILS
L-6	SEDIMENTATION AND EROSION CONTROL DETAILS
A 1.0	EXISTING FLOOR PLAN
A 1.1	PROPOSED FLOOR PLAN
A 2.0	CANOPY ELEVATIONS
LO-152759	LIGHTING PROPOSAL

REVISIONS		BY	CKD
NO	DATE	DESCRIPTION	
1	11/18/2020	TOWN COMMENTS/LAYOUT IMPROVEMENTS	SH MS
2	2/2/2021	PLANTING PLAN CHANGES	SH MS
3	4/26/2021	ADD SEWER AND WELL INFO	SH MS
4	5/26/2021	MODIFIED W/ HIGH STREET ACCESS	SH MS



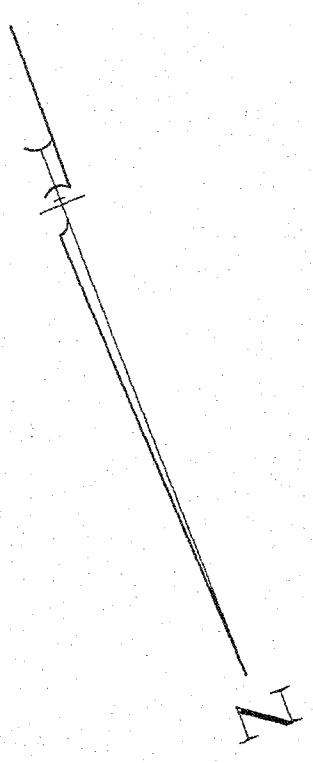
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 ROUTE 66 GAS
 249 WEST HIGH STREET, EAST HAMPTON, CT 06424
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ENVIRONMENTAL SERVICES
 ENGINEERING SERVICES
 67 HALL ROAD
 STURBRIDGE, MA 01560
 PHONE: 774-241-0901
 FAX: 774-241-0906



RECEIVED
7.12.2021
 East Hampton
 Land Use Office

ISSUE DATE: 06/20/2018
DRAWN BY: SH CHECKED BY: MS
SCALE:
PROJECT NO.: 2017-194
SHEET NAME: TITLE SHEET
SHEET NO.: T-1.0



HOG HILL RD.
STOP SIGN
ST SIGN
CL&P #1377
ER

SINCO DR.

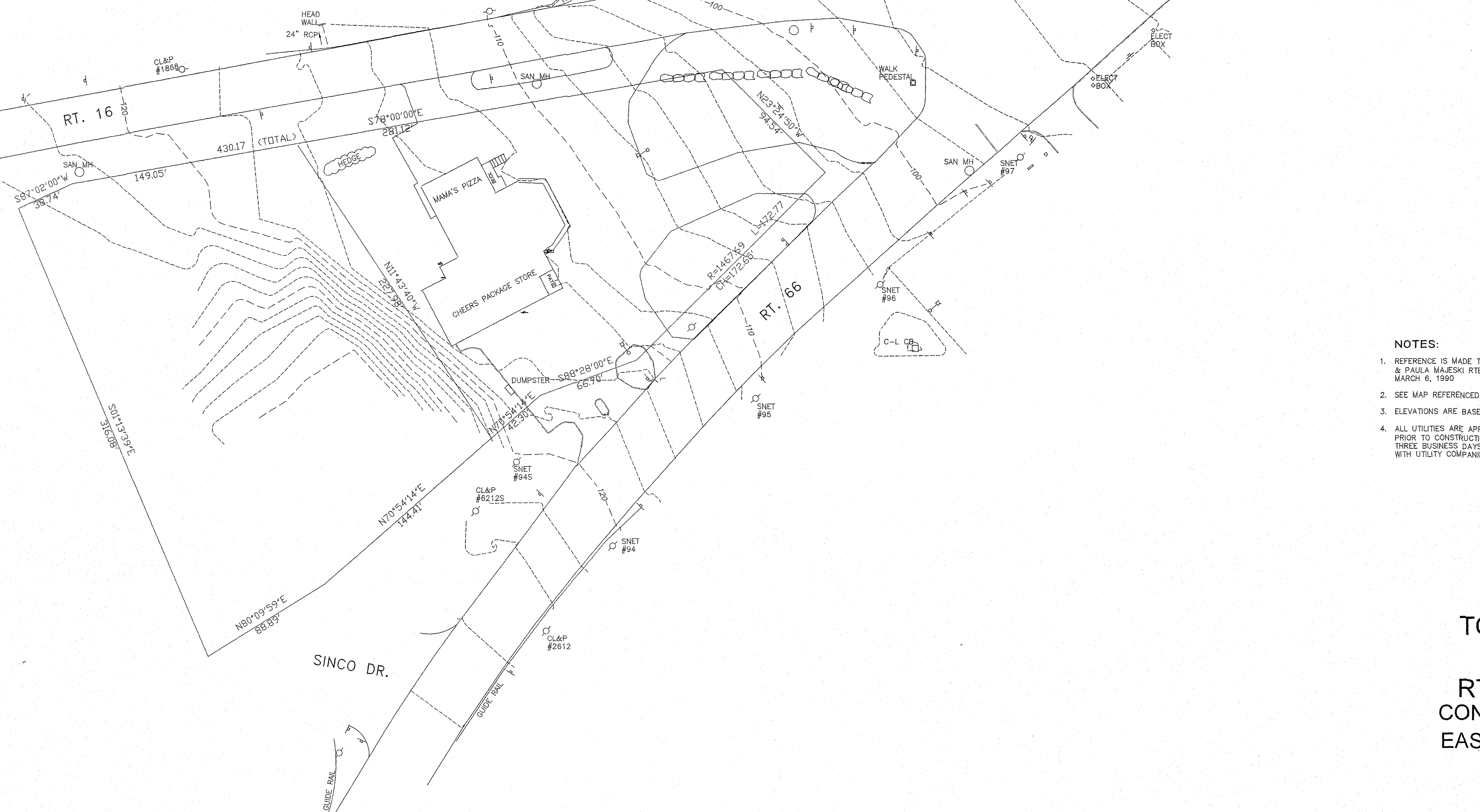
RT. 16

RT. 66

RT. 66

SINCO DR.

- LEGEND**
- MANHOLE
 - ⊢ SIGN
 - CATCH BASIN
 - UTILITY POLE
 - - - EXISTING GRADE
 - CB CATCH BASIN
 - MH MANHOLE
 - SAN SANITARY SEWER



- NOTES:**
1. REFERENCE IS MADE TO A MAP TITLED: "BOUNDARY SURVEY OF PROPERTIES OF STEPHEN & PAULA MAJESKI RTE. 16 & RTE. 66 EAST HAMPTON CONNECTICUT" SCALE 1"=40' DATE MARCH 6, 1990
 2. SEE MAP REFERENCED IN NOTE 1 FOR A-2 BOUNDARY INFORMATION.
 3. ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
 4. ALL UTILITIES ARE APPROXIMATE AND ARE TO BE VERIFIED (LOCATION AND ELEVATION) PRIOR TO CONSTRUCTION. NOTIFY "CALL BEFORE YOU DIG AT 1-800-922-4455 AT LEAST THREE BUSINESS DAYS PRIOR TO EXCAVATION. COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY COMPANIES.

REFERENCE NOTE

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998.

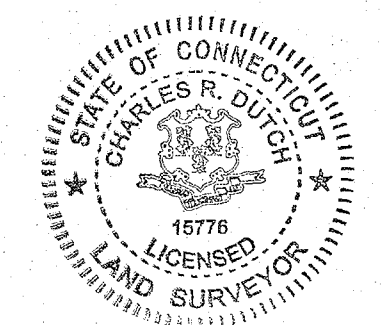
VERTICAL DATUM TO T-2 STANDARDS

THE BOUNDARY DETERMINATION CATEGORY IS "DEPENDENT SURVEY".

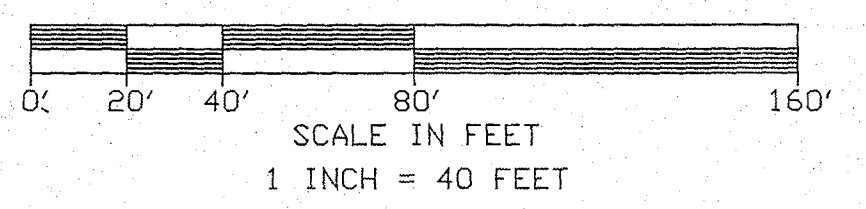
HORIZONTAL ACCURACY CONFORMS TO "A-2" STANDARDS.

"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON."

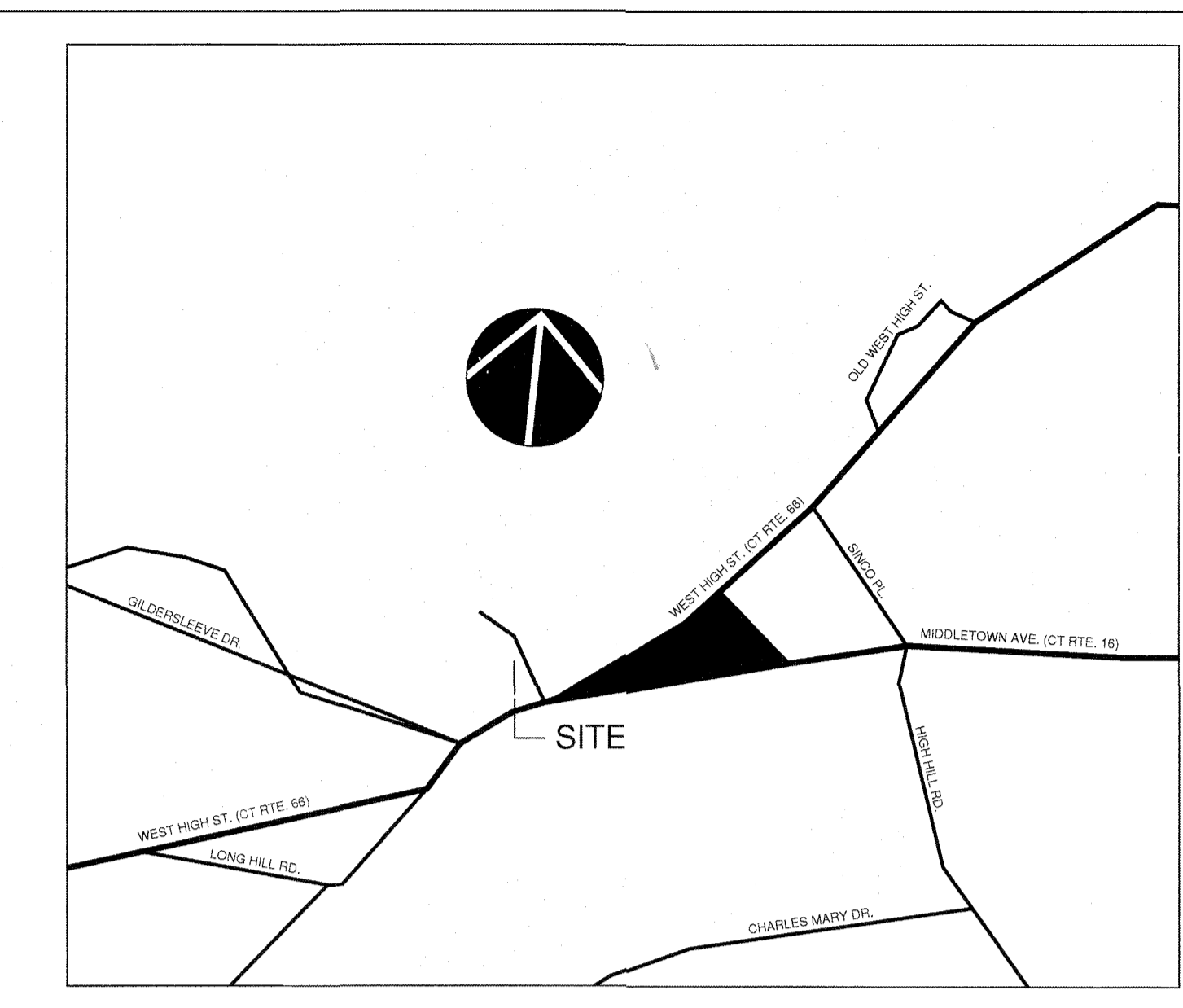
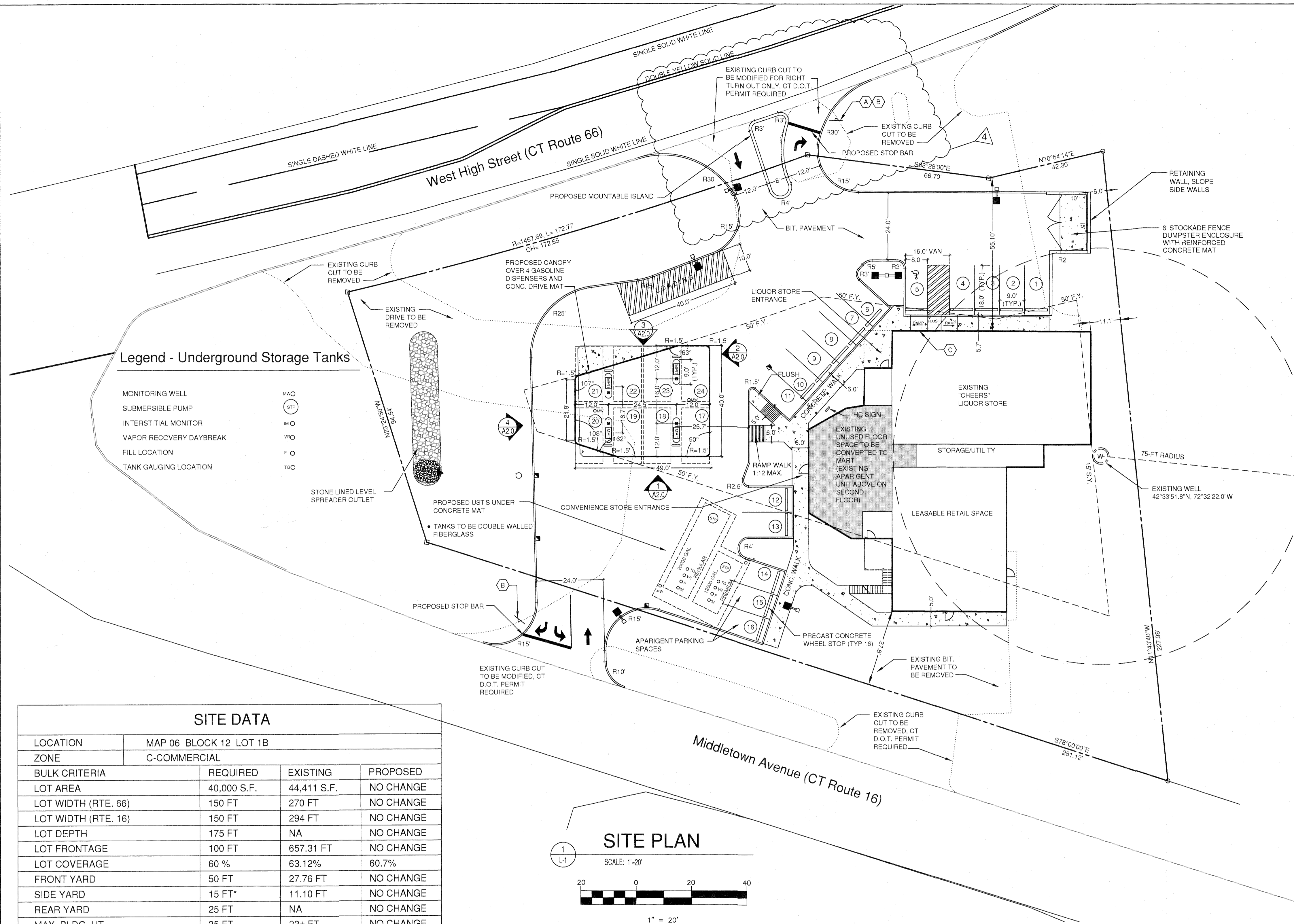
Charles R. Dutch
CHARLES R. DUTCH, L.S. LICENSE NUMBER 15776



TOPOGRAPHIC SURVEY
PREPARED FOR
RTE. 66 EXPRESS MART
CONNECTICUT RTE. 16 & RTE. 66
EAST HAMPTON, CONNECTICUT
DATE:06-15-04



DUTCH & ASSOCIATES
CIVIL ENGINEERS & LAND SURVEYORS
392 SOUTH MAIN STREET, COLCHESTER, CONN.



LOCUS
SCALE: N.T.S.

GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
- MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 817A AND TOWN OF EAST HAMPTON STANDARD SPECIFICATIONS.
- CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
- NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS A MIDDLETOWN AVENUE AND WEST HIGH STREET.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
- LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- STORAGE AREAS FOR CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE AS APPROVED BY THE TOWN OF EAST HAMPTON.
- AT ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE SIDEWALK ABOUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING BITUMINOUS CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
- WHERE LIMIT OF WORK MEETS AN EXISTING BUILDING, IT IS ASSUMED THE WORK LIMIT CONTINUES AT THE BUILDING FACE.
- ALL NEW WORK SHALL BE STAKED-OUT PRIOR TO CONSTRUCTION. OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
- CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
- MANUFACTURED ITEMS SHALL ALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
- PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
- PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, BUILDING WALLS, SITE WALLS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, AND ANY OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25'.

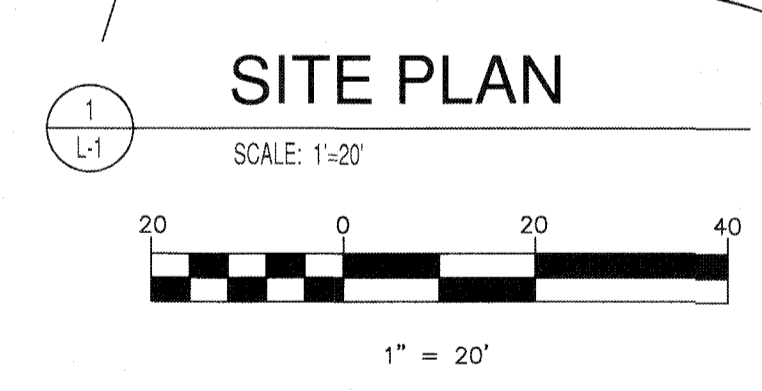
NOTE:
OPERATION HOURS FOR THE FUELING STATION TO BE 24-HRS.

SITE DATA			
LOCATION	MAP 06 BLOCK 12 LOT 1B		
ZONE	C-COMMERCIAL		
BULK CRITERIA	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 S.F.	44,411 S.F.	NO CHANGE
LOT WIDTH (RTE. 66)	150 FT	270 FT	NO CHANGE
LOT WIDTH (RTE. 16)	150 FT	294 FT	NO CHANGE
LOT DEPTH	175 FT	NA	NO CHANGE
LOT FRONTAGE	100 FT	657.31 FT	NO CHANGE
LOT COVERAGE	60 %	63.12%	60.7%
FRONT YARD	50 FT	27.76 FT	NO CHANGE
SIDE YARD	15 FT*	11.10 FT	NO CHANGE
REAR YARD	25 FT	NA	NO CHANGE
MAX. BLDG. HT.	35 FT	23± FT	NO CHANGE

* PER VARIANCE 9/20/83

PARKING CALCULATIONS

RETAIL = 2 SPACES PER 1,000 SF GFA	
RESIDENTIAL = 2 SPACES PER HOUSING UNIT	
LIQUOR STORE = $2 \times \frac{3,591 \text{ SF}}{1,000}$	7.182
CONVENIENCE STORE = $2 \times \frac{1,295 \text{ SF}}{1,000}$	2.59
AREA TO BE LEASED = $\frac{2 \times 2,000 \text{ SF}}{1,000}$	4.00
APARIGENT =	2.00
TOTALS	15.77
	REQUIRED 16.00
	PROVIDED 24.00



Legend

Existing	Proposed
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —
— — — — —	— — — — —

SIGNAGE LEGEND

- (A) RIGHT TURN ONLY
- (B) STOP

PLAN REFERENCE

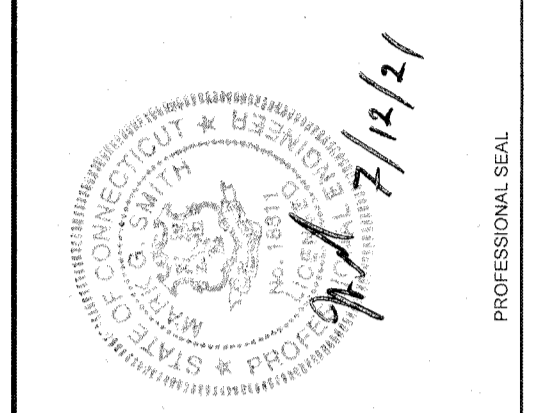
SURVEY INFORMATION FROM PLAN ENTITLED: "TOPOGRAPHIC SURVEY", PREPARED FOR RT 66 EXPRESS MART, CONNECTICUT RTE 16 & RTE 66, EAST HAMPTON, CT, SCALE: 1" = 40', DATED: 06/15/04, BY: DUTCH & ASSOCIATES, 392 SOUTH MAIN ST, COLCHESTER, CT

APPROVED BY THE EAST HAMPTON PLANNING & ZONING COMMISSION

FINAL APPROVAL
CHAIRMAN _____ DATE _____

EXPIRATION DATE:

REVISIONS	
NO.	DESCRIPTION
1	11/19/2020 TOWN COMMENTS/LAYOUT IMPROVEMENTS
2	2/2/2021 PLANTING PLAN CHANGES
3	4/26/2021 ADD SEWER AND WELL INFO
4	5/26/2021 MODIFIED W. HIGH STREET ACCESS

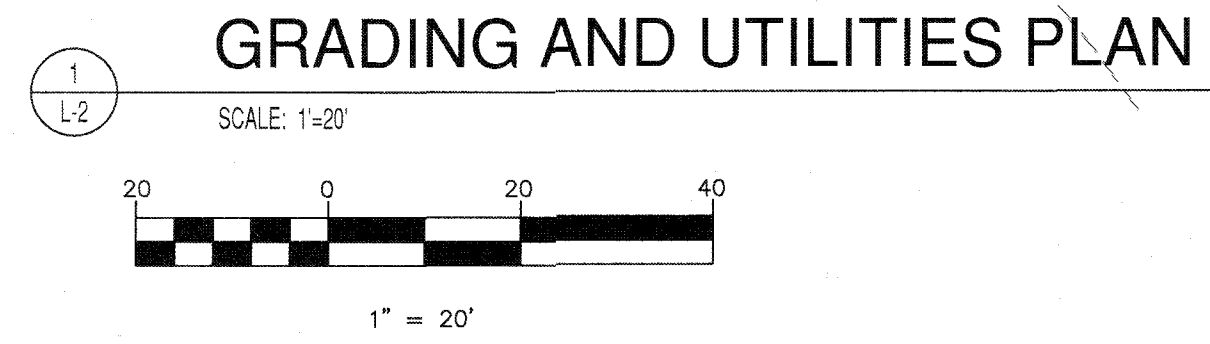
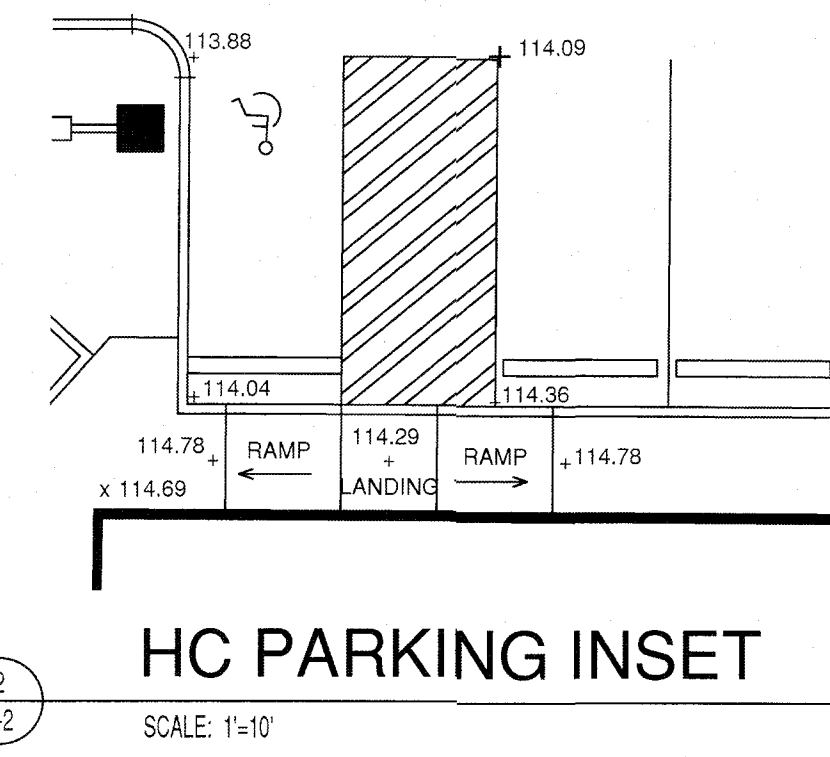
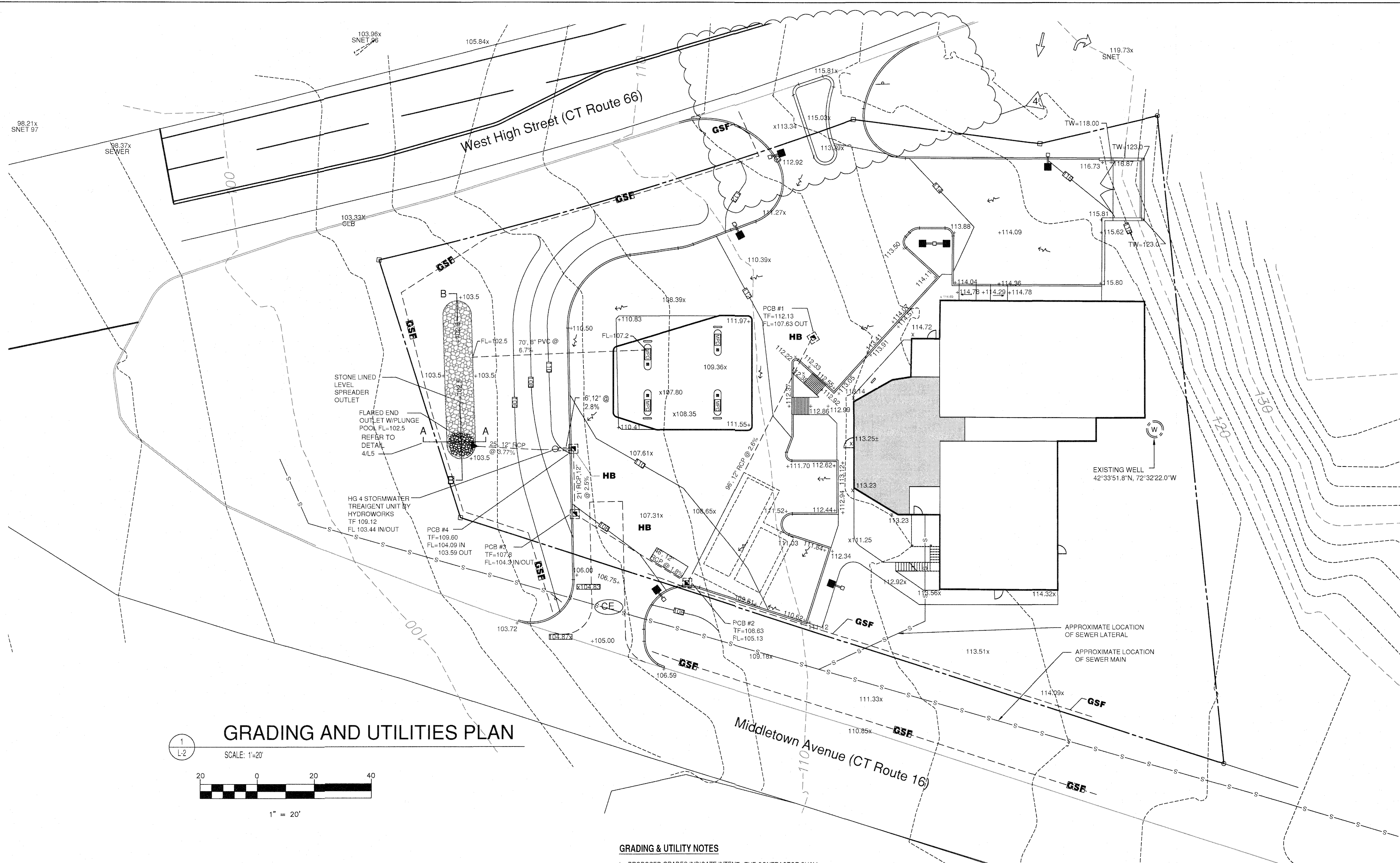


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 EAST HAMPTON, CT 06424

ENVIRONMENTAL SERVICES
 ENGINEERING SERVICES
 67 HALL ROAD
 STURBRIDGE, MA 01560
 PHONE: 774-241-0901
 FAX: 774-241-0906

CMG EST. 2002

ISSUE DATE: 06/20/2018
 DRAWN BY: TPC CHECKED BY: MS
 SCALE: 1"=20'
 PROJECT NO: 2017-184
 SHEET NAME: **SITE PLAN**
 SHEET NO: **L-1**



Legend

Existing	Proposed
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=====	=====
- - - - -	- - - - -
(W)	(W)
o	o
-----	-----
x109.35	+112.23
→	→
■	■
-----	-----
HB	HB
GSF	GSF
CE	CE
FLARED END	FLARED END

GRADING & UTILITY NOTES

- PROPOSED GRADES INDICATE INTENT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS AS REQUIRED TO MEET FIELD CONDITION.
- CONTRACTOR TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. NOTIFY SITE PLANNER OF DISCREPANCIES PRIOR TO BEGINNING WORK.
- EROSION CONTROL FABRIC TO BE USED ON ALL SLOPES GREATER THAN 3:1.
- STRIP AND STOCKPILE TOPSOIL FOR REUSE ON SITE.
- PITCH ALL WALKS AT 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
- ADJUST ALL EXISTING AND PROPOSED UTILITY FRAMES, GRATES, MANHOLE COVERS, VALVE BOXES, ETC. TO BE FLUSH WITH THE PROPOSED SURFACE ELEVATIONS WITHIN THE LIMITS OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING DURING THE EXECUTION OF HIS WORK. THE ACTUAL LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF EXCAVATION ACTIVITIES.
- ACCESS AND UTILITIES TO EXISTING FACILITIES MUST BE MAINTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR MUST MAINTAIN THE FOLLOWING ACCESSES WITHIN THE PROJECT SITE:
 - A. SUFFICIENT TRAVEL LANE(S), APPROVED BY THE ENGINEER, TO ENABLE ALL EMERGENCY VEHICLES TO ACCESS THE ENTIRE PROJECT SITE.
- ALL EXCESS MATERIAL, EXCEPT TOPSOIL, SHALL BE DISPOSED OF OUTSIDE THE PROJECT LIMITS.
- DAMAGE TO EXISTING UTILITIES AS A RESULT OF THE CONTRACTOR'S OR ANY OF HIS SUBCONTRACTOR'S ACTIVITIES DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- WHERE FIELD CONDITIONS CALL FOR ON-SITE ADJUSTMENTS OF FINISHED GRADES, THE ENGINEER SHALL MAKE THE FINAL DETERMINATION.
- ACCESSIBLE ROUTES' SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/2 INCH, AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED.

NOTE:

EXISTING SANITARY SEWER, WATER WELL AND ELECTRICAL SERVICE TO REMAIN

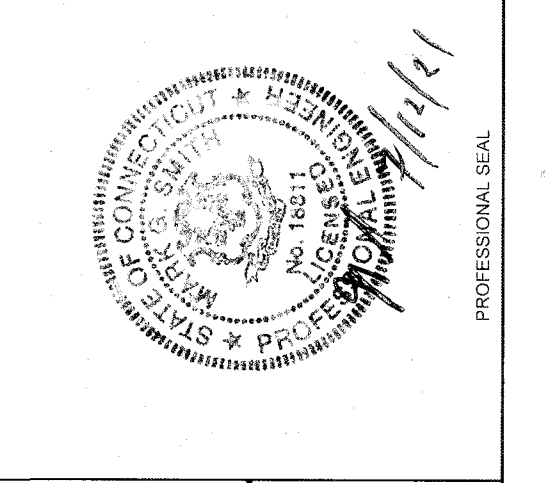
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CHAIRMAN _____ DATE _____
EXPIRATION DATE: _____

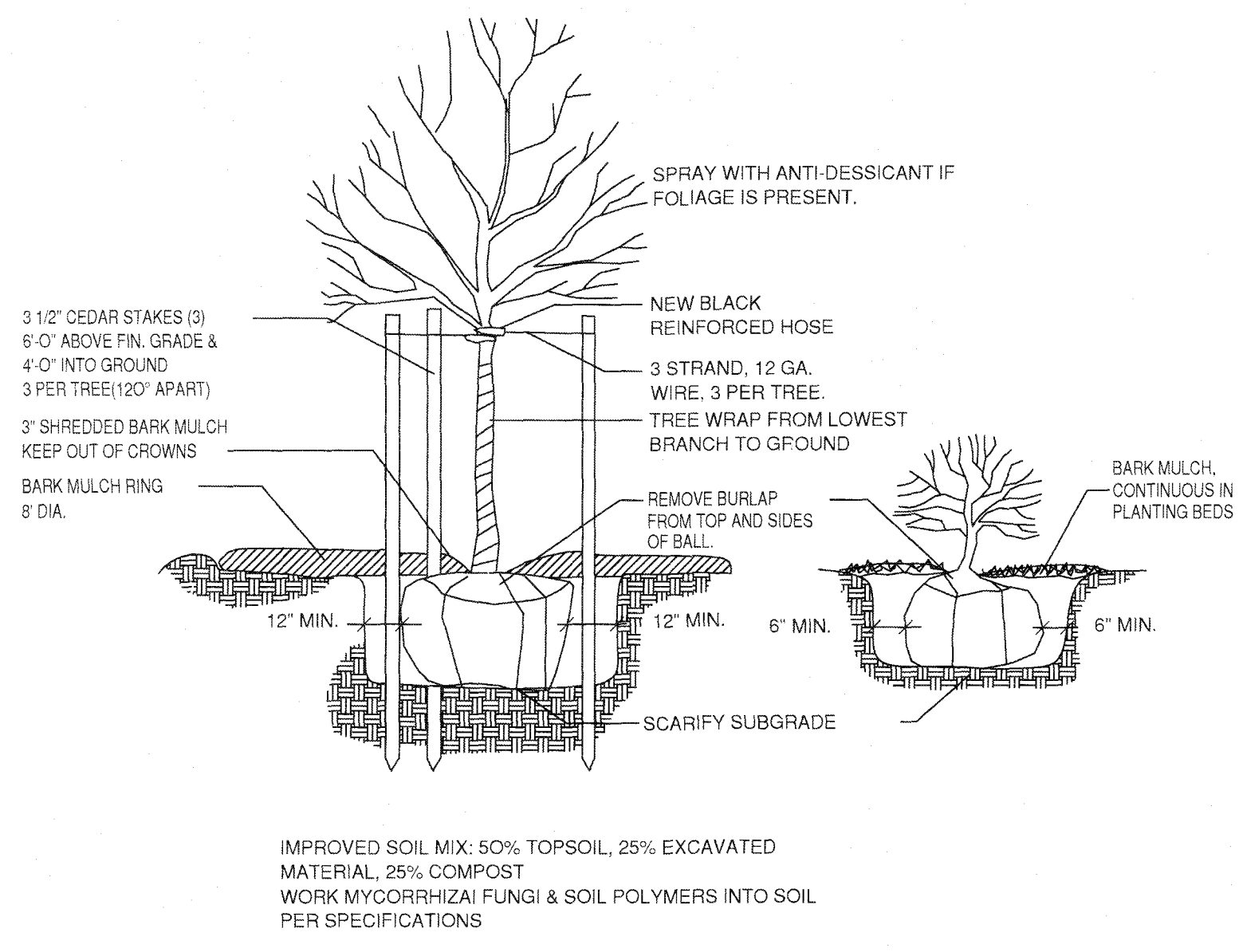
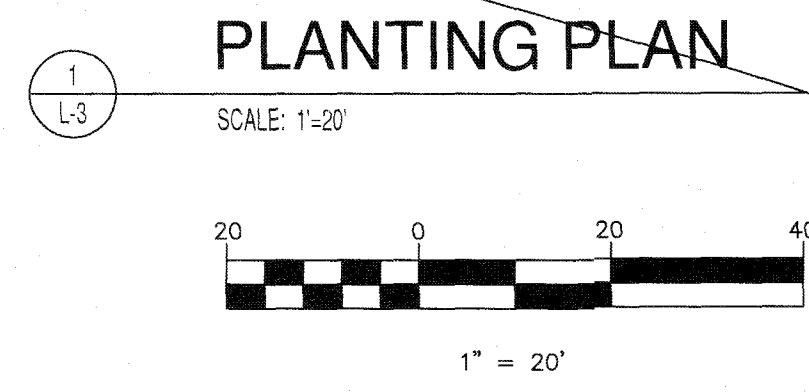
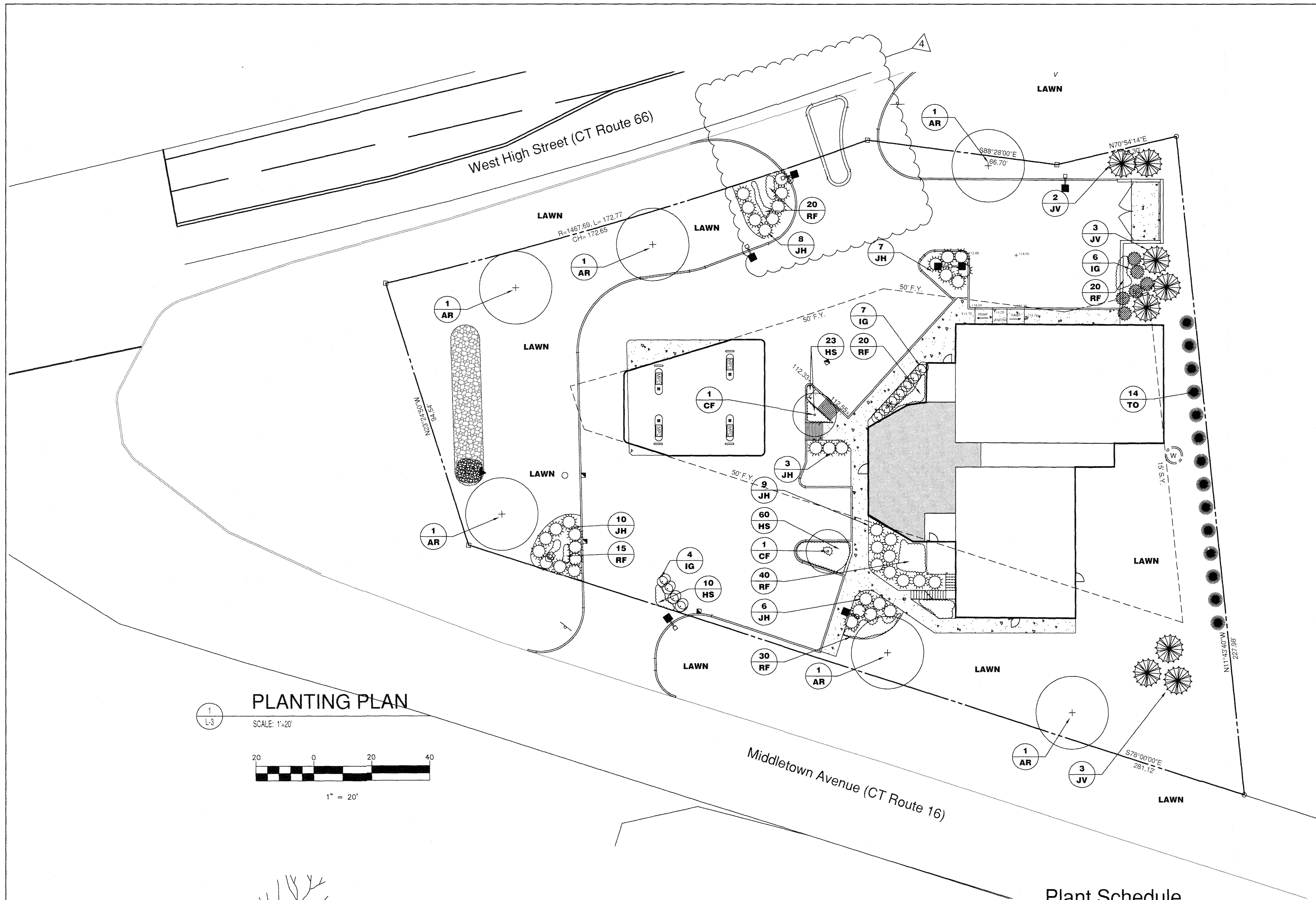
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NO.	DESCRIPTION
1	11/19/2020 TOWN COMMENTS/AYOUT IMPROVEMENTS
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4	5/26/2021 MODIFIED W/ HIGH STREET ADDRESS



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 PHONE: 774-241-0901
 FAX: 774-241-0906

ISSUE DATE: 06/20/2018
 DRAWN BY: TPC CHECKED BY: MS
 SCALE: 1"=20'
 PROJECT NO.: 2017-194
 SHEET NAME: GRADING, UTILITIES AND EROSION CONTROL PLAN
 SHEET NO.: L-2



Planting Notes

- A. 3" of shredded bark mulch is to be added to all proposed plantings. Mulch is to be kept out of plant crowns.
- B. All plant material is to conform to latest A.A.N. standards.
- C. Contractor to guarantee all plant material for one year after date of completion.
- D. All new lawn areas to receive 6" of loam.
- E. Contractor to maintain plant material until final acceptance.
- F. Substitutions permitted only upon written approval of owner's representative.
- G. If a discrepancy exists between the number of plants shown in the plant list and the quantity shown on the plan, the plan governs.
- H. Where a size range is given, at least 50% of the plants provided shall be of the larger size.
- I. Topsoil and seed all areas disturbed by construction activities and not covered by other site improvements.

Plant Schedule

Sym.	No.	Botanical Name	Common Name	Size	Cond.
<u>Deciduous Trees</u>					
AR	6	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	3-3 1/2" Cal.	B&B
CF	2	<i>Cornus florida</i>	Flowering Dogwood	6-8"	B&B
<u>Evergreen Trees</u>					
JV	8	<i>Juniperus Virginianus</i>	Eastern Red cedar	8'-10'	B&B
TO	14	<i>Thuja occidentalis</i> 'Nigra'	Dark American Arborvitea	5'-6"	B&B
<u>Shrubs</u>					
JH	44	<i>Juniperus horizontalis</i> 'Wiltoni'	Blue Rug Juniper	12"-18"	B&B
IG	17	<i>Ilex Glabra</i>	Inkberry	18"-24"	B&B
<u>Perennials</u>					
HS	93	<i>Hemerocallis</i> 'Stele-de-Oro'	Stele de Oro Daylily	5 pint	18" Spacing
RF	145	<i>Rudbeckia fulgida</i> 'Goldsturm'	Blackeyed Susan	5 pint	18" Spacing

2 Planting
L-3 NOT TO SCALE

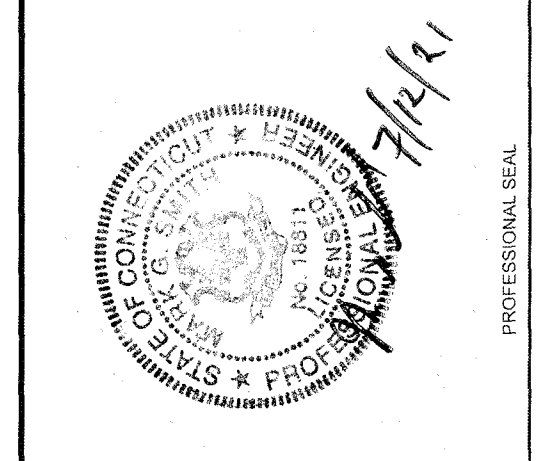
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FINAL APPROVAL
CHAIRMAN _____ DATE _____

EXPIRATION DATE: _____

REVISIONS

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2	2/22/2021	PLANTING PLAN CHANGES	SH	MS
3	4/28/2021	ADD SEWER AND WELL INFO	SH	MS
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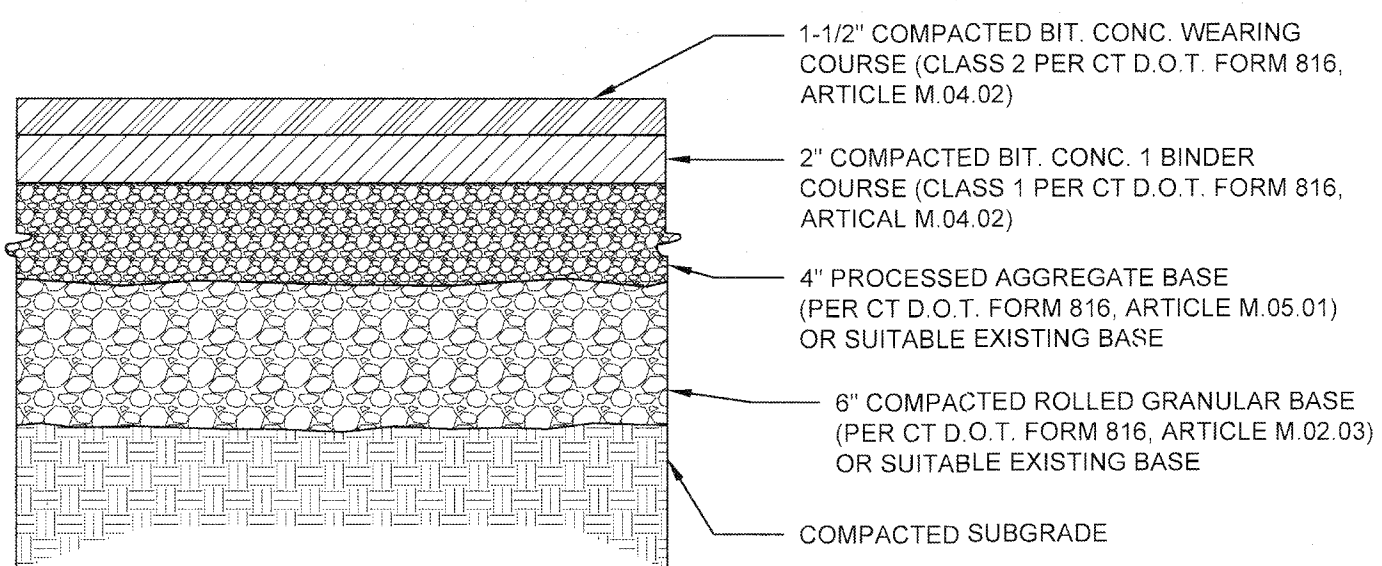
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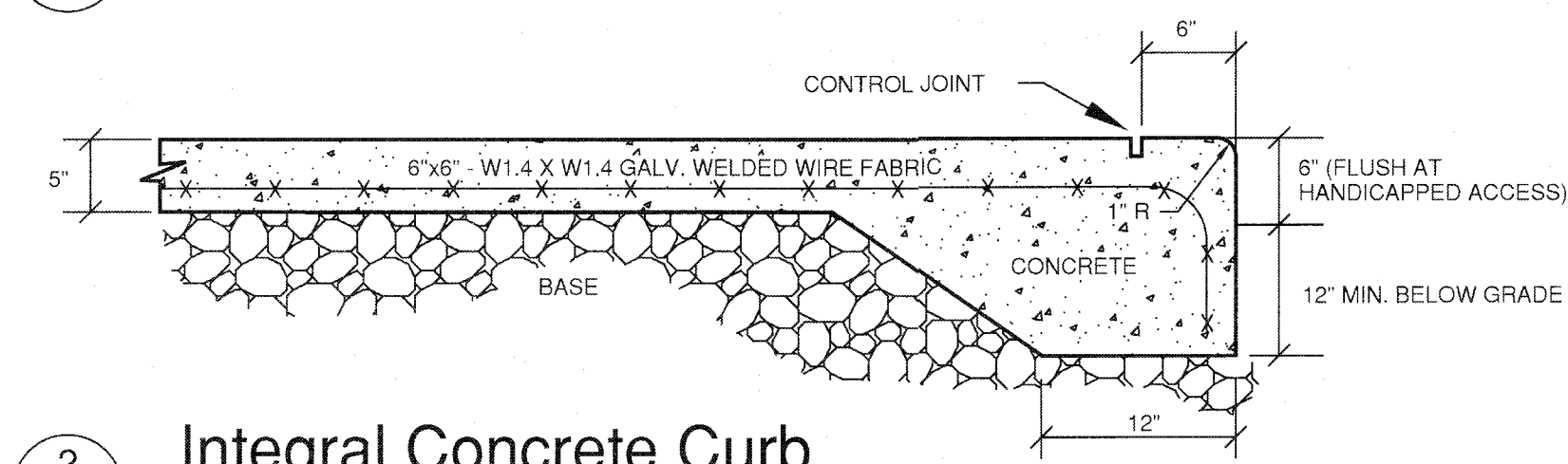
ISSUE DATE: 06/20/2018
 DRAWN BY: TPC CHECKED BY: MS
 SCALE: 1"=20'
 PROJECT NO.: 2017-194

PLANTING PLAN

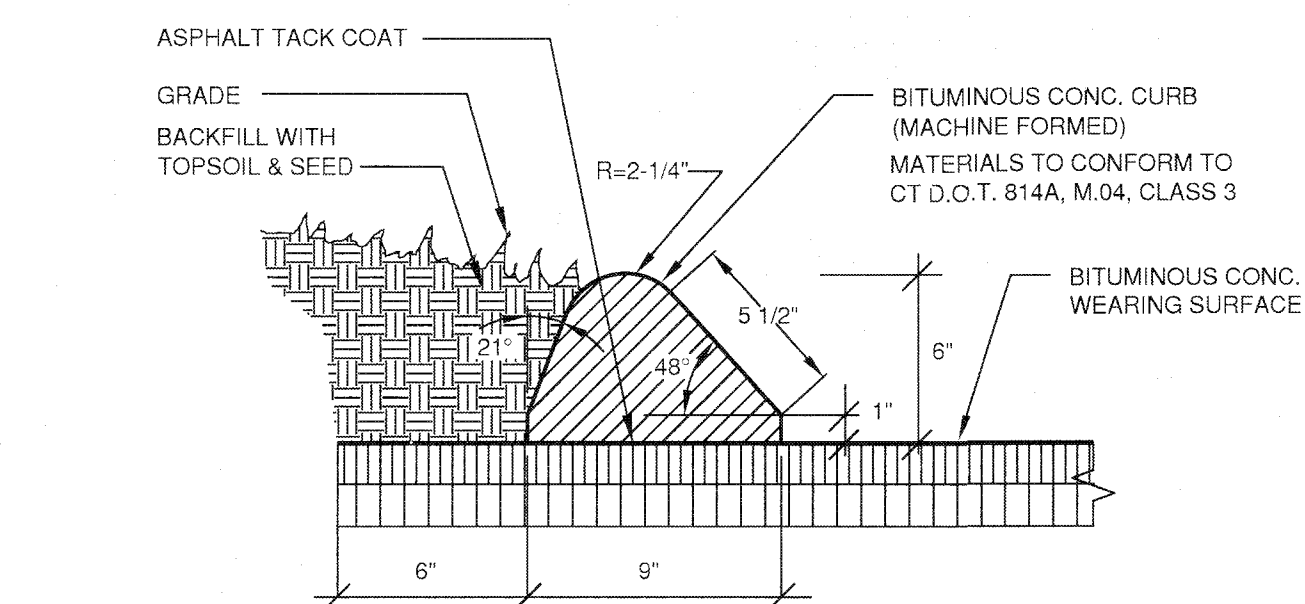
SHEET NO. L-3



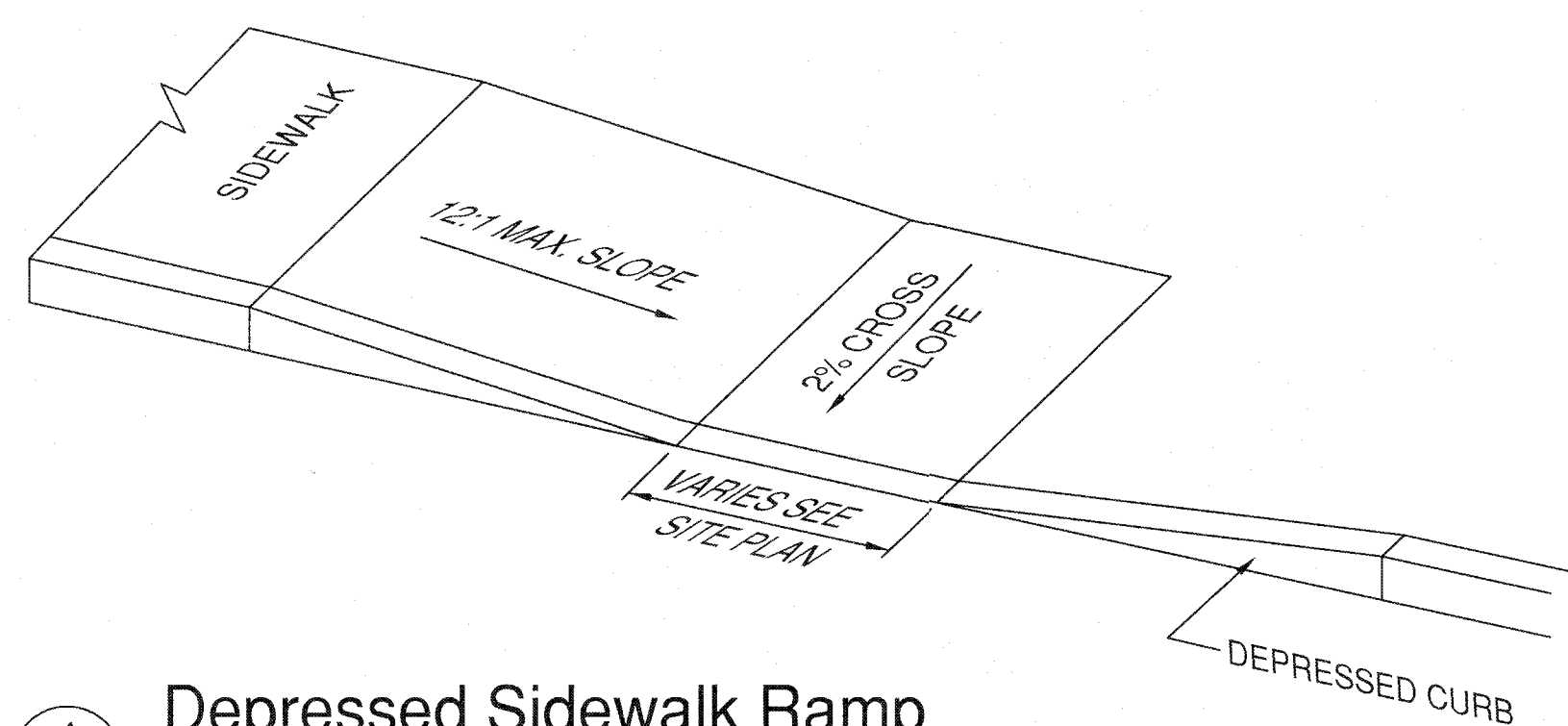
1 Bituminous Concrete Pavement
L-4 NOT TO SCALE



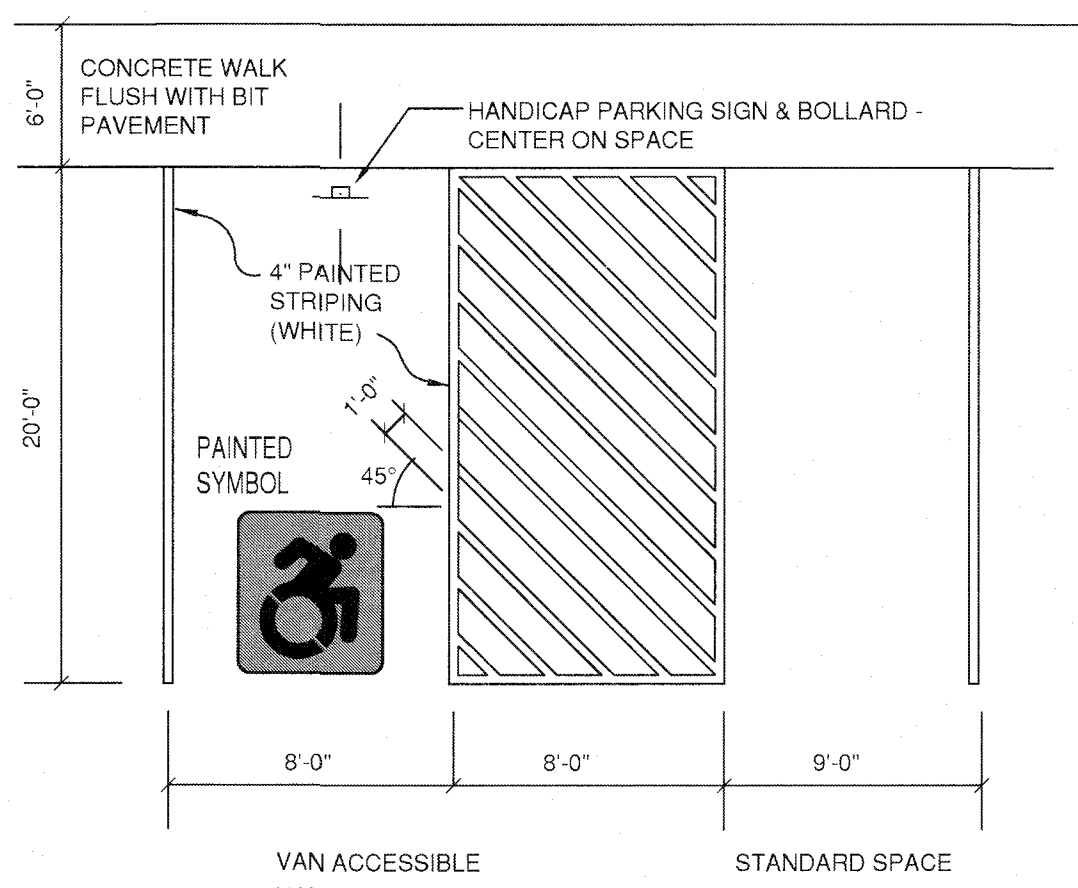
2 Integral Concrete Curb
L-4 NOT TO SCALE



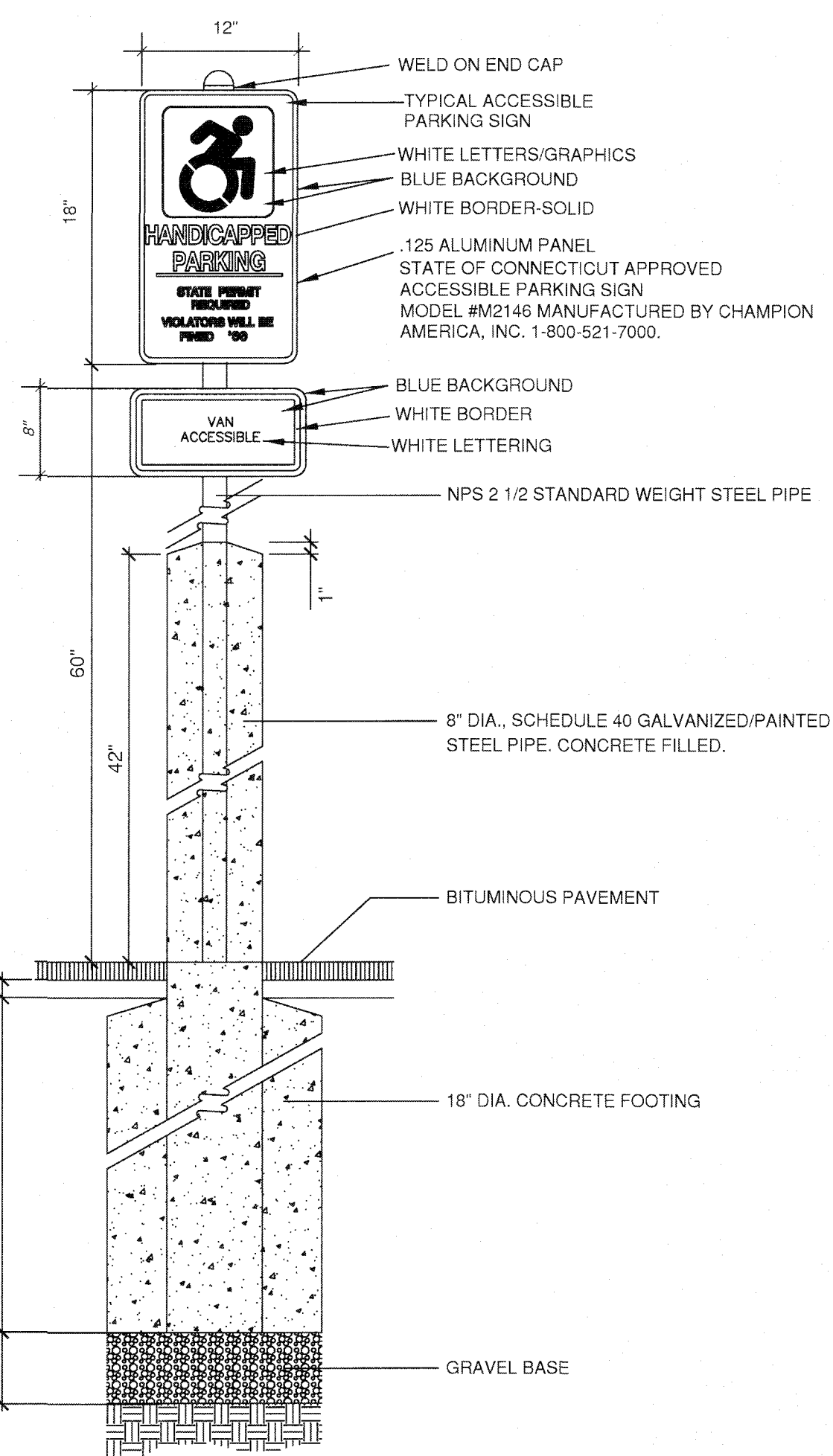
3 6" Bituminous Concrete Lip Curb
L-4 NOT TO SCALE



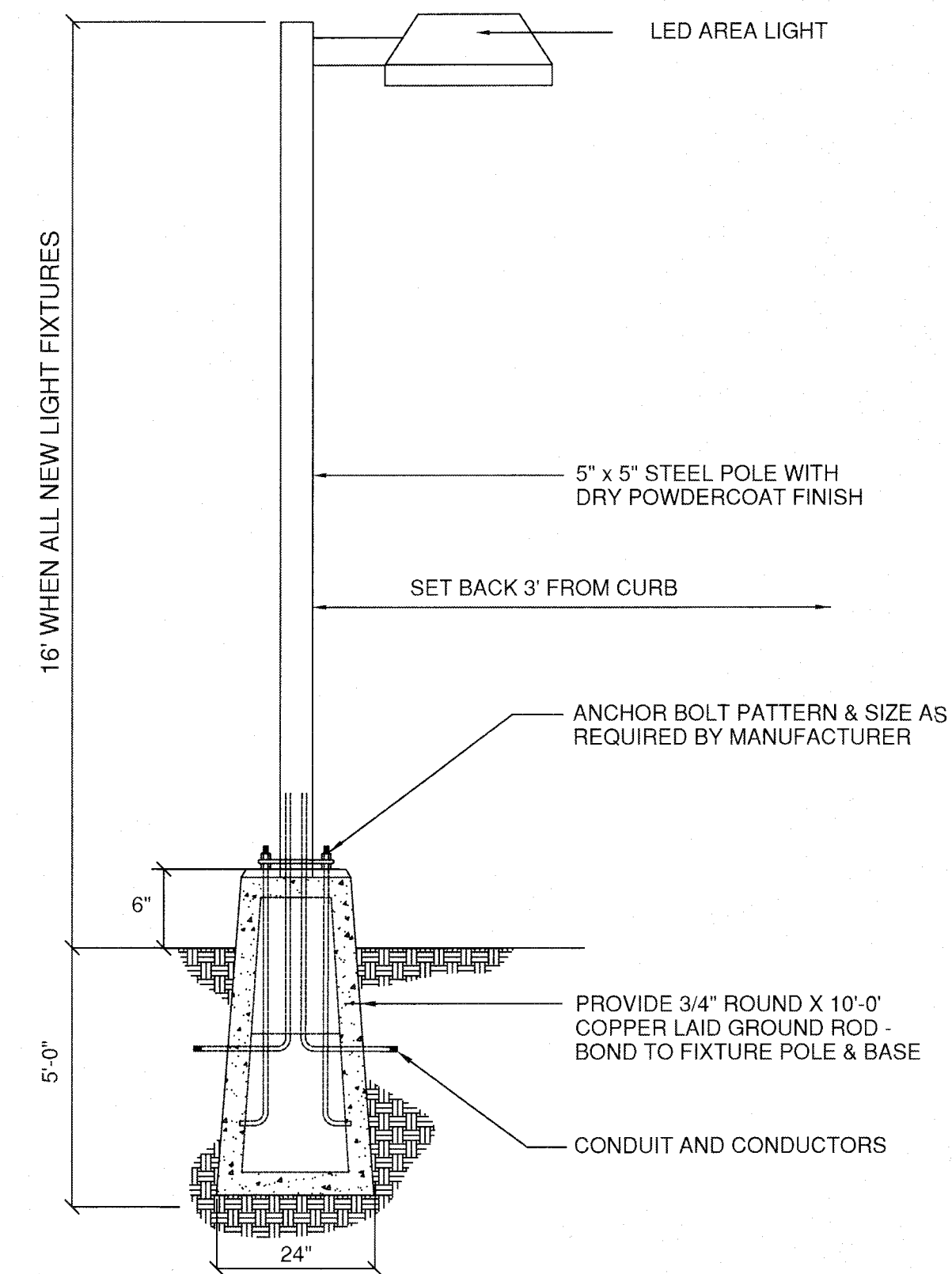
4 Depressed Sidewalk Ramp
L-4 NOT TO SCALE



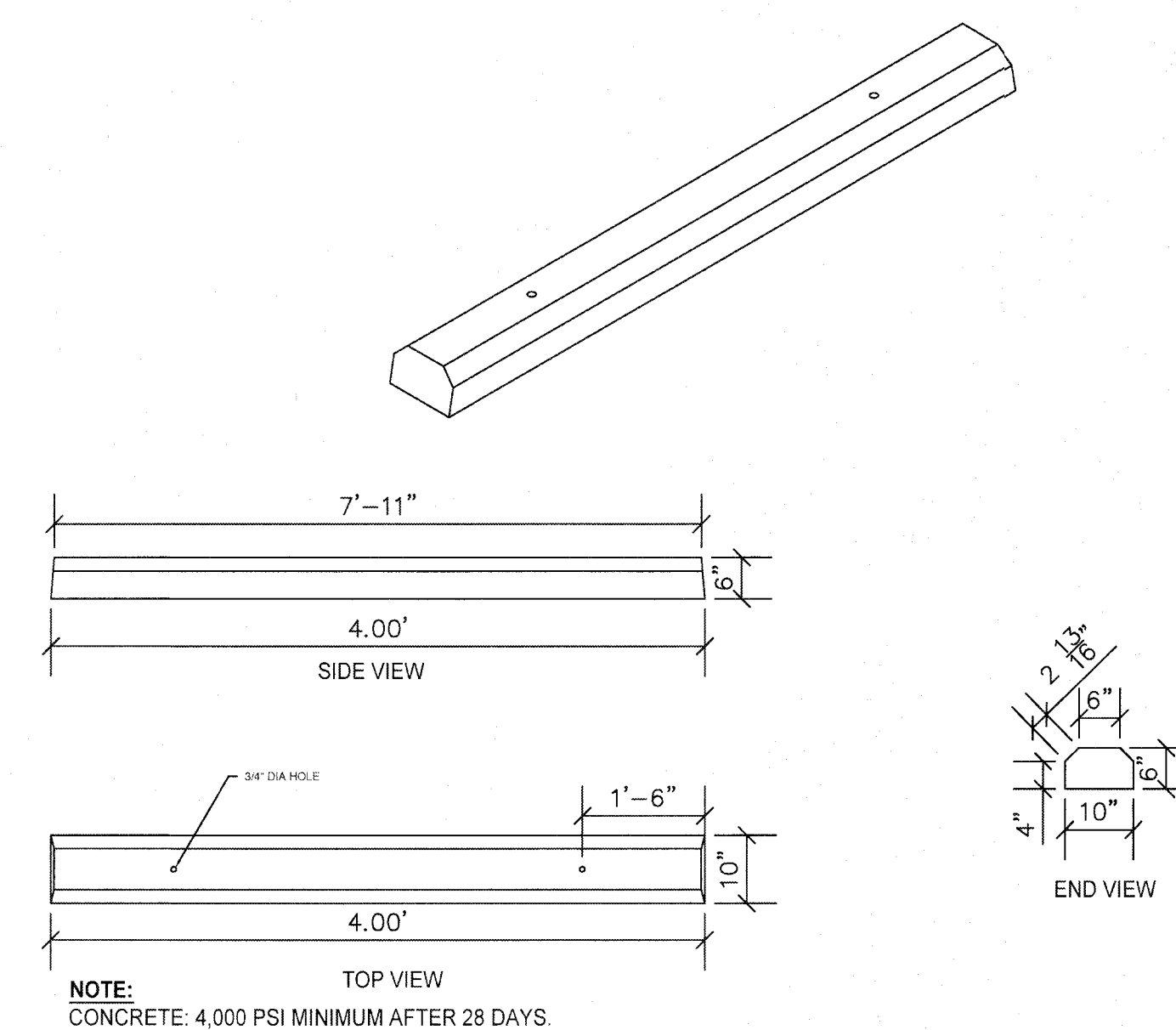
5 Typical Accessible Parking Layout
L-4 NOT TO SCALE



6 Handicap Signage And Bollard
L-4 NOT TO SCALE

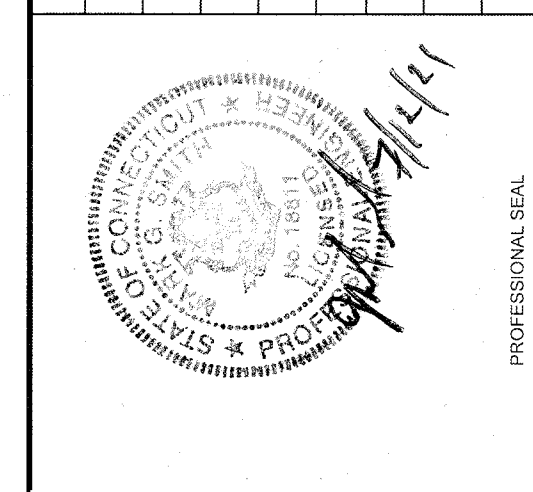


7 Parking Lot Lighting
L-4 NOT TO SCALE



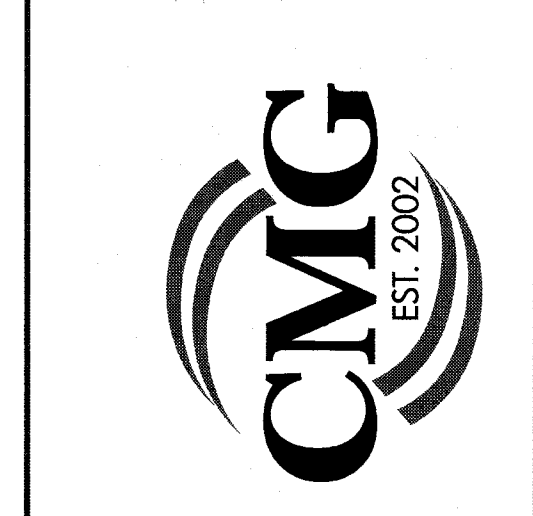
8 Precast Concrete Wheel Stop
L-4 NOT TO SCALE

REVISIONS			
NO.	DATE	DESCRIPTION	BY / CKD
1	11/18/2020	TOWN COMMENTS/LAYOUT IMPROVEMENTS	SH / MS
2	2/2/2021	PLANTING PLAN CHANGES	SH / MS
3	4/28/2021	ADD SENSER AND WELL INFO	SH / MS
4	5/28/2021	MODIFIED W/ HIGH STREET ACCESS	SH / MS

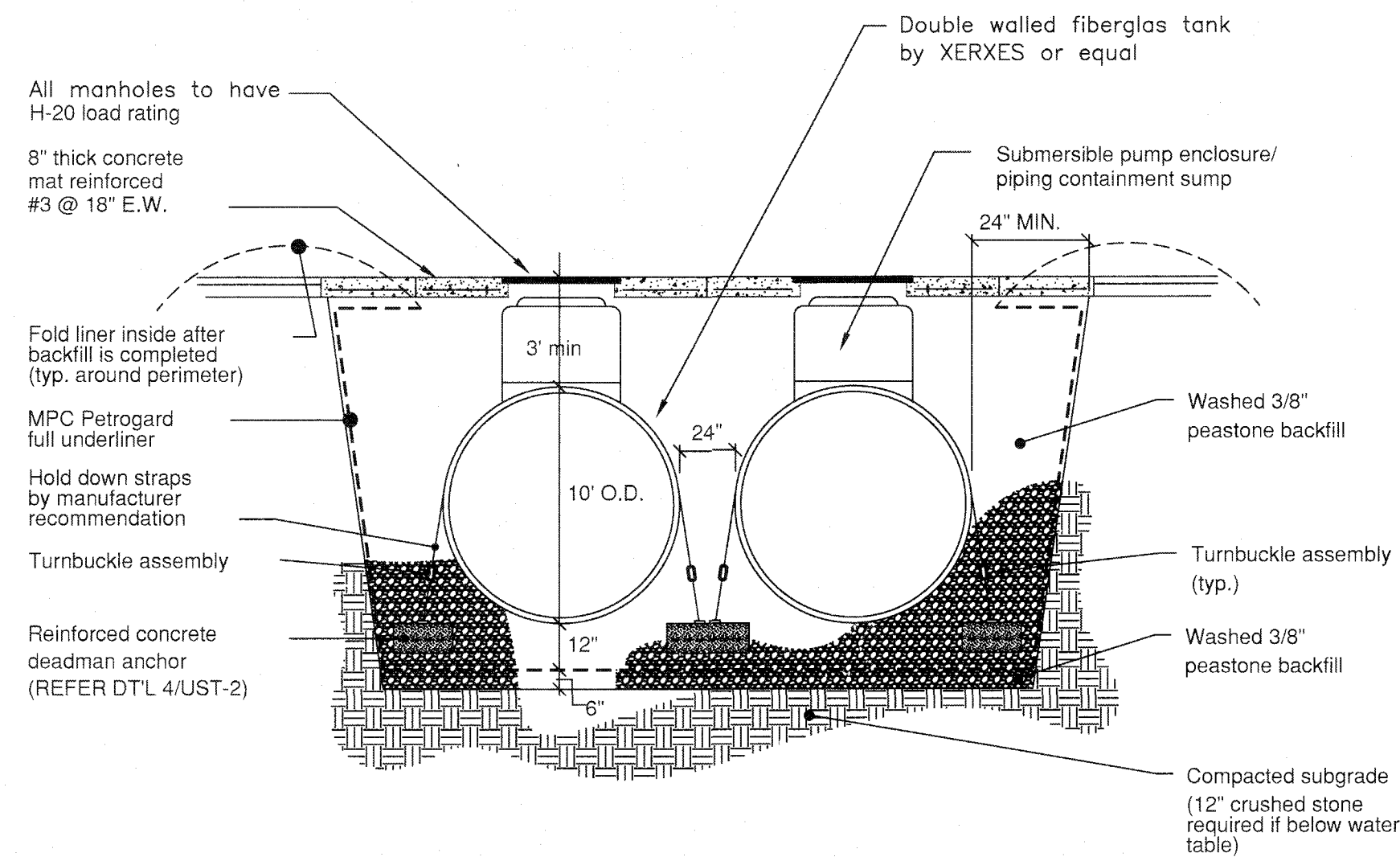


PROJECT: NEW GASOLINE DISPENSER AND PARTIAL BUILDING INTERIOR REMODEL
 ROUTE 66 GAS
 249 WEST HIGH STREET, EAST HAMPTON, CT 06424
 PREPARED FOR: PHOEBE & VIOLET LLC
 249 WEST HIGH STREET
 EAST HAMPTON, CT 06424

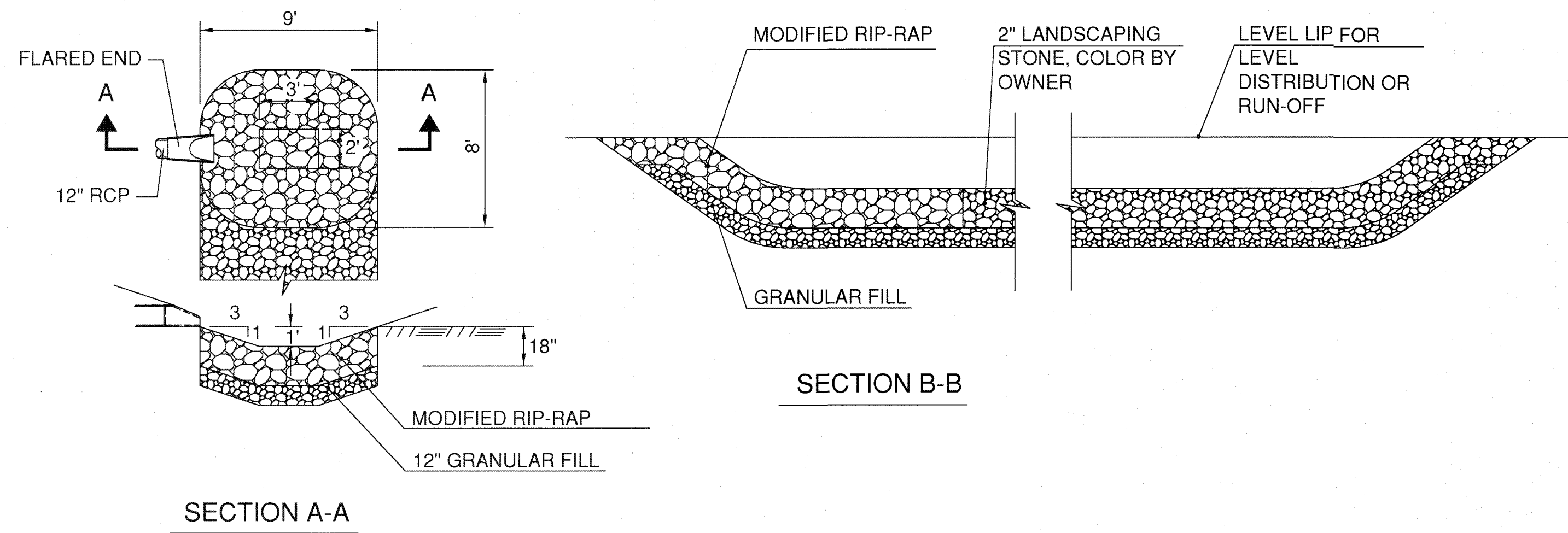
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 STURBRIDGE, MA 01560
 PHONE: 774-241-0901
 FAX: 774-241-0906



ISSUE DATE: 06/20/2018
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 SCALE: 1"=20'
 PROJECT NO.: 2017-194
 SHEET NAME: DETAILS
 SHEET NO.: L-4

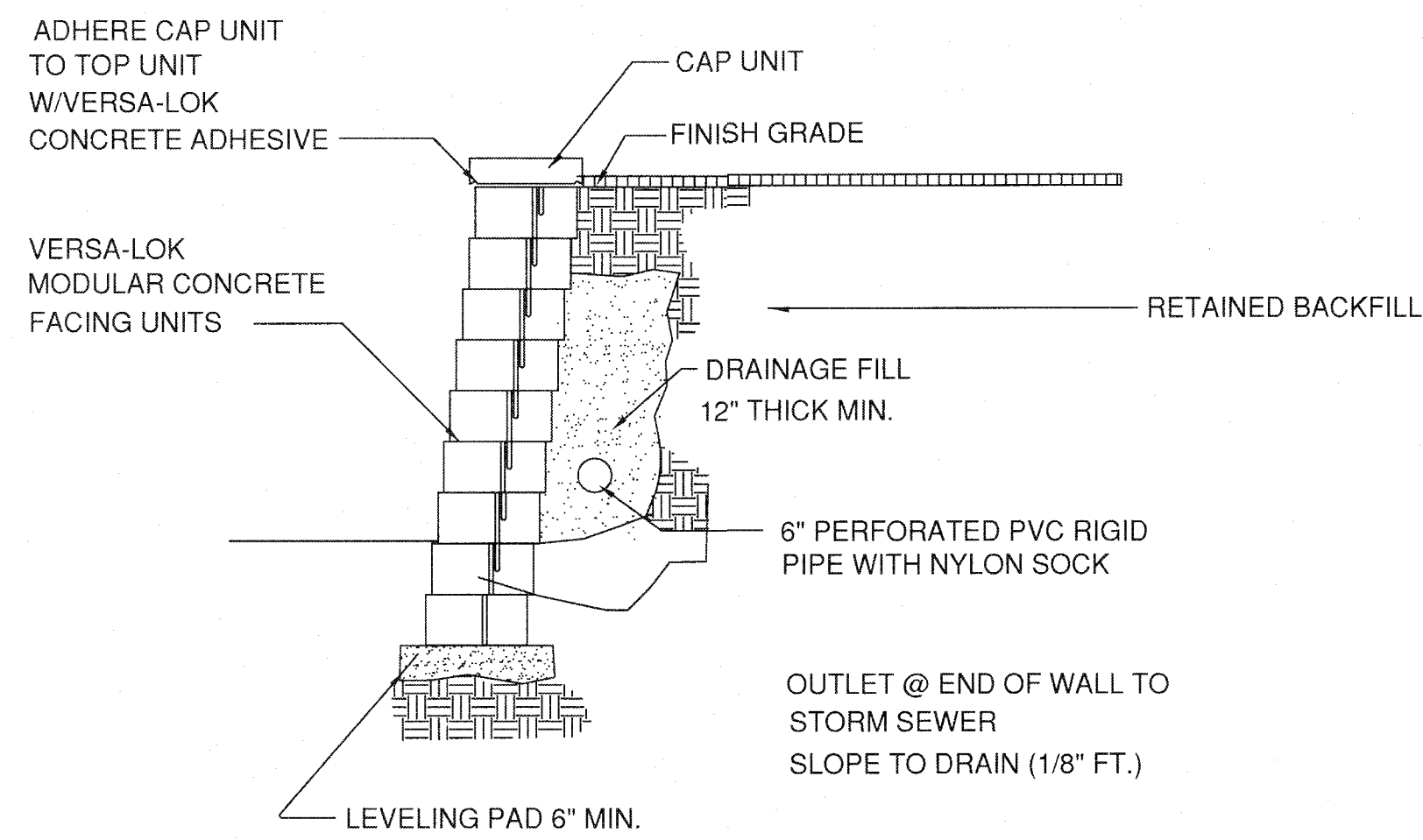


1 Tank Anchorage
L-5 NOT TO SCALE

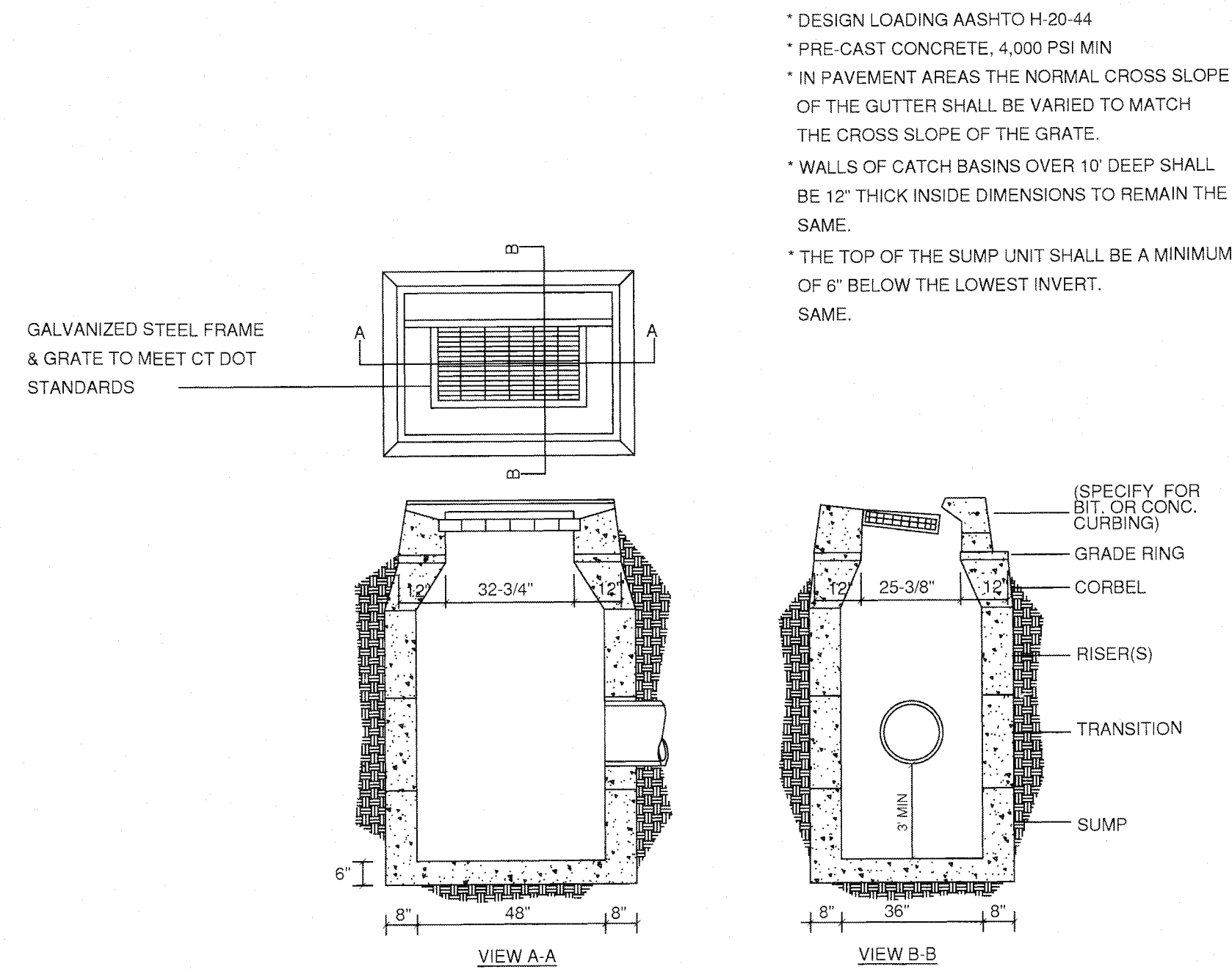


4 Rip-rap Plunge Pool (Preformed Scour Hole)
L-5 NOT TO SCALE

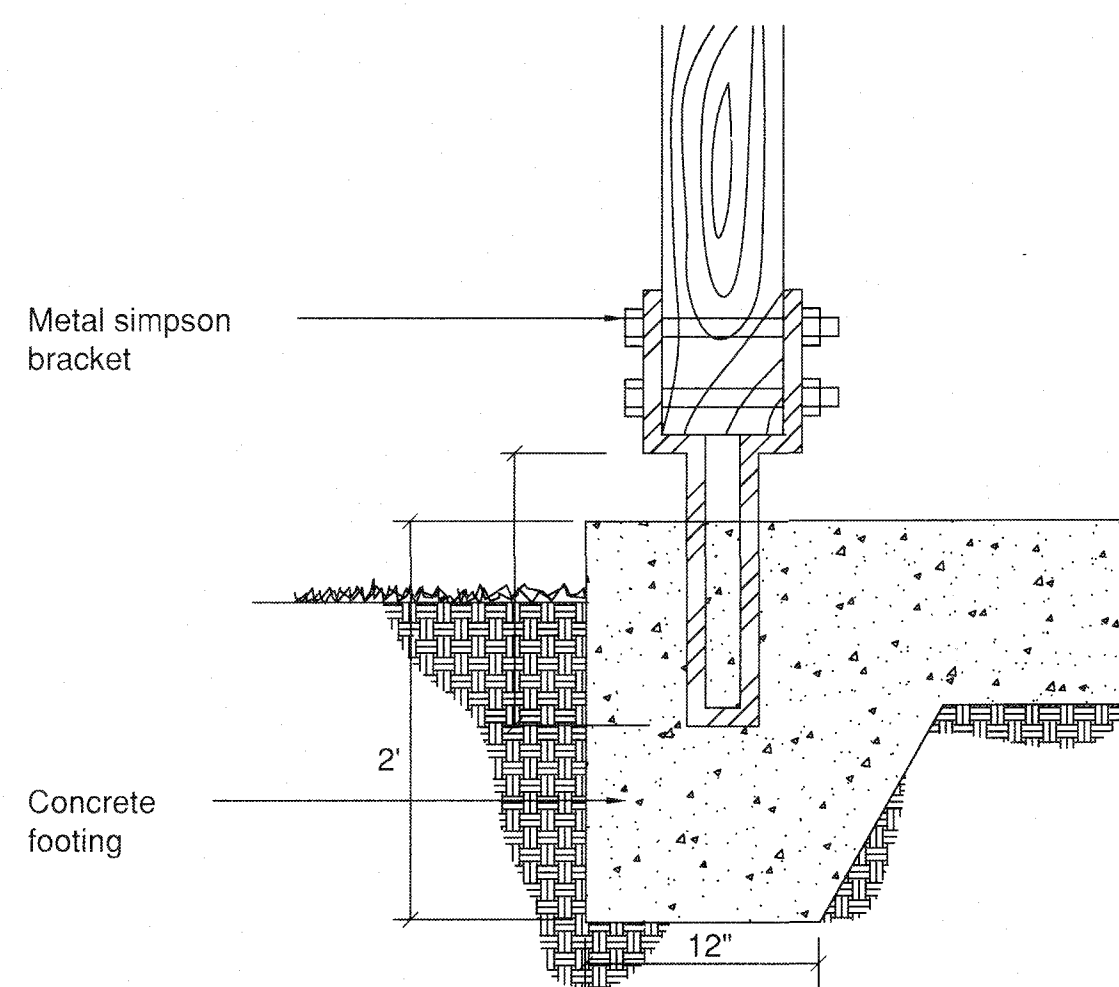
PER CT D.O.T. DRAINAGE MANUAL



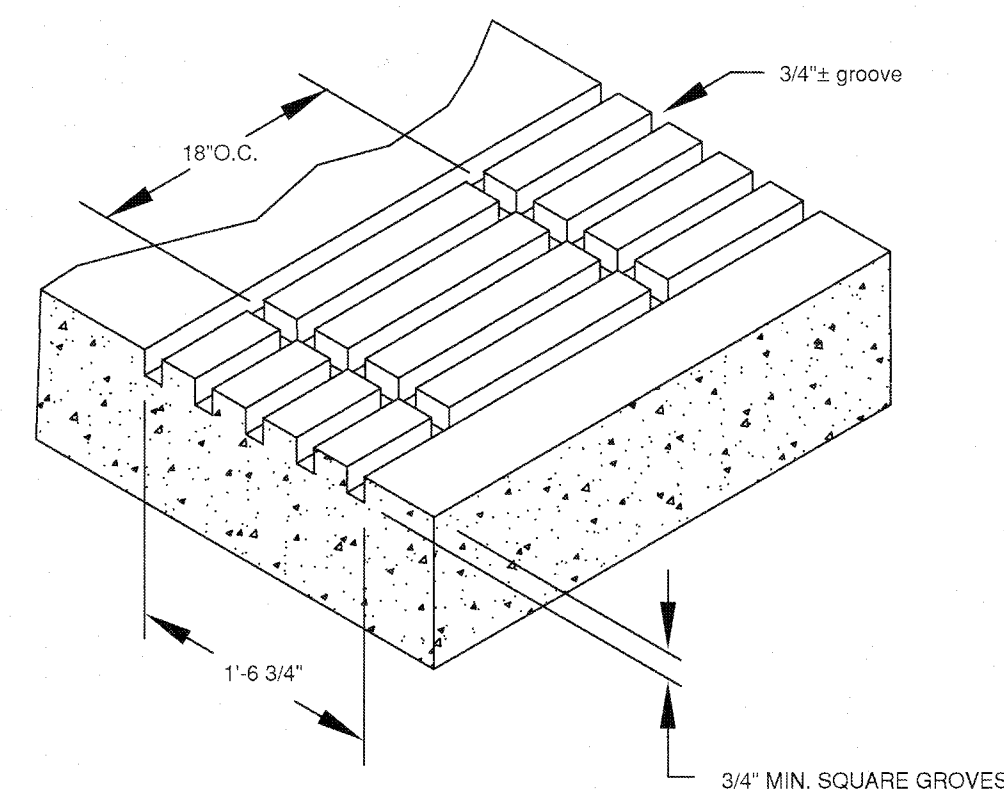
2 Modular Concrete Block Retaining Wall
L-5 NOT TO SCALE



5 PRECAST CATCH BASIN
L-5 NOT TO SCALE

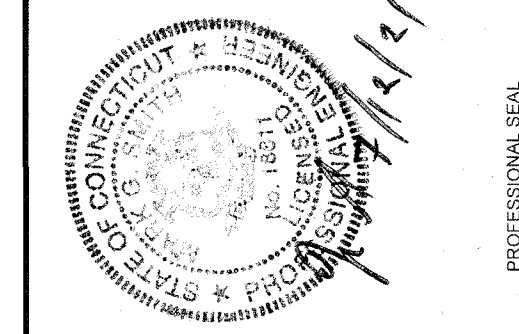


3 Wood Post & Dumpster Pad
L-5 NOT TO SCALE



6 POSITIVE LIMITING BARRIER (PLB)
L-5 NOT TO SCALE

NO.	DATE	DESCRIPTION	BY		CKD	
			SH	MS	SH	MS
1	11/19/2020	TOWN COMMENTS/LAYOUT IMPROVEMENTS	SH	MS		
2	2/22/2021	PLANNING PLAN CHANGES	SH	MS		
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4	5/26/2021	MODIFIED W. HIGH STREET ACCESS	SH	MS		



PROJECT: NEW GASOLINE DISPENSER AND PARTIAL BUILDING INTERIOR REMODEL
ROUTE 66 GAS
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PROJECT NO.: 2017-194
SHEET NAME:

DETAILS
L-5

SEDIMENTATION AND EROSION CONTROL

PER STATE OF CONNECTICUT PUBLIC ACT 83-388
 All applicable practices recommended by the 2002 CT Guidelines for Soil Erosion & Sediment Control are included by reference.

1. DESCRIPTION

The project consists of renovating an existing one acre commercial parcel by adding a retail filling station and modify curb openings.

2. SCHEDULE

No schedule has been set for this project.

3. DESIGN AND CRITERIA

Note: The Contractor shall name one individual as his Sediment and Erosion Control Supervisor whose primary responsibility will be the maintenance of all on-site erosion control measures. He will keep a daily log of his activities and an updated schedule of proposed construction activities. The log will be made available to inspectors.

A. GEOTEXTILE SILT FENCE (GSF) – Shall be non-woven material, minimum 36" high and fastened to wood stakes. Silt fence shall be installed with end runs turned up grade at 45 degrees for a distance of 10 feet (See detail this sheet).

B. TEMPORARY SEEDING (TS)

- Contractor shall scarify the soil to a depth of 2" before applying fertilizer, limestone and seed.
- Seed may be applied by hand or mechanically. See application shall be uniform. Seed rate shall be in accordance with the 2002 "Guidelines for Soil Erosion and Sediment Control" (increase seeding rates by 10% when hydroseeding. Limestone, fertilizer and seed may be applied in slurry.)
- Contractor shall mulch area (MS) immediately following seeding. (Note: In the event seeding operations are not feasible due to seasonal restrictions or extended inclement weather patterns, the Contractor shall install an Erosion Control Blanket over exposed soils.)

C. PERMANENT SEEDING (PS)

- Contractor shall apply topsoil and fine grade all areas before the application of permanent seed. Apply limestone and fertilizer as needed, in accordance with soil tests.
- Remove all surface stones 1/2 inch and larger. Remove all other debris and rake seed bed.
- Apply seed within 7 days after establishing final grades. See planting plan.

D. HAY BALE BARRIER (HB) – Shall be made of hay or straw with 40 pounds minimum weight and 120 pounds maximum weight, held together by twine or wire. (See detail this sheet.)

E. CONSTRUCTION ENTRANCE (CE) – Shall be an angular stone (DOT Standard Spec Section M.01.01 size #3) pad, a minimum of 12' wide and 50' long. (See detail this sheet.)

F. EROSION CONTROL BLANKET (ECB) Erosion mat shall be placed on all exposed cut/fill slopes steeper than 3:1 (including swales & ditches) to protect against rainfall and hold moisture content to enhance vegetation growth in seeded areas. Mat (or blankets) shall be straw or straw/coconut fiber combination sewn together with lightweight netting. Use North American green. S150 – slopes up to 3:1, SC150 – slopes from 3:1 up to 2:1 or greater. Temporary hay mulch to be applied to areas less than 3:1 slope and all areas to be left barren over the winter, mulch rate to be 70 pounds/1000 s.f.

APPLICATION/GENERAL PROCEDURES

- Soil erosion and sediment control measures will be installed prior to any site disturbance, and development will proceed according to a specific construction sequence. The objective is to maximize the reduction of sediment-laden runoff through implementation of conventional soil sedimentation and erosion control practices currently recommended by the 2002 "CT Guidelines for Soil Erosion and Sediment Control".
- Earthwork will be scheduled for periods when soil saturation is low and soil loss hazard is at a minimum.
- Suspend earthwork for major storm events and implement additional sedimentation and erosion control measures as necessary.
- There shall be no cuts or fill left exposed for longer than 30 days. The established procedure of temporarily seeding and/or cover with erosion protection (mat or hay) shall be followed to insure minimal soil loss.

MONITORING AND MAINTENANCE PROGRAM

- For the duration of the project construction, the Contractor shall maintain all sedimentation and erosion control devices to insure their efficient operation.
- The responsibility for performing periodic checks of the protection system in-place and to coordinate cleaning and repair operations shall be assigned to the General Contractor's project representative.
- All sedimentation and erosion control devices shall be checked for the adequacy of the control systems prior to severe storm weather forecasts. Inspect control system during and after storms to determine necessary repairs.
- Repairs to sedimentation control systems directed by the project representative shall be done within 24 hours of the directive or as soon as possible prior to storm warnings.
- Replacement materials for the devices utilized must be readily available for repairs.
- Clean sedimentation and erosion control devices as directed by the projects representative.
- Placement of temporary sedimentation and erosion control devices that are not shown on plans, but are required due to Contractor's operations, shall be placed at the direction of the projects representative.
- Dust control and off-site debris caused by the Contractor's earthwork operations shall be prevented, or cleaned-up in accordance with the standard state specification "Form 814A".

Specific maintenance measures shall be as follows:

- GEOTEXTILE SILT FENCE (GSF)** – Inspect GSF at least once a week and within 24 hours of the end of any storm event of 0.5-inch or greater.
 Repair or replace the fence within 24- hours of observed failure.
- HAY BALE BARRIER (HB)** - Inspect HB at least once a week and within 24 hours of the end of any storm event of 0.5- inch or greater.
 Repair or replace the hay bales within 24-hours of observed failure.
- CONSTRUCTION ENTRANCE (CE)** – Maintain the entrance in a condition which will prevent tracking and washing of sediment onto paved surfaces. Provide periodic top dressing with additional stone or additional length as conditions demand. Repair any measures used to trap sediment as needed. Immediately remove all sediment spilled, dropped, washed or tracked onto paved surfaces. Roads adjacent to a construction site shall be left clean at the end of each day.

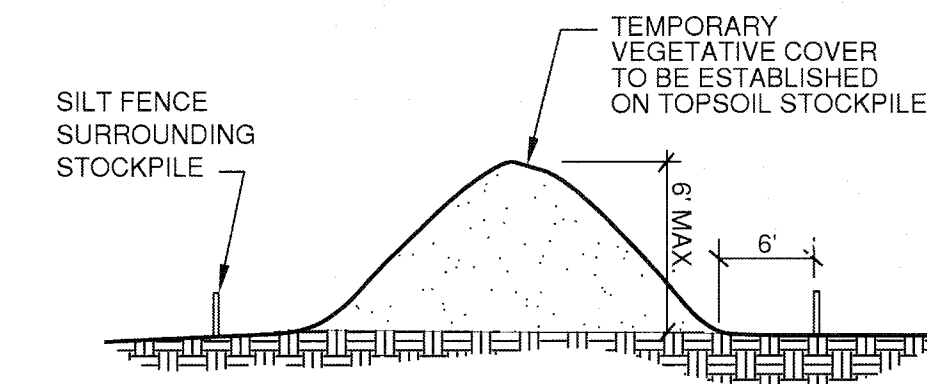
If the construction entrance is being properly maintained and the action of a vehicle traveling over the stone pad is not sufficient to remove the majority of the sediment, then either (1) increase the length of the construction entrance, (2) modify the construction access road surface, or (3) install washing racks and associated settling area or similar devices before the vehicle enters a paved surface.

D. SEEDING (TEMPORARY & PERMANENT)

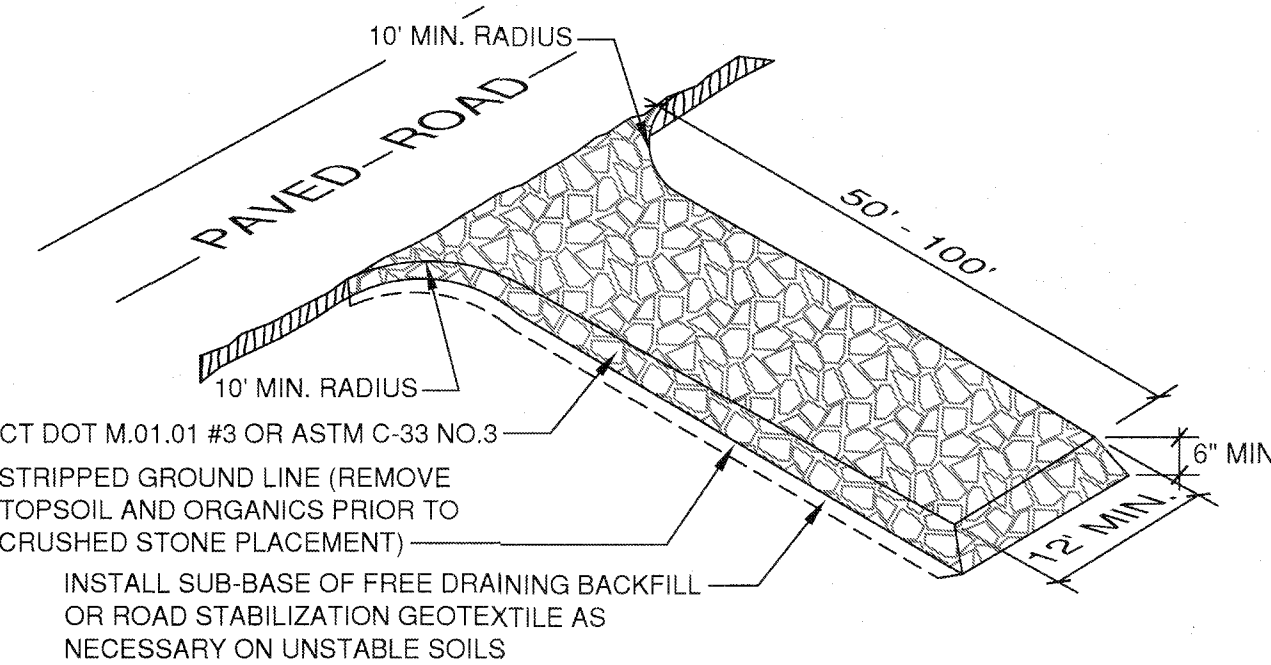
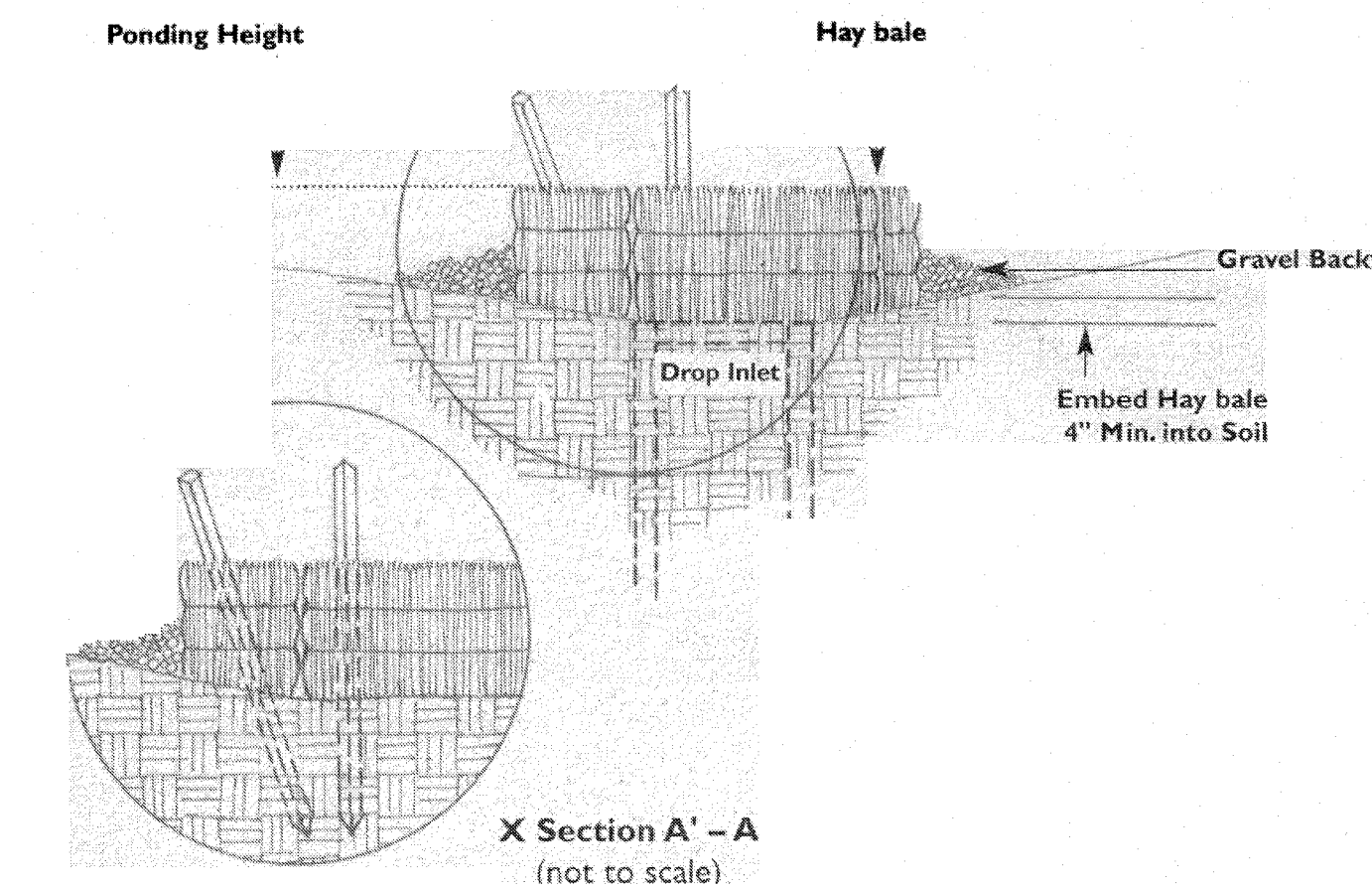
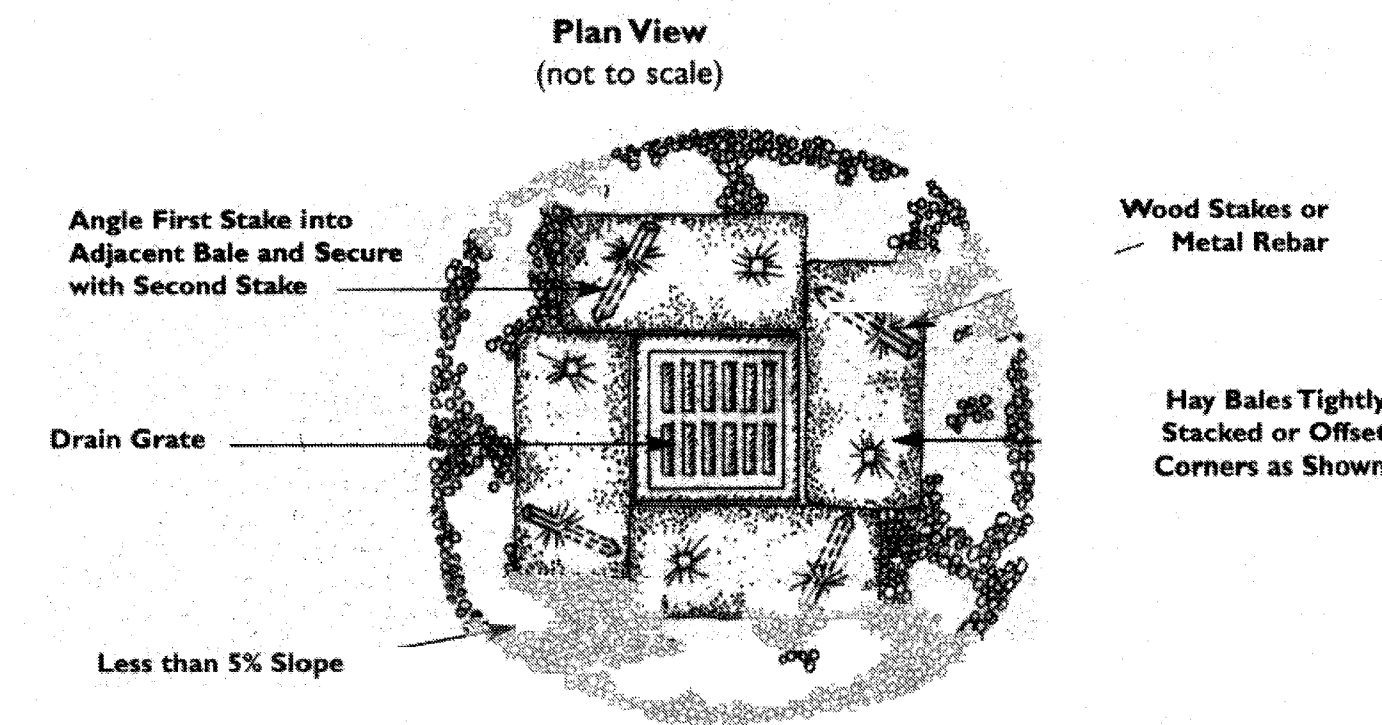
Inspect seeded area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and rill erosion.

Where seed has moved or where soil erosion has occurred, determine the cause of the failure. Bird feeding may be a problem if mulch was applied too thinly to protect seed. Re-seed and re-mulch. If movement was the result of wind, then repair erosion damage (if any), re-apply seed and mulch and apply mulch anchoring. If failure was caused by concentrated runoff, install additional measures to control water and sediment movement, repair erosion damage, re-seed and re-apply mulch with anchoring or use **Temporary Erosion Control Blanket** measure.

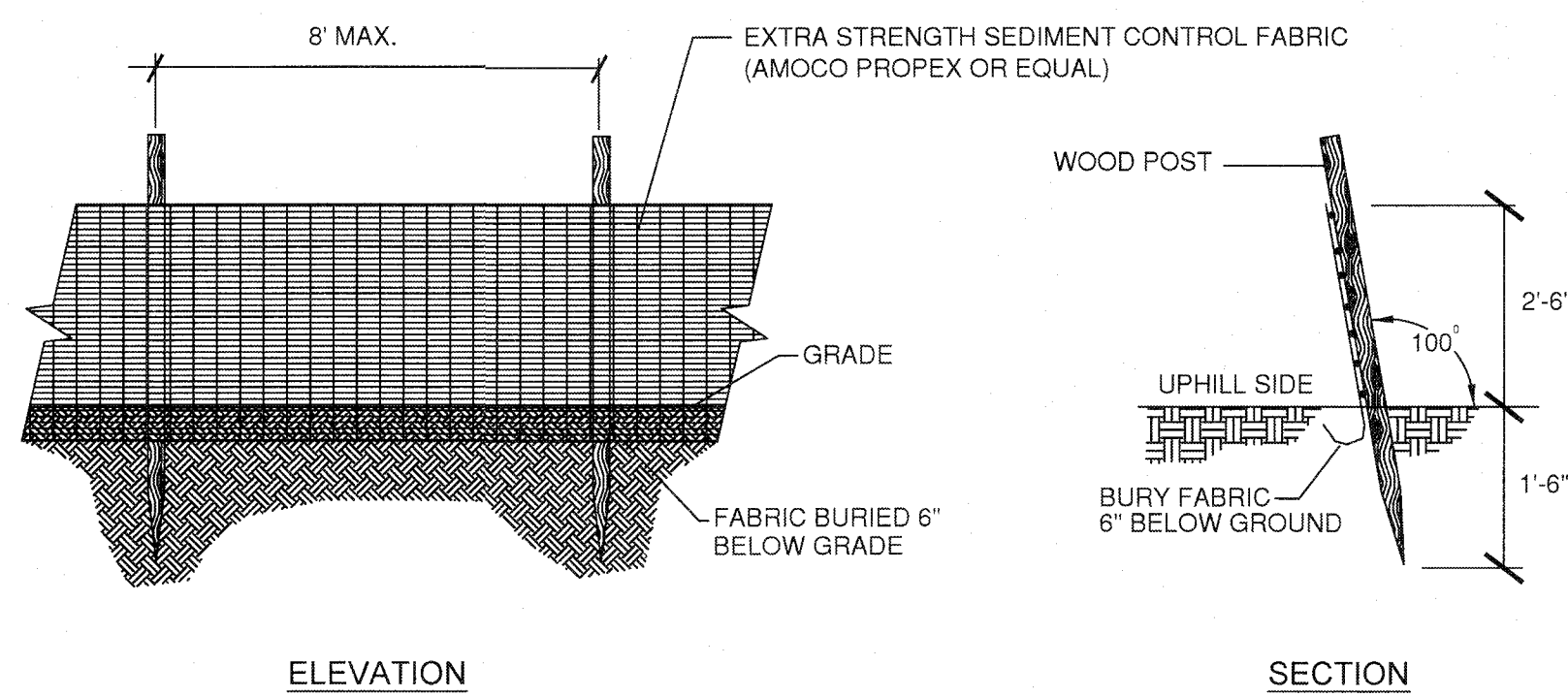
Continue inspections until the grasses are firmly established. Grasses shall not be considered established until a ground cover is achieved which is mature enough to control soil erosion and to survive severe weather conditions (approximately 80% vegetative surface cover).



3 Topsoil Stock Pile Area
 L-6 N.T.S.



1 Construction Entrance (CE)
 L-6 N.T.S.

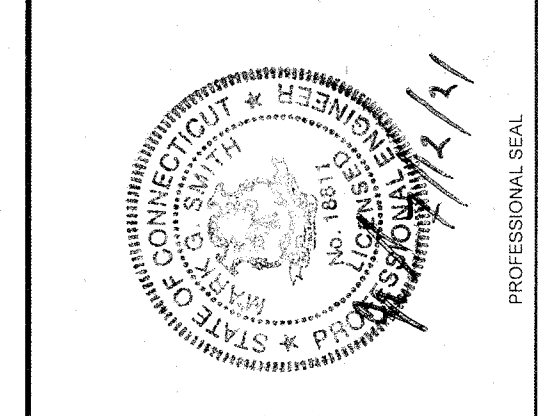


2 Geotextile Silt Fence (GSF)
 L-6 N.T.S.

4 Hay Bale Barrier At Catchbasin (HB)
 L-6 N.T.S.

5 Slope Stabilization Using Erosion Control Blanket (ECB)
 L-6 N.T.S.

REVISIONS		BY	CHKD
NO.	DATE	DESCRIPTION	
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3	4/28/2021	ADD SEWER AND WELL INFO	SH
4	5/26/2021	MODIFIED HIGH STREET ACCESS	SH

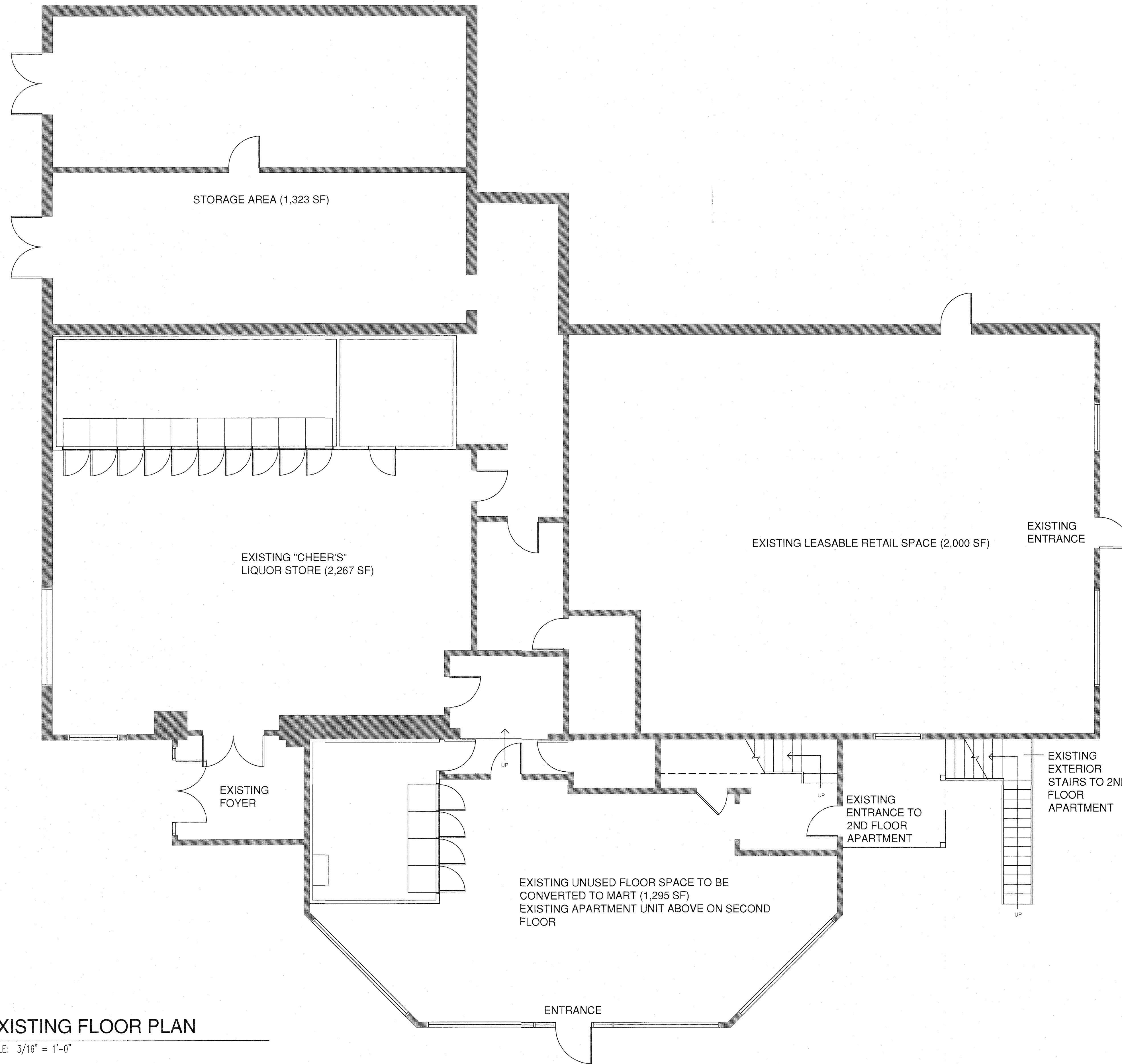


PROJECT: NEW GASOLINE DISPENSER AND PARTIAL BUILDING INTERIOR REMODEL
 ROUTE 66 GAS
 249 WEST HIGH STREET, EAST HAMPTON, CT 06424
 PREPARED FOR: PHOEBE & VIOLET LLC
 249 WEST HIGH STREET
 EAST HAMPTON, CT 06424

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CMG
 EST. 2002

ISSUE DATE: 06/20/2018
 DRAWN BY: SH CHECKED BY: MS
 SCALE: AS NOTED
 PROJECT NO.: 2017-194
 SHEET NAME: SEDIMENTATION AND EROSION CONTROL DETAILS
 SHEET NO.: L-6

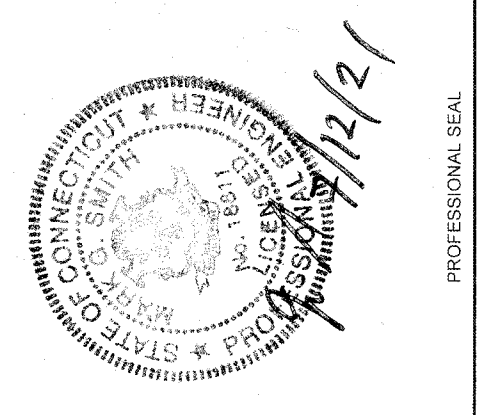


1
A1.0

EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"

REVISIONS		NO.	DATE	DESCRIPTION	BY	CHKD
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2	2/2/2021	PLANTING PLAN CHANGES	SH	MS		
3	4/29/2021	ADD SEWER AND WELL INFO	SH	MS		
4	5/26/2021	MODIFIED W/ HIGH STREET ACCESS	SH	MS		



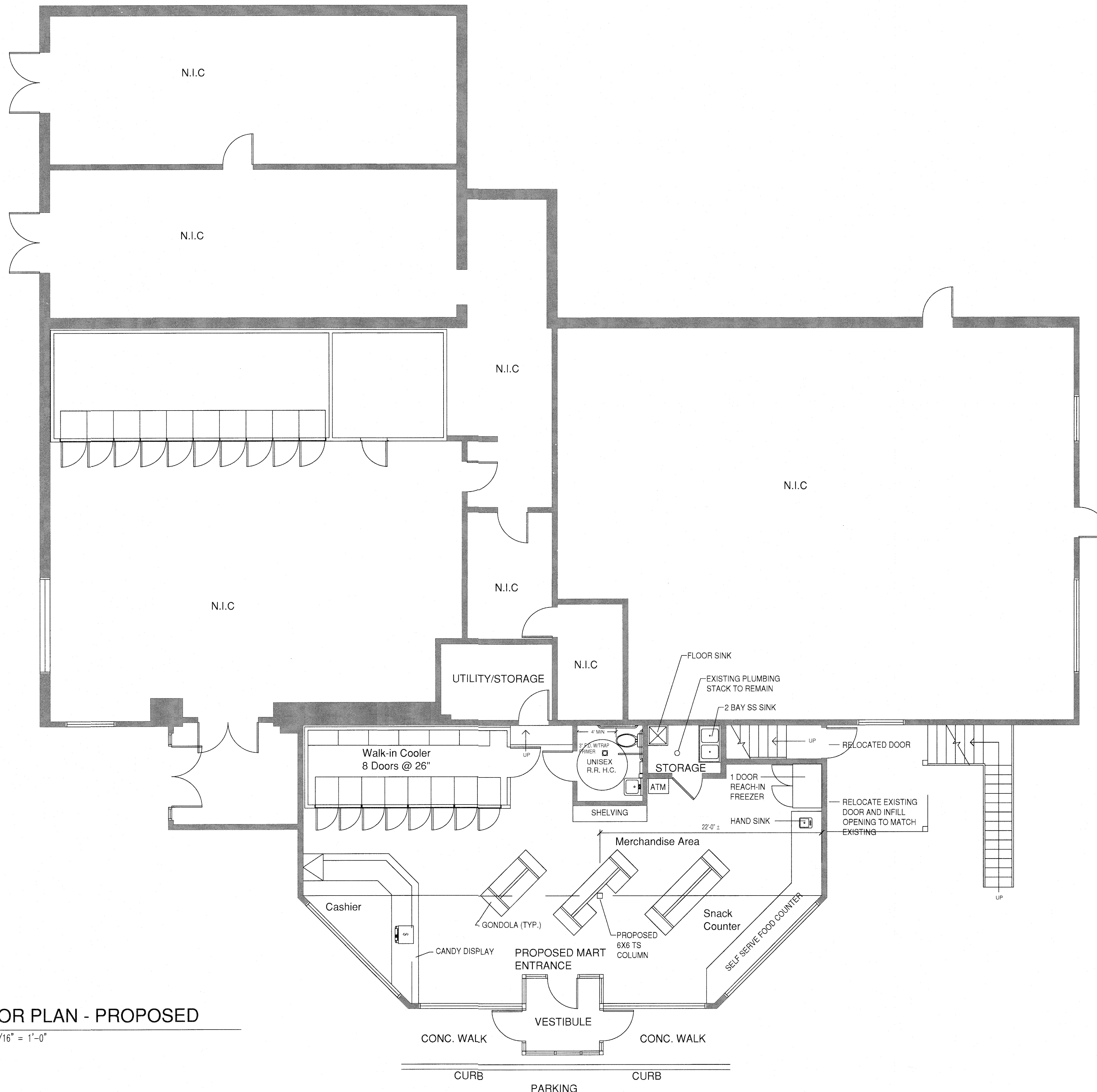
PROJECT: NEW GASOLINE DISPENSER AND PARTIAL BUILDING INTERIOR REMODEL
ROUTE 66 GAS
 249 WEST HIGH STREET, EAST HAMPTON, CT 06424
PREPARED FOR: PHOEBE & VIOLET LLC
 249 WEST HIGH STREET
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 SCALE:
 PROJECT NO.: 2017-184
 SHEET NAME:
EXISTING FLOOR PLAN

SHEET NO.: **A-1.0**

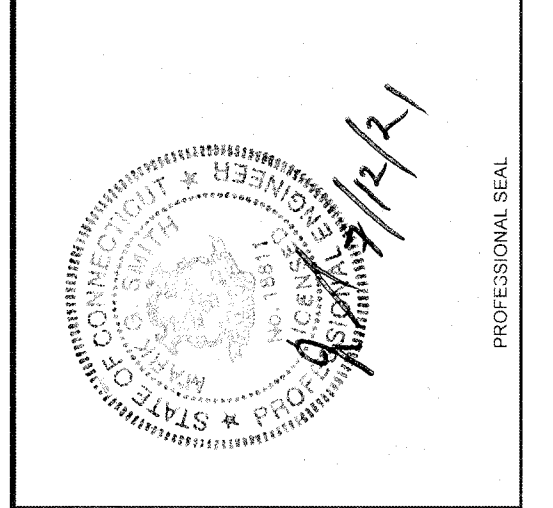


1
A1.1

FLOOR PLAN - PROPOSED

SCALE: 3/16" = 1'-0"

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	11/18/2020	TOWN COMMENTS/LAYOUT IMPROVEMENTS	SH
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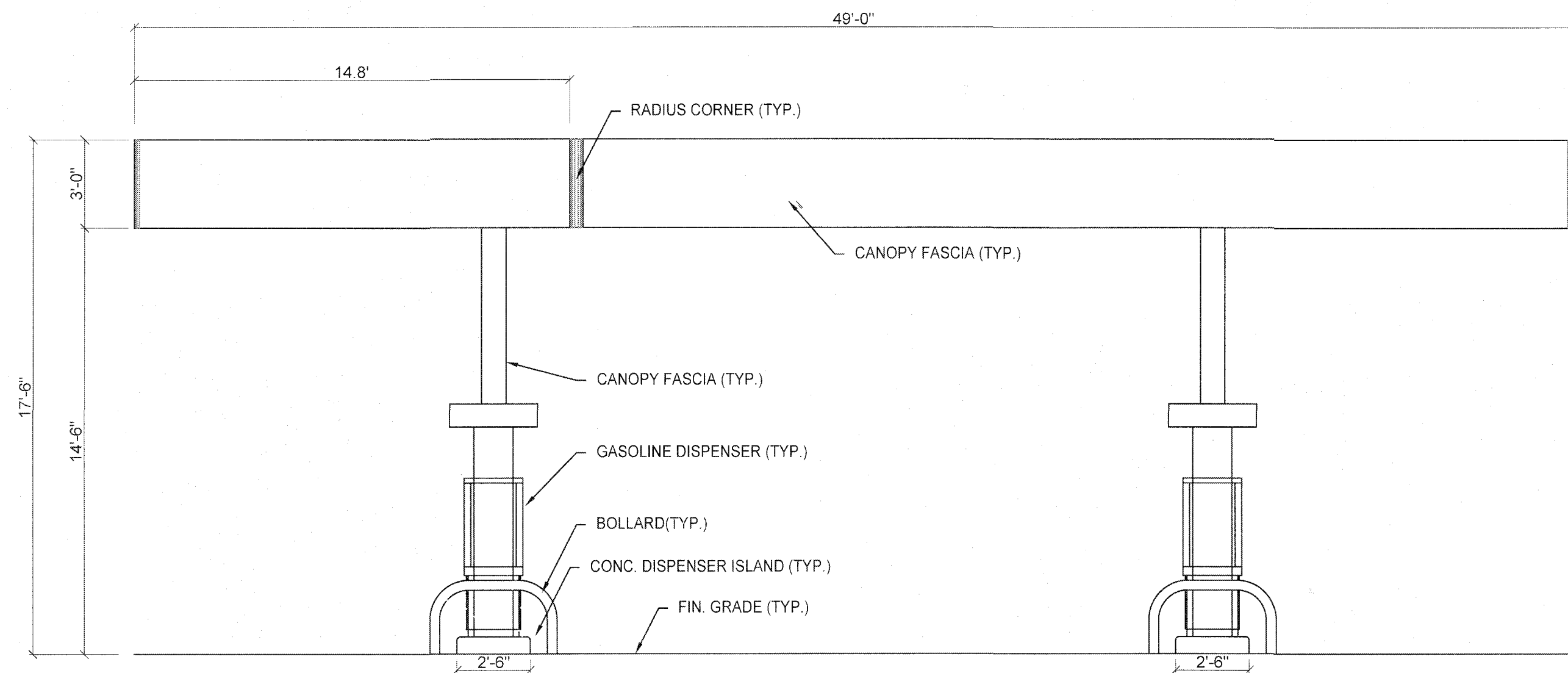
PROJECT: NEW GASOLINE DISPENSER AND PARTIAL BUILDING INTERIOR REMODEL
ROUTE 66 GAS
 249 WEST HIGH STREET, EAST HAMPTON, CT 06424

PREPARED FOR: PHOEBE & VIOLET LLC
 249 WEST HIGH STREET
 EAST HAMPTON, CT 06424

ENVIRONMENTAL SERVICES
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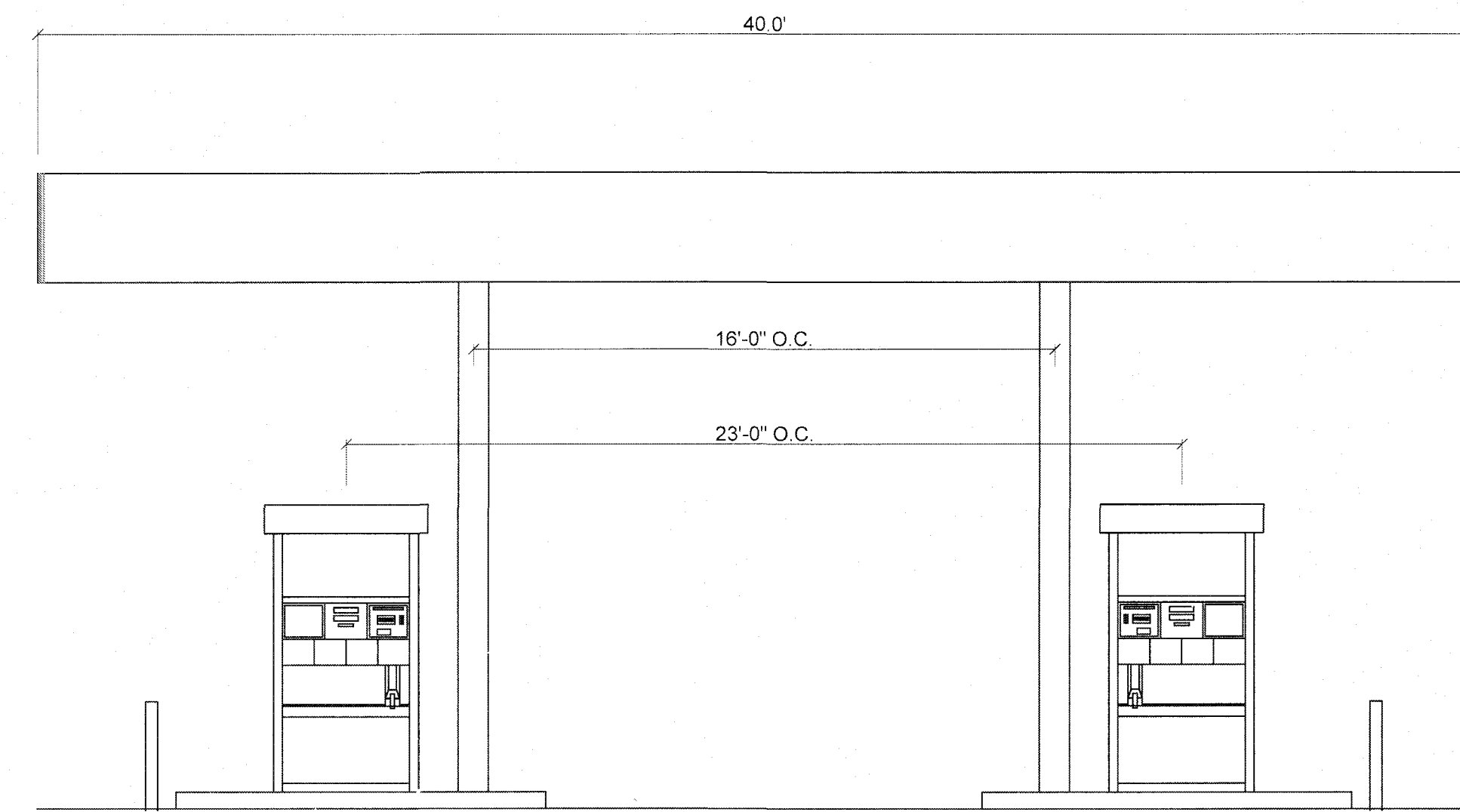
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 PROJECT NO.: 2017-194
 SHEET NAME:
PROPOSED FLOOR PLAN
 SHEET NO.:
A-1.1



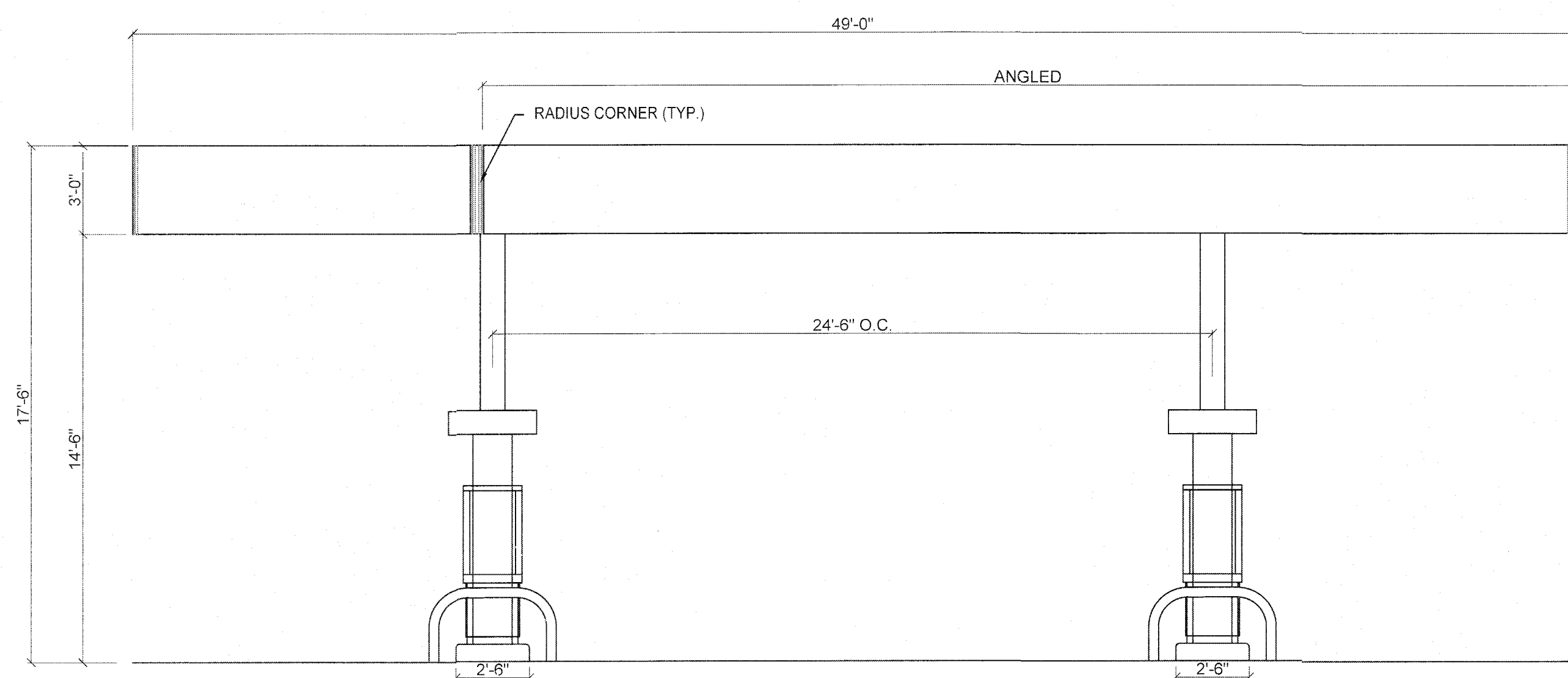
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PROPOSED CANOPY ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



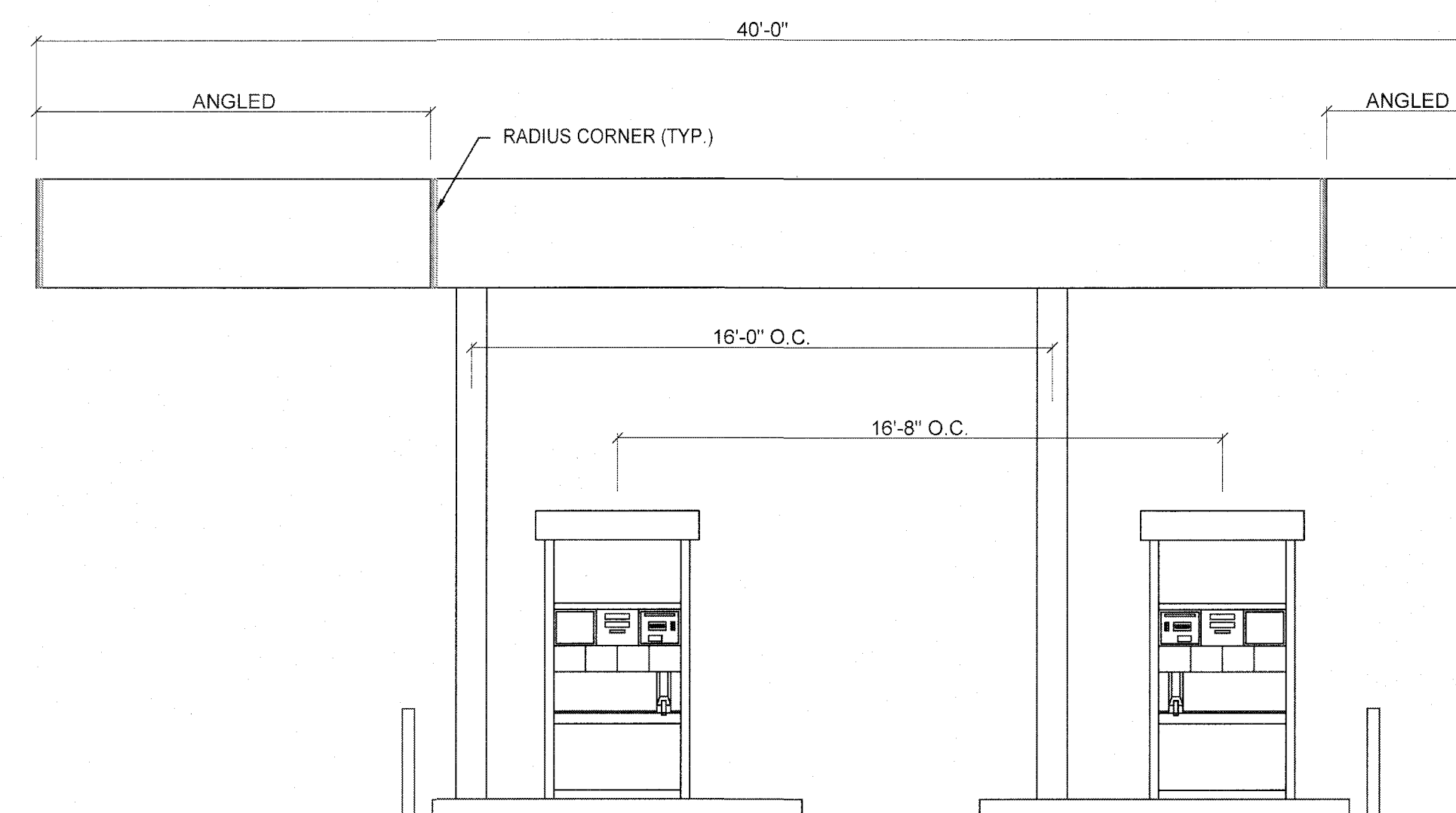
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PROPOSED CANOPY ELEVATION - EAST

SCALE: 1/4" = 1'-0"



3
A2.0
PROPOSED CANOPY ELEVATION - NORTH

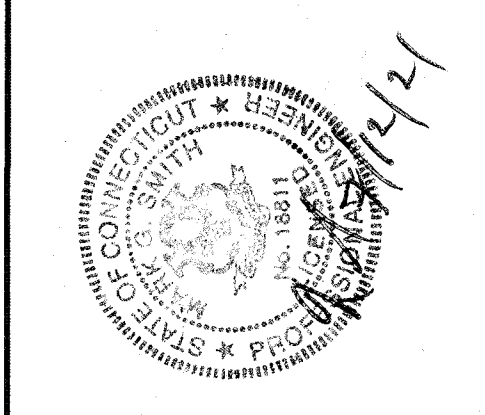
SCALE: 1/4" = 1'-0"



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PROPOSED CANOPY ELEVATION - WEST

SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHKD
1	11/18/2020	TOWN COMMENTS/BLAYOUT IMPROVEMENTS	SH	MS
2	2/2/2021	PLANTING PLAN CHANGES	SH	MS
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4	5/28/2021	MODIFIED W/ HIGH STREET ACCESS	SH	MS



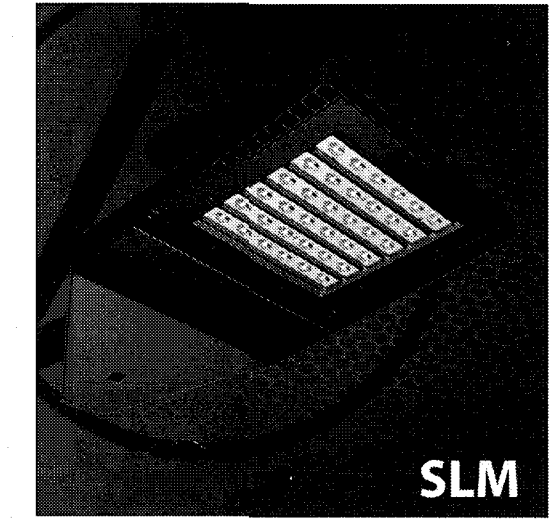
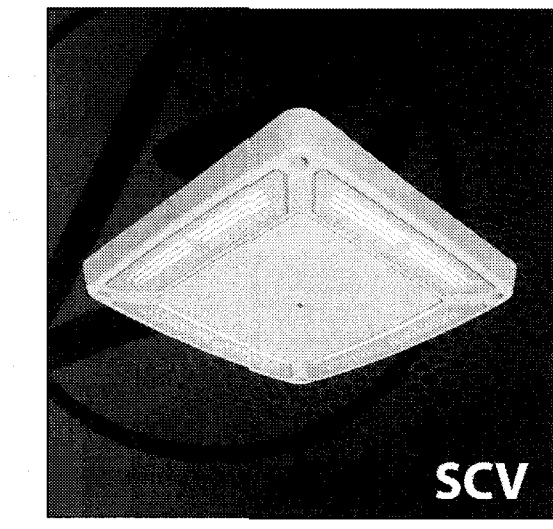
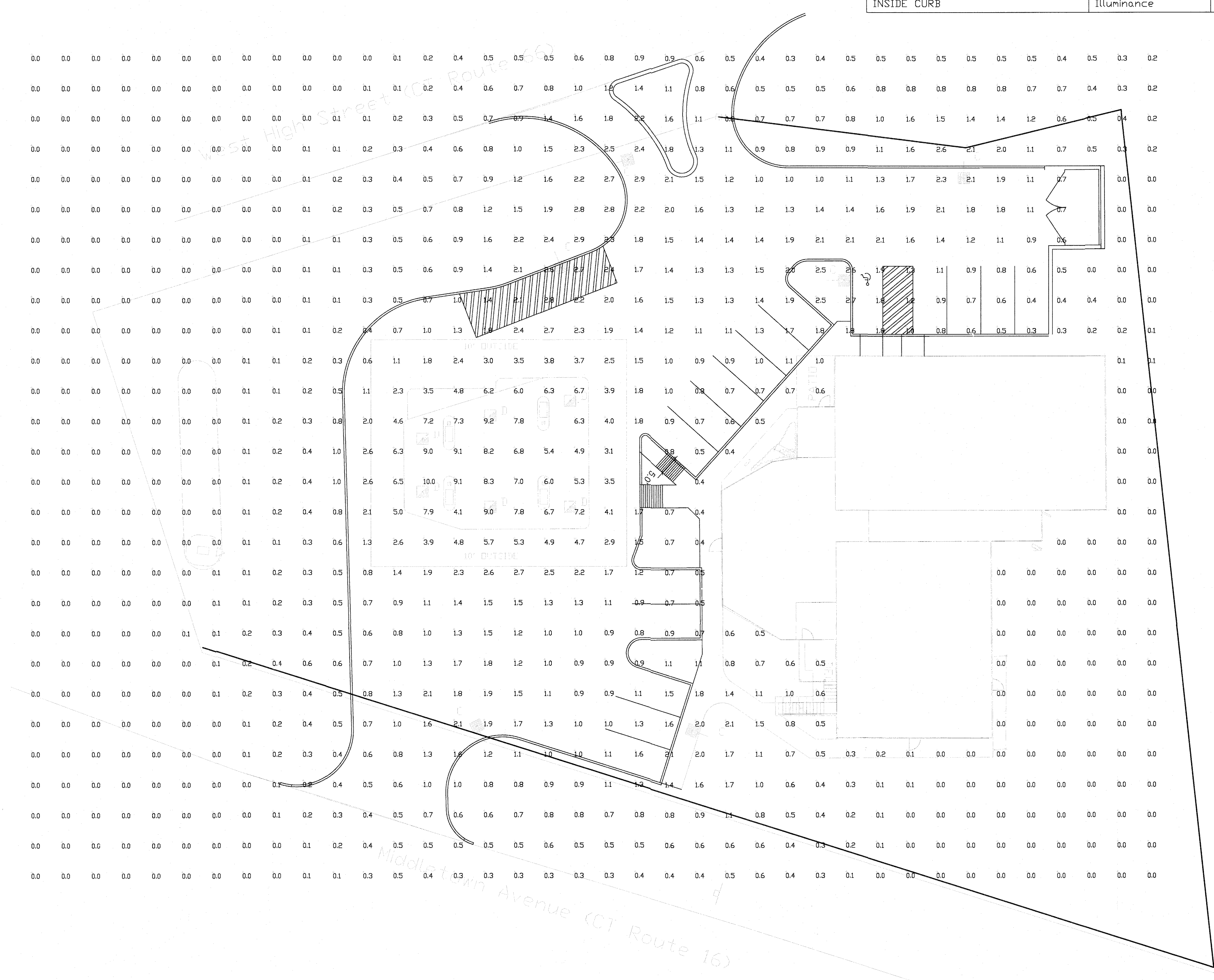
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 ROUTE 66 GAS
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 PREPARED FOR: PHOEBE & VIOLET LLC
 249 WEST HIGH STREET
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ISSUE DATE: 06/20/2018
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 SCALE:
 PROJECT NO: 2017-194
 SHEET NAME: CANOPY ELEVATIONS
 SHEET NO: A-2.0

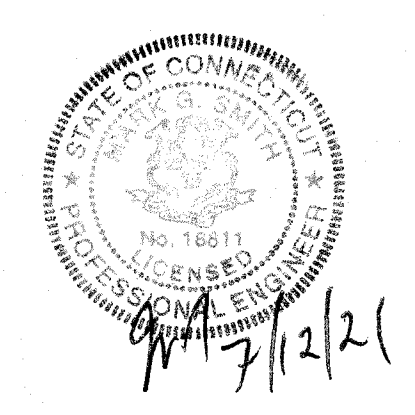
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	0.88	10.0	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	5.51	10.0	1.1	5.01	9.09
INSIDE CURB	Illuminance	Fc	1.36	2.9	0.3	4.53	9.67



Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	
	6	C	SINGLE	SLM-LED-09L-SIL-5W-50-70CRI-SINGLE-14'POLE+2'BASE DIMMED 40%	1.000	1.000	0.600	9262	68.2	
	6	D	SINGLE	SCV-LED-10L-SC-50 MTD @ 15' DIMMED 60%	1.000	1.000	0.400	10306	66.1	

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



Total Project Watts
Total Watts = 805.7999

LIGHTING PROPOSAL LD-152759-1

ROUTE 66 GAS
2249 WEST HIGH STREET
EAST HAMPTON, CT

BY: [Signature] DATE: 05-20 REV: 01-13-20 SHEET 1 OF 1

SCALE: 1"=16'