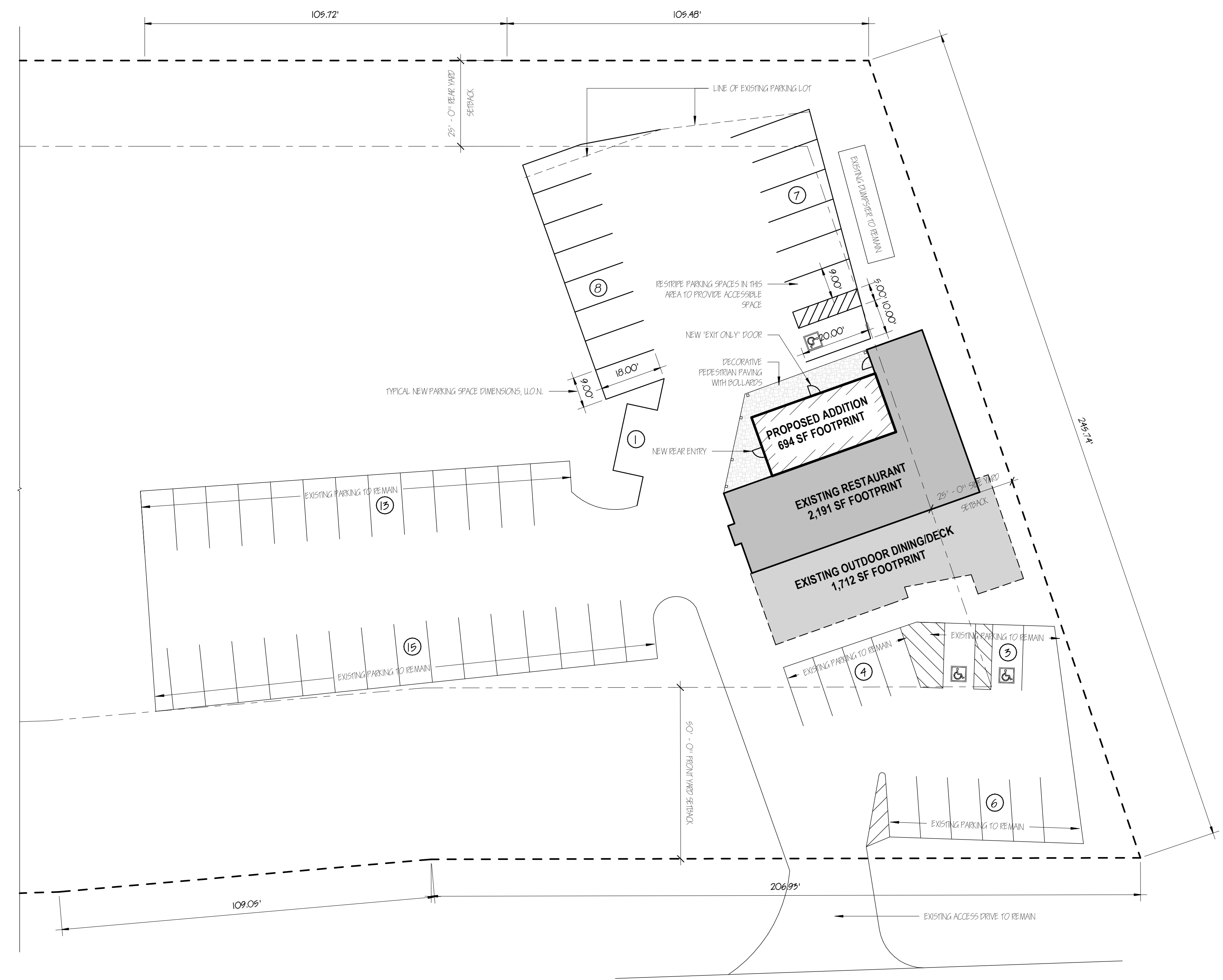


2 OVERALL SITE PLAN
 SCALE: 1" = 40'-0"



PROPERTY INFORMATION
 PARCEL ID: 09A-76-11A
 OWNER: CHARMIN, LLC
 25 ORCHARD ROAD
 EAST HADDAM, CT 06423

LOT / ZONING INFORMATION
 LOT AREA: 3.13 ACRES
 ZONE: C
 USE CODE: 201 [COMMERCIAL IMPROV.]

COMPLIANCE PER ZONE C:
 MINIMUM LOT AREA: 40,000 SF
 MINIMUM LOT WIDTH: 150 FEET
 MINIMUM LOT DEPTH: 175 FEET
 MINIMUM LOT FRONTAGE: 100 FEET
 MAXIMUM LOT COVERAGE: 60%
 MINIMUM FRONT SETBACK: 50 FEET
 MINIMUM SIDE SETBACK: 25 FEET (EXISTING NON-COMFORMING)
 MINIMUM REAR SETBACK: 25 FEET
 MAXIMUM BUILDING HEIGHT: 35 FEET

PARKING INFORMATION
 ZONING REQUIREMENT:
 MINIMUM THRESHOLD: 1 FOR EVERY 3 SEATS
 MAXIMUM THRESHOLD: 1 PER 100 SF SEATING AREA OR 1 FOR EVERY 4 SEATS (USE GREATER)

EXISTING PARKING SPACES: 57
 TOTAL PARKING SPACES PROPOSED: 57

SEAT COUNT (PER EXISTING OCCUPANT LOAD SIGNS)
 EXISTING SEAT COUNT (INSIDE): 151 SEATS
 EXISTING SEAT COUNT (PATIOS): 83 SEATS
 PROPOSED SEAT COUNT (INSIDE): 153 SEATS (+ 2)
 PROPOSED SEAT COUNT (PATIOS): 83 SEATS (NO CHANGE)

PARKING REQUIRED (INTERIOR SEATING): 153 SEATS / 3 = 51 SPACES

LOT COVERAGE:
 IMPREVIOUS LOT COVERAGE: UNCHANGED

CHARMIC, LLC

LOCO PERRO - RENOVATIONS AND ADDITION

191 EAST HIGH STREET
 EAST HAMPTON, CT 06424

30% CD PRICING SET

SHEET TITLE:

SITE PLAN

HISTORY OF SUBMISSIONS:

| # | ISSUE | DATE |
|---|--|------------|
| 2 | PLAN REVISIONS PER OWNER REQUEST | 09.19.2020 |
| 1 | 30% CONSTRUCTION DOCUMENTS PRICING SET | 09.03.2020 |
| # | ISSUE | DATE |

| | |
|-----------------------|------------------------|
| PROJECT NO: 20.006 | DATE: 9.7.2020 |
| DRAWN: Author | SCALE: As indicated |

DRAWING NO:
G100

christopher legiadre
 architect

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1 SITE PLAN
 SCALE: 1" = 20'-0"