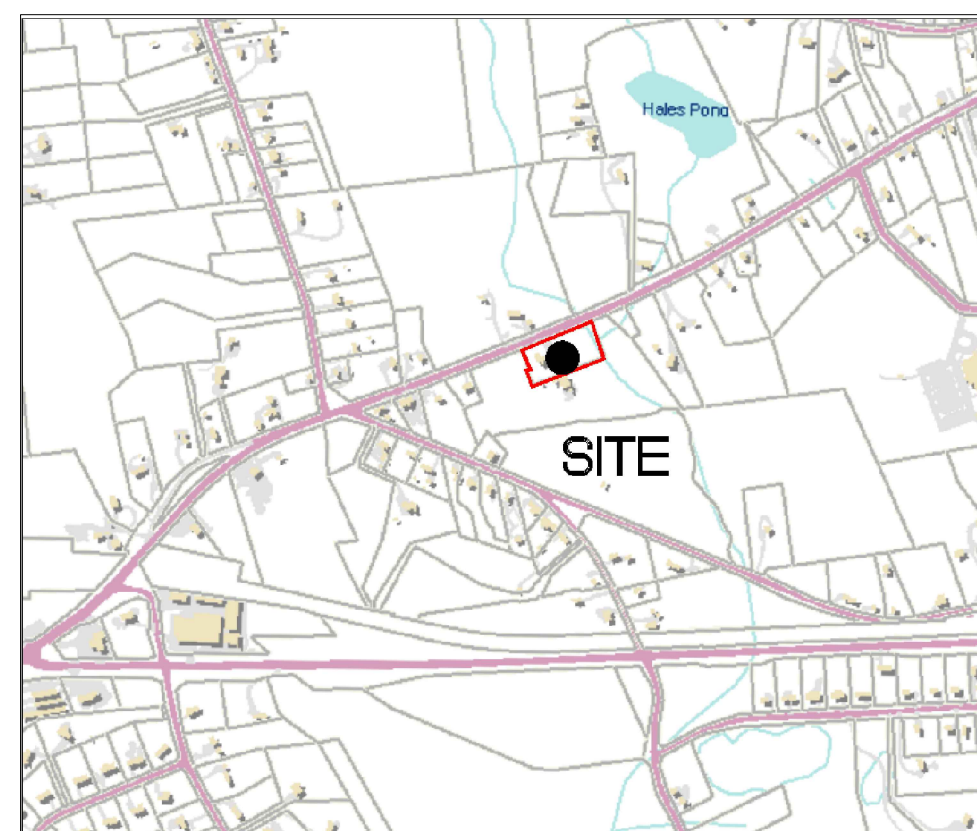


PROPOSED COMMERCIAL BUILDING

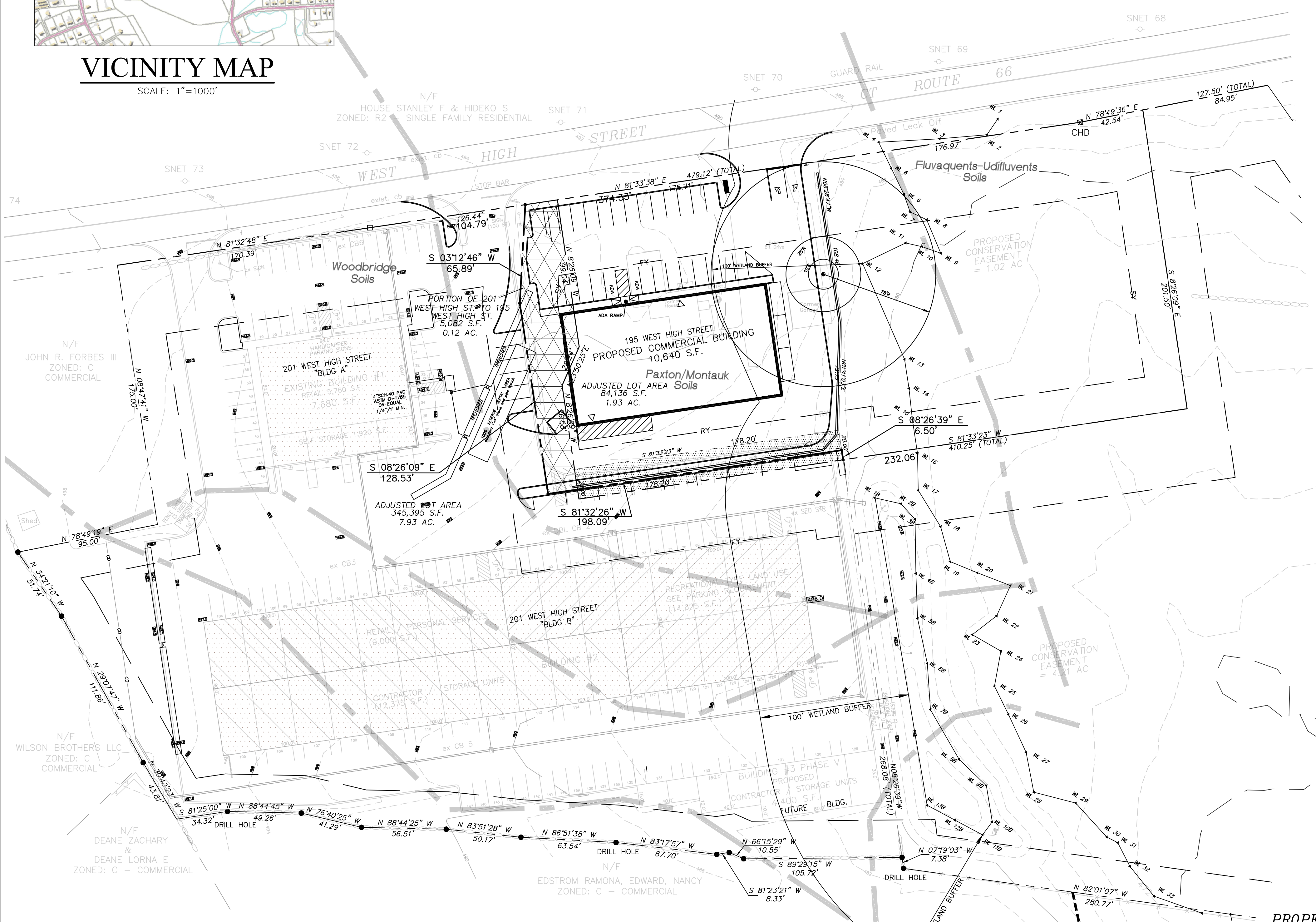
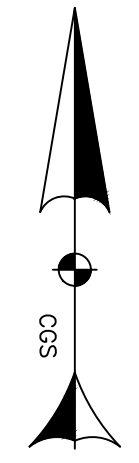
195 WEST HIGH STREET, EAST HAMPTON CONNECTICUT

INLAND WETLANDS AND PLANNING & ZONING APPLICATION



VICINITY MAP

SCALE: 1"=1000'



Town of East Hampton Land Use RCVD 2.27.2024

| STANDARD | MINIMUM/REQUIRED MAXIMUM/ALLOWED | EXISTING 195 W HIGH | EXISTING 201 W HIGH | PROPOSED 195 HIGH | PROPOSED 201 W HIGH |
|--|----------------------------------|---------------------|---------------------|-------------------|---------------------|
| Min Lot Area (Sq. Ft.) | 40,000 | 80,209 | 349,322 | 84,136 | 345,395 |
| Min Lot Width (Ft.) | 150' | 395.22 | 296.83 | 416.88 | 275.17 |
| Min Lot Depth (Ft.) | 175' | 199.5+/- | 375+/- | 195.00 | 375+/-+/- |
| Min Front Setback (Ft.) | 50' | 40+/- | 69+/- | 75.4 | 69+/- |
| Min Side Setback (Ft.) | 25' | 40+/- | 83+/- | 25.5 | 83+/- |
| Min Rear Setback (Ft.) | 25' | 75+/- | 26+/- | 41.7 | 26+/- |
| Min Street Frontage (Ft.) | 100' | 395.22 | 296.83 | 416.88 | 275.17 |
| Max Lot Coverage (%) | 60% | 3 | 58 | 40 | 59 |
| Max Floor Area Coverage | N/A | N/A | N/A | N/A | N/A |
| Max Number of Stories Per Building | N/A | N/A | N/A | N/A | N/A |
| Max Height for a Building or Structure | 35' | 24'± | 24'± | 24'± | 24'± |

GENERAL SITE DEVELOPMENT NOTES

- Reference is made to a map entitled "195 West High Street Subdivision, Prepared for, West High Enterprises, LLC, East Hampton, CT, By, Chatham Engineering Inc., Dated 11/10/12 and revised to 2/16/12, Sheets 1 thru 3" on file in the East Hampton Land Records Map Book 79 Pages 55 thru 60.
- This property is located in the C: Commercial Zone
- All grades adjacent to fills shall be blended so as to prevent ponding.
- For locations of underground electric, telephone, gas, cable television, or other utilities, inquire at the appropriate utility company and contact CALL BEFORE YOU DIG at 1-800-922-4455.
- All work to conform to Town of East Hampton specifications and regulations.
- The contractor is required to provide demolition and removal of all items, either above or below grade, required to construct the proposed site improvements.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the areas, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated on the plans. The contractor shall confirm the location of all underground utilities prior to the commencement of excavation.
- The contractor is required to provide and install all items as shown on the site development plans, and as required by the owner.
- The proposed parking areas shall be striped with a 4" wide white line.
- All materials and methods shall conform to CT DOT Form 818 as revised.
- CT DOT permit is required by the owner for all work over the state right of way line.
- All excess material from construction or demolition shall be disposed of off site.
- The contractor shall verify and report any discrepancies between the design plans and actual field conditions to the owner, general contractor or design engineer prior to the commencement of construction.
- Adjust all existing and proposed utility frames, grates, covers, valve boxes etc. to be flush with the proposed grades.
- This parcel is shown on Tax Map 12, Block 36, Lot 3.
- The owner and applicant is West High Enterprises, LLC, 244 Middletown Ave, East Hampton, CT 06424, 860-267-6623.
- The purpose of this Layout Plan is to construct a new commercial building on 195 West High Street, and to show the proposed building uses and parking layout.

PARKING REQUIREMENT

1. BUILDING 195 WEST HIGH STREET:
 RETAIL = 10,640 SF
 MINIMUM REQUIREMENT: 3 SP/1000 SF = 32 SPACES
 MAXIMUM REQUIREMENT: 6 SP/1000 SF = 64 SPACES

2. PARKING PROVIDED: 32 SPACES PROVIDED

3. THE PARKING RECONFIGURING OF PARCEL 201 WEST HIGH RESULTED IN AN INCREASE OF 1 ADDITIONAL PARKING SPACE.

SHEET INDEX:

- SP-1 OVERALL SITE PLAN
- SP-2 SITE PLAN / LANDSCAPING PLAN
- SP-3 GRADING AND UTILITY / EROSION SEDIMENT CONTROL PLAN
- 1 OF 1 SEPTIC SYSTEM REVISION-BUILDING A 201 WEST HIGH STREET
- TD-1 SEPTIC DATA SHEET
- DN-1 SITE DETAIL SHEET
- DN-2 SITE DETAIL SHEET

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

Date: _____

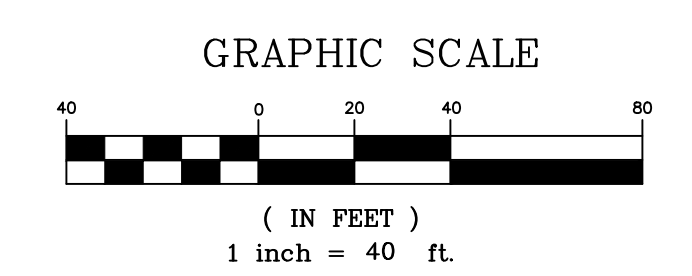
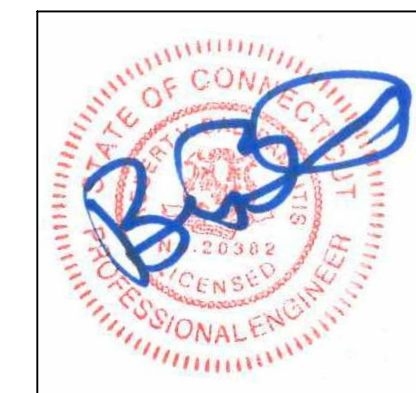
Expiration Date: _____

PROJECT NARRATIVE:

This project involves the re-development of a 1.93 acre parcel which was formerly a single family residential dwelling. The proposed redevelopment includes changing the use to a free standing 10,640 s.f Commercial building as well as all the parking and infrastructure needed. The parcel contains inland wetlands soils that currently are located within an existing conservation easement. The redevelopment requires disturbance of approx. 13,546 s.f. of the 100' upland review area.

PROPERTY OWNER/APPLICANT:

West High Enterprises
 244 Middletown Ave
 East Hampton, CT 06424



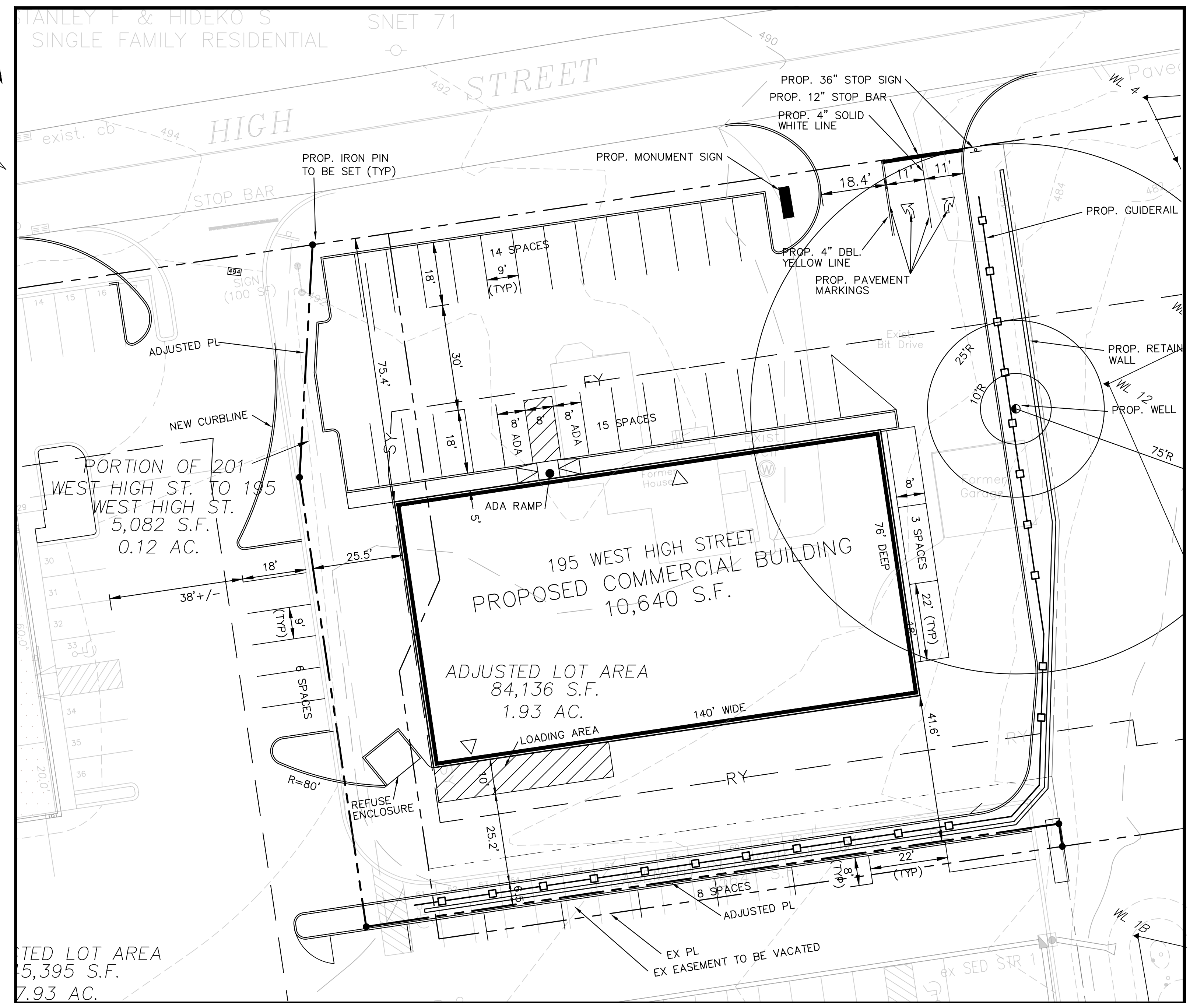
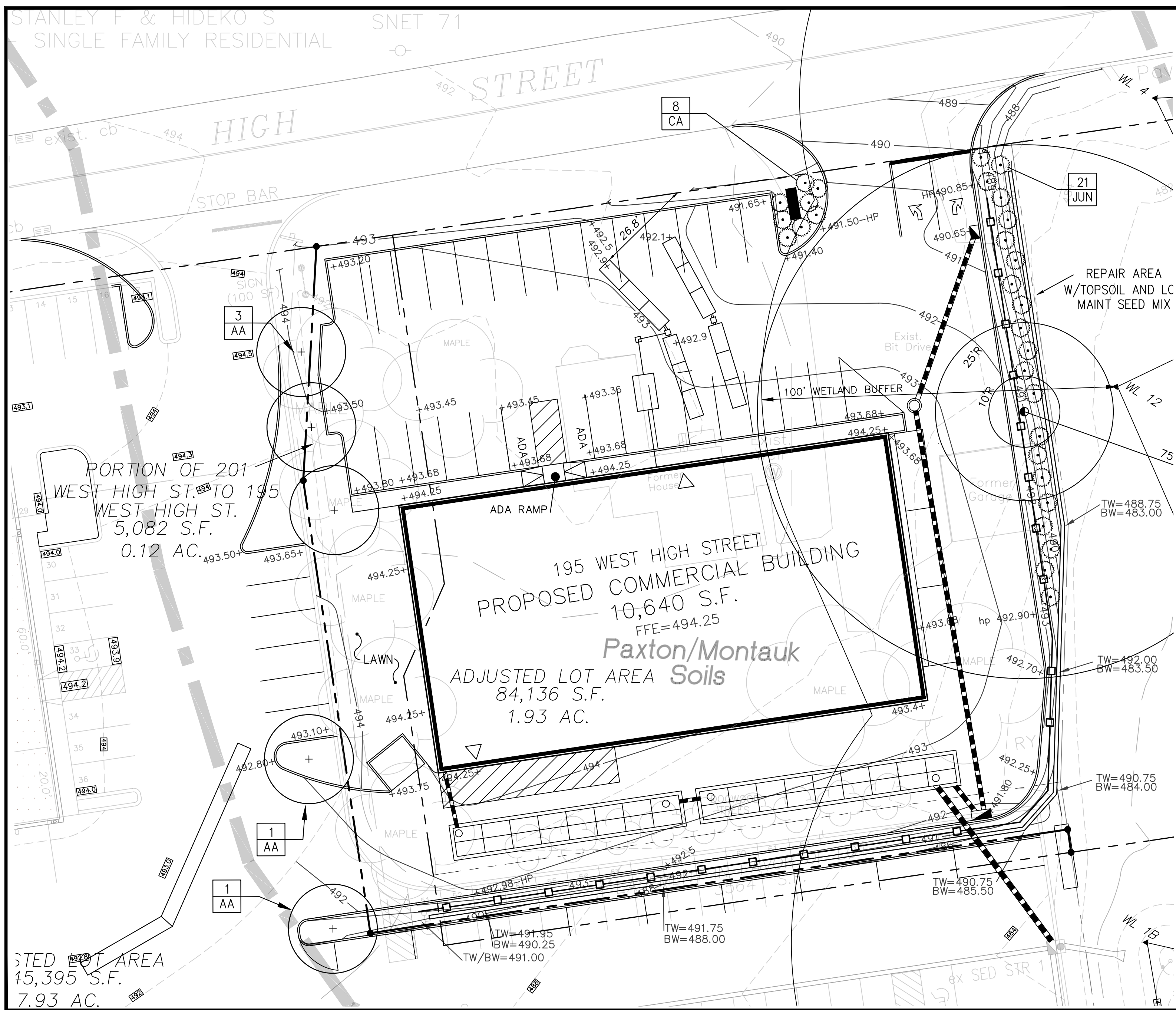
| # | DATE | DESCRIPTION |
|---|-----------|--|
| 2 | 2/25/2024 | REFLAG WETLANDS, ADJUST 100 BUFFER/DISTURBANCE AREA AND REVERSE SEPTIC |
| 1 | 1/22/2024 | P & Z SUBMISSION |

OVERALL SITE PLAN

PROPOSED COMMERCIAL BUILDING
 PROPERTY OF WEST HIGH ENTERPRISES
 195 WEST HIGH STREET
 EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
 27 Tammy Hill Road
 Wallingford, Connecticut 06492
 (203) 915-8301

| | | | |
|-----------|----------|--------|--|
| DATE: | SCALE: | SHT #: | |
| 1/11/2024 | 1" = 40' | SP-1 | |



PLANTING NOTES:

- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS, TREES, AND SHRUBS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE ONE YEAR GUARANTEE PERIOD.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY.
- ALL SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH SHREDDED HARDWOOD BARK MULCH.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY ENGINEER. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING OF THE INSTALLED TREE MUST BE COMPLETED THE SAME DAY AS IT IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.

LANDSCAPING PLAN

- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING AND UTILITY DRAWINGS FOR STORM, SANITARY AND WATER LINES. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- LANDSCAPE PLANTING PITS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND BLASTED ROCK SHALL BE REMOVED FROM WITHIN TRAFFIC ISLANDS TO BE LANDSCAPED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS. REPLACE SOIL WITHIN ISLANDS WITH MODERATELY COMPACTED LOAM OR SANDY LOAM FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN ISLANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.
- PLANTING SOIL MIXTURE FOR TREES AND SHRUBS:
1 PART PEAT MOSS
MYCORRHIZA INOCULANT - "TRANSPLANT 1-STEP" AS MANUFACTURED BY ROOTS, INC. OR APPROVED EQUAL. USE PER MANUFACTURER'S RECOMMENDATIONS FOR TREES AND SHRUBS.
FERTILIZER/LIME (APPLY AS RECOMMENDED BY SOIL ANALYSIS)
- PLANTING SOIL MIXTURE FOR PERENNIAL AND ORNAMENTAL GRASS BEDS:
1 PART PEAT MOSS
1 PART MANURE (WEED FREE)
3 PARTS TOPSOIL
FERTILIZER/LIME (APPLY AS RECOMMENDED BY SOIL ANALYSIS)
MILORGANITE APPLIED AT 5 LBS. PER 100 S.F.
- TIME OF PLANTING: NEW PLANT MATERIALS SHALL BE INSTALLED AFTER SEPTEMBER 15TH AND NO LATER THAN OCTOBER 31ST.
- TOPSOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUBMIT TOPSOIL TO A CERTIFIED TESTING LABORATORY TO DETERMINE pH, FERTILITY, ORGANIC CONTENT AND MECHANICAL COMPOSITION. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS FROM REGIONAL TESTING OFFICE OF USDA TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL INCORPORATE AMENDMENTS FOR GOOD PLANT GROWTH AND PROPER SOIL ACIDITY RECOMMENDED FROM THE TOPSOIL TEST.

SEEDING MIXTURES:

- LAWN SEEDING MIXTURE
15% KENTUCKY BLUEGRASS (POA PRATENSIS - SINGLE VARIETY)
15% PERENNIAL RYEGRASS (LOLIUM PERENNE)
30% CREEPING RED FESCUE (FESTUCA RUBRA "SHADEMASTER II")
25% CHEWINGS FESCUE (FESTUCA RUBRA "JAMESTOWN II")
15% HARD FESCUE (FESTUCA OVINA "RELIANT II")
SEEDING RATE: 4.5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDING).
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
 - NO-MOW / LOW MAINTENANCE SEEDING MIXTURE - BLEND OF 3 TO 5 CREEPING RED FESCUES
SEEDING RATES: 4-5 LBS PER 1,000 S.F. (ADD 10% TO QUANTITY IF HYDROSEEDING).
SEEDING DATES: SEPTEMBER 1 - OCTOBER 1 AND APRIL 15 - JUNE 15 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. ALL AREAS CALLED OUT AS NO-MOW OR LOW MAINTENANCE SEEDING MIXTURE ON THE LANDSCAPE PLAN SHALL BE SEEDING AS INDICATED.
 - STEEP SLOPES (>3:1) SEED MIX: "LOW-GROWING WILDFLOWER & GRASS MIX" ERNMX #156 BY ERNST SEEDS, 9006 MERCER PIKE, MEADVILLE, PA 16335; www.ernstseeds.com; 800-873-3321 OR APPROVED EQUIVALENT.
 - WET BASIN SEED MIX: "NEW ENGLAND WET MIX" BY NEW ENGLAND WETLAND PLANTS, INC., AMHERST, MA.
APPLY AT A RATE OF 18 LBS PER ACRE (1 LB/2,500 SF).
- ALL SLOPES GREATER THAN 3:1 RECEIVING A GRASS SEEDING MIXTURE SHALL BE COVERED WITH AN EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDING WITH THE LAWN SEEDING MIXTURE.

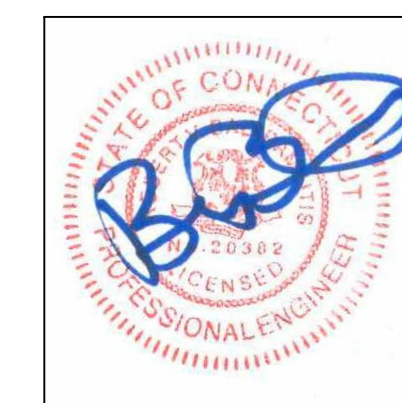
PLANT LIST:

| CODE | QTY. | BOTANICAL NAME | COMMON NAME | ROOT/SPACING | PLANTING SIZE |
|------|------|---|-------------------------|-------------------|---------------|
| AA | 5 | ACER RUBRUM 'AUTUMN FLAME' | AUTUMN FLAME MAPLE | B&B 2 1/2" CAL | 8-10' ht. |
| JUN | 21 | JUNIPERUS HORIZONTALIS | BLUE RUG JUNIPER | 1 GALLON, 3" O.C. | 12" ht. |
| CA | 8 | CALAMAGROSTIS ACUTIFLORA KARL FOERSTER | KARL FEATHER REED GRASS | 1 GALLON 3" O.C. | 1-2' ht. |

LEGEND

- PROPOSED**
- PROPOSED CURB
 - PROPOSED CONCRETE
 - PROPOSED RIP RAP
 - PROPOSED LANDSCAPING

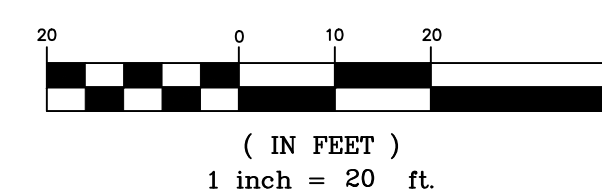
SITE PLAN



PROPERTY OWNER/APPLICANT:

West High Enterprises
244 Middletown Ave
East Hampton, CT 06424

GRAPHIC SCALE



GENERAL NOTES:

- EXISTING CONDITIONS BASED ON PREVIOUS APPROVED PLAN DESIGNED BY CHATHAM ENGINEERING.
- ALL PROPOSED PAVED AREAS SHALL BE 2" TOP COURSE, ON 2" BINDER COURSE, ON 6" SUBBASE, ON 8" GRAVEL.
- ALL CURBING SHOWN IS TO BE 6" BIT CURBING.
- PROPOSED RETAINING WALL SHALL BE DECORATIVE MODULAR BLOCK WALL DESIGNED BY MANUFACTURER.
- PARKING SHALL BE 4" WHITE, QUICK DRY EPOXY PAINT. FOR ALL ANGLED STRIPING, LINES SHALL BE 2' APART.
- ALL ADA PARKING AND SIGNAGE SHALL MEET ALL CURRENT ADA GUIDELINES.
- THE DEVELOPMENT REQUIRES A CURB CUT PERMIT FROM CT DOT.

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

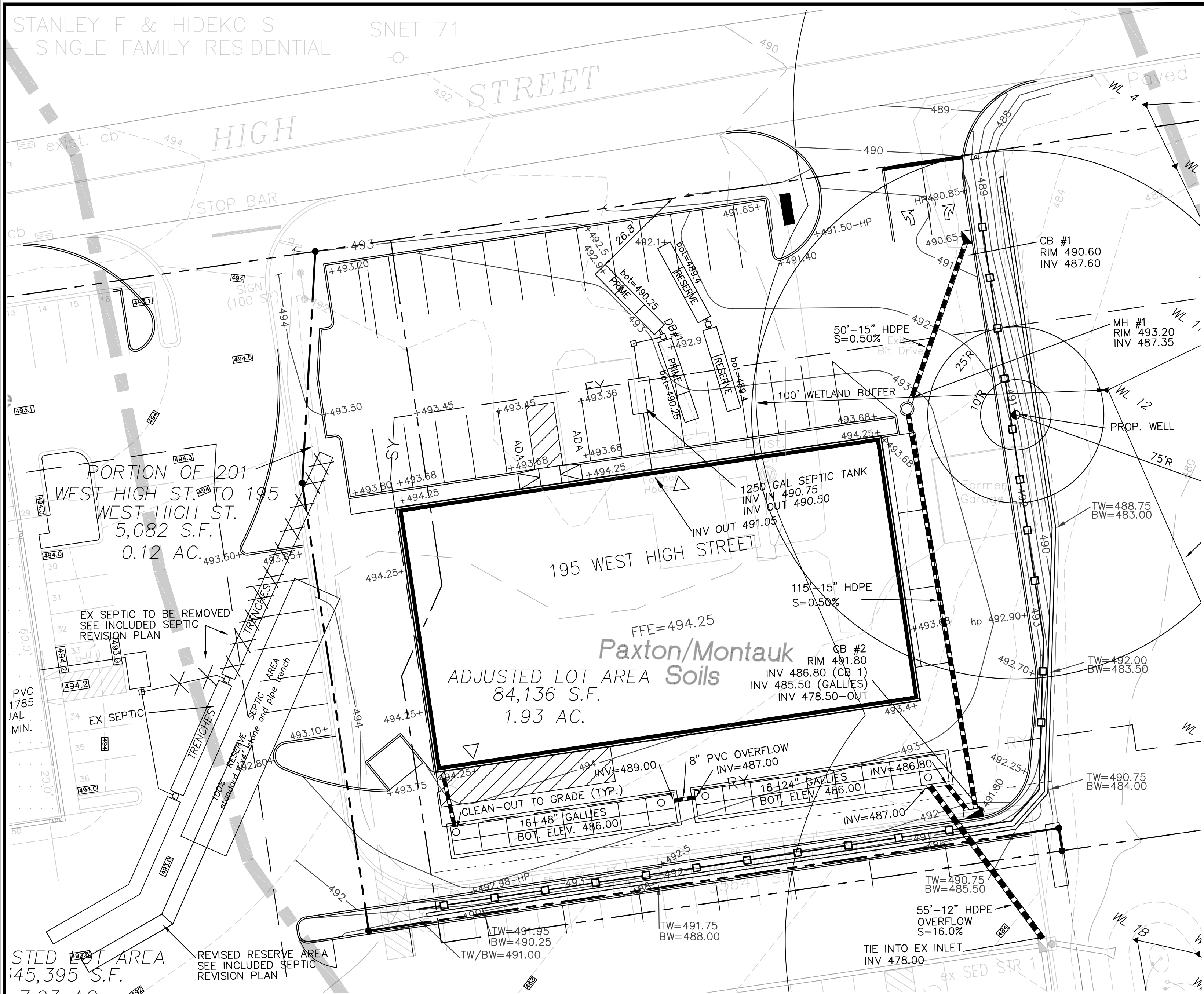
SITE PLAN / LANDSCAPING PLAN

PROPOSED COMMERCIAL BUILDING
PROPERTY OF WEST HIGH ENTERPRISES
195 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
27 Tammy Hill Road
Wallingford, Connecticut 06492
(203) 915-8301

DATE: 1/11/2024 SCALE: 1" = 20' SHT #: SP-2

| # | DATE | DESCRIPTION |
|---|-----------|---|
| 2 | 2/25/2024 | REFLAG WETLANDS. ADJUST 100 BUFFER/DISTURBANCE AREA AND REVISE SEPTIC |
| 1 | 1/22/2024 | P & Z SUBMISSION |
| | | REVISIONS |



GRADING AND UTILITY PLAN

GRADING AND UTILITY NOTES:

1. THE PROPERTY IS LOCATED IN THE ZONE X FLOOD PLAN AS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2 PERCENT (500-YEAR) ANNUAL CHANCE FLOOD PLAN AS REFERENCED FROM THE FLOOD INSURANCE RATE MAP PANEL 141 OF 450, MAP NUMBER 09007C0141G, EFFECTIVE DATE AUGUST 28, 2008.
2. THE MAINTENANCE OF THE UNDERGROUND DETENTION SYSTEM WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

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Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

Date: _____

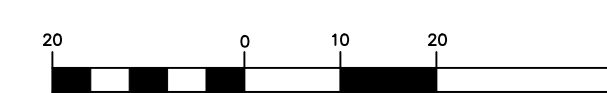
Expiration Date: _____

LEGEND

- PROPOSED CURB
- PROPOSED CONCRETE
- PROPOSED RIP RAP
- PROPOSED LANDSCAPING

PROPERTY OWNER/APPLICANT:
 West High Enterprises
 244 Middletown Ave
 East Hampton, CT 06424

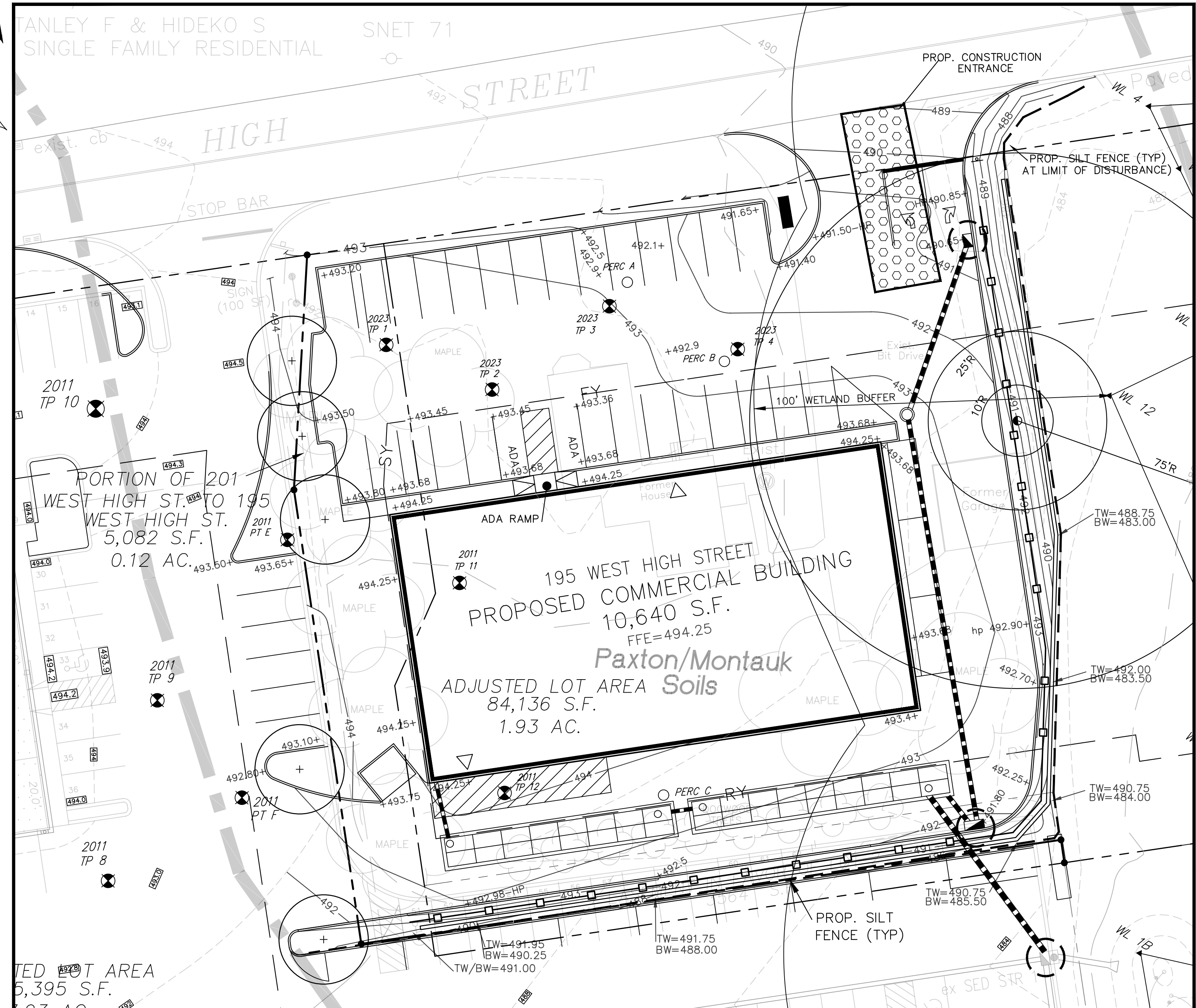
GRAPHIC SCALE



(IN FEET)
 1 inch = 20 ft

EROSION CONTROL NOTES:

1. EROSION CONTROL BLANKETS WILL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1

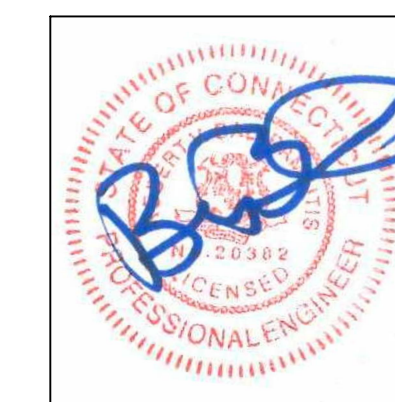


EROSION SEDIMENT CONTROL PLAN

**GRADING AND UTILITY /
 EROSION SEDIMENT CONTROL PLAN**
PROPOSED COMMERCIAL BUILDING
PROPERTY OF WEST HIGH ENTERPRISES
195 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
 27 Tammy Hill Road
 Wallingford, Connecticut 06492
 (203) 915-8301

DATE: 1/11/2024 SCALE: 1" = 20' SHT #: SP-3



| # | DATE | DESCRIPTION |
|---|-----------|---|
| 3 | 2/25/2024 | REFLAC WETLANDS, ADJUST 100 BUFFER/DISTURBANCE AREA AND REVISE SEPTIC |
| 2 | 2/12/2024 | REVISE WELL LOCATION AND RAISE SITE |
| 1 | 1/22/2024 | P & Z SUBMISSION |

SITE INVESTIGATION FOR A SEWAGE DISPOSAL SYSTEM

Property Owner: Wayne Rand - Buyer, Dave Erlanson - engineer, John Cascio - operator
Location: 195 West High Street, East Hampton, CT.

DATE: 11/8/11
(Record all Test Pits)

| TEST PIT: | TP-1 | TEST PIT: | TP-1A | TEST PIT: | TP-2 |
|-------------------------------------|------|-------------------------------------|-------|--|------|
| 0-2" Topsoil | | 0-2" Topsoil | | 0-10" Topsoil | |
| 2-4" Orange brown fine sand (loose) | | 2-4" Orange brown fine sand (loose) | | 10-27" Orange brown very fine sandy loam (loose) | |
| 4-24" Tan fine sand with silt | | 4-24" Tan fine sand with silt | | 27-82" Grayish silty (very firm to compact) | |
| 24-32" Grayish silty (very firm) | | 24-32" Grayish silty (very firm) | | | |
| Redox/Mottles: | 35" | Redox/Mottles: | 35" | Redox/Mottles: | 27" |
| GW: Seeps @ 53", GW @ 59" | | Redox/Mottles: | 59" | GW: Seeps @ 29", GW @ 27" | |
| Ledge: No refusal | | Ledge: No refusal | | Ledge: No refusal | |
| Roots: 36" | | Roots: 36" | | Roots: None seen | |
| Restrictive: 35" | | Restrictive: 35" | | Restrictive: 27" | |

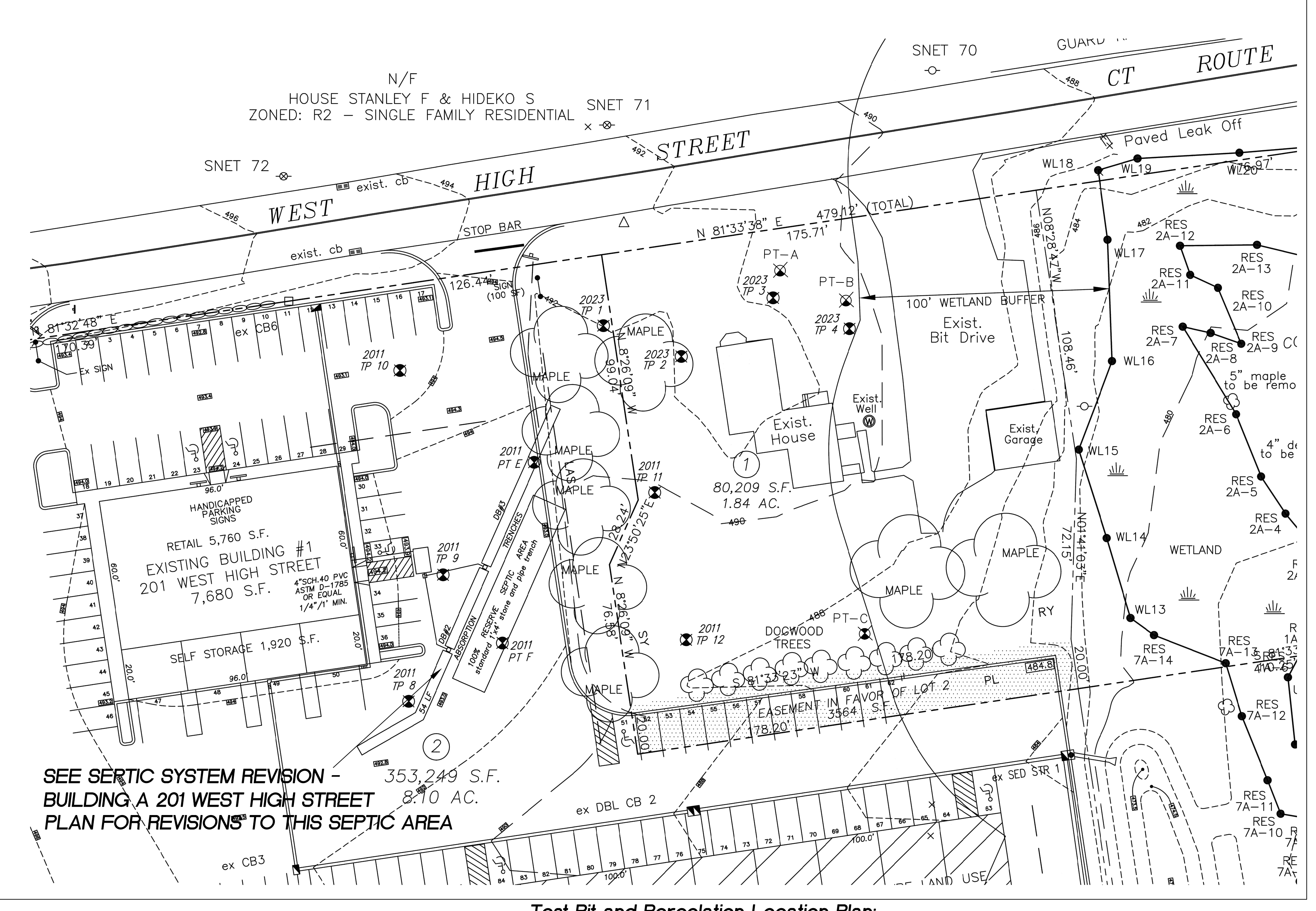
| TEST PIT: | TP-3 | TEST PIT: | TP-4 | TEST PIT: | TP-5 |
|---|------|---|------|---|------|
| 0-2" Topsoil | | 0-2" Topsoil | | 0-8" Topsoil | |
| 2-22" Grayish tan silty fine sand (firm, wet) | | 2-22" Grayish tan silty fine sand (firm, wet) | | 8-24" Orange fine sandy loam with silts | |
| 22-70" Gray silty till | | 22-65" Grayish silty till | | 24-55" Grayish sandy till | |
| Redox/Mottles: | 35" | Redox/Mottles: | 22" | Redox/Mottles: | 24" |
| GW: Seeps @ 27", GW @ 54" | | GW: Seeps @ 29", GW @ 36" | | GW: Seeps @ 31", GW @ 27" | |
| Ledge: No refusal | | Ledge: No refusal | | Ledge: No refusal | |
| Roots: 23" | | Roots: None | | Roots: 35" | |
| Restrictive: 23" | | Restrictive: 22" | | Restrictive: 24" | |

| TEST PIT: | TP-6 | TEST PIT: | TP-7 | TEST PIT: | TP-8 |
|--------------------------------------|------|--|------|--|------|
| 0-2" Topsoil | | 0-9" Topsoil | | 0-9" Topsoil | |
| 2-25" Orange loamy fine sand (loose) | | 10-21" Orange tan loamy fine sand (loose, wet) | | 9-22" Tan silty fine sandy loam (loose, wet) | |
| 25-58" Tan and grayish sandy till | | 21-63" Grayish sandy till | | 22-55" Grayish sandy till (dense) | |
| Redox/Mottles: | 30" | Redox/Mottles: | 21" | Redox/Mottles: | 22" |
| GW: Seeps @ 19", GW @ 21" | | GW: Seeps @ 21", GW @ 25" | | GW: Seeps @ 24", GW @ 25" | |
| Ledge: No refusal | | Ledge: No refusal | | Ledge: 55" | |
| Roots: 20" | | Roots: None | | Roots: 22" | |
| Restrictive: 19" | | Restrictive: 21" | | Restrictive: 23" | |

| TEST PIT: | TP-9 | TEST PIT: | TP-10 | TEST PIT: | TP-11 |
|---------------------------|------|-----------------------------------|-------|--|------------------------|
| 0-7" Topsoil | | 0-10" Topsoil | | 0-9" Topsoil | |
| 7-21" Tan loamy fine sand | | 10-22" Tan silty fine sandy loam | | 9-22" Orange brown silty fine sandy loam (loose, damp) | |
| 21-72" Grey sandy till | | 22-35" Grayish tan very fine sand | | 22-30" Orange coarse sand and gravel (loose) | |
| Redox/Mottles: | 19" | Redox/Mottles: | 22" | Redox/Mottles: | Iron stains @ 24 & 33" |
| GW: Seeps @ 36", GW @ 41" | | GW: Seeps @ 40", GW @ 43" | | GW: 47" | |
| Ledge: No refusal | | Ledge: None | | Ledge: None | |
| Roots: 22" | | Roots: 27" | | Roots: 29" | |
| Restrictive: 19" | | Restrictive: 22" | | Restrictive: ? | |

| TEST PIT: | TP-12 | TEST PIT: | TP-13 | TEST PIT: | TP-14 |
|--|-----------------------|--|----------|--|-------|
| 0-11" Topsoil | | 0-9" Topsoil | | 0-4" Topsoil | |
| 11-21" Dark orange brown fine sandy loam | | 10-17" Brown fine sandy loam (loose) | | 22-32" Orange loamy sand (wet) | |
| 21-33" Iron stained coarse sand and gravel (loose to firm) | | 20-70" Sand and gravel till, (firm, loose) | | 32-38" Orange loamy sand (wet) | |
| 33-66" Gray sandy till, some is loose | | 28-58" Gray sandy till (firm) | | 38-65" Brown sandy till with silts | |
| Redox/Mottles: | Possible mottle @ 32" | Redox/Mottles: | Not seen | Redox/Mottles: | 39" |
| GW: 44" | | GW: 53" | | GW: Seeps @ 48", GW @ 47" | |
| Ledge: None | | Ledge: None | | Ledge: None | |
| Roots: 24" | | Roots: 13" (lawn) | | Roots: 40" | |
| Restrictive: 32" | | Restrictive: 53" | | Restrictive: 39" which is 17" into original grade (not suitable) | |

| TEST PIT: | TP-15 | TEST PIT: | TP-16 | TEST PIT: | TP-17 |
|---|-------|-------------------------------------|-------|---|-----------------------|
| 0-12" Red brown sandy fill with gravel | | 0-2" Topsoil | | 0-2" Topsoil | |
| 12-24" Grayish tan medium sand and gravel | | 2-18" Brown fine sandy loam (loose) | | 18-28" Orange medium to coarse sand and gravel (loose, wet) | |
| 24-35" Black sandy muck and gravel (loose, wet) | | 28-58" Gray sandy till (firm) | | 20-57" Red and gray sand | |
| Redox/Mottles: | 36" | Redox/Mottles: | 31" | Redox/Mottles: | Possible mottle @ 20" |
| GW: Seeps @ 51", GW @ 61" | | GW: Seeps @ 29", GW @ 32" | | GW: 57" | |
| Ledge: None | | Ledge: None | | Ledge: 57" | |
| Roots: None | | Roots: 27" | | Roots: 25" | |
| Restrictive: 36" which is 12" into original grade | | Restrictive: 31" | | Restrictive: 20" | |



| Perc # E | RATE = 16 min/inch |
|------------------------------|--------------------|
| Pre-soaked: 8/9/12 @ 3:05 PM | |
| Tested: 8/9/2012 | |
| Time | Depth (in) |
| 4:23 | 6 1/4 |
| 4:35 | 8 7/8 |
| 4:47 | 10 7/8 |
| 4:59 | 12 3/4 |
| 5:11 | 14 1/2 |
| 5:23 | 15 5/8 |
| 5:35 | 16 1/2 |
| 5:47 | 17 1/4 |
| 5:59 | 18 Dry |

| Perc # F | RATE = 12 min/inch |
|------------------------------|--------------------|
| Pre-soaked: 8/9/12 @ 3:05 PM | |
| Tested: 8/9/2012 | |
| Time | Depth (in) |
| 4:24 | 6 1/2 |
| 4:36 | 10 3/4 |
| 4:48 | 13 1/2 |
| 5:00 | 15 1/8 |
| 5:12 | 16 1/4 |
| 5:24 | 17 1/4 |
| 5:36 | 18 Dry |

195 West High Street - Septic System Design

PRIMARY SYSTEM
50 SQ. FT. EFF. LEACH AREA
USE 12" CONCRETE LEACH GALERIES
EFFECTIVE LEACHING AREA = 5.9 SQ. FT./ L.F.
LAYUP LENGTH = 50 SQ. FT. = 8.5 L.F.

CHECK MLSS:
MLSS = HF x FF x PF
= 28 (39" TO MOTTLES [TEST PIT 3], SLOPE=3.8%)
x 70/300 (NON-RES)
x 1.0 (<10 MIN/INCH RATE)
= 28 X 0.23 X 1.0 = 6.5 FEET

48 L.F. PROVIDED

Septic System Sizing

DESIGN FLOW:
PER CT DPH DESIGN MANUAL SDDS FOR HOUSEHOLDS AND SMALL COMMERCIAL BUILDINGS
Use AVERAGE of similar facilities and apply 1.5-2.0 Safety Factor
AVG Metered Daily Flow = 35 GPD
(Based on 4 Study Sites)
Design Flow = 35 GPD x 2.0 = 70 GPD

USE DESIGN FLOW = 70 GPD
REQ'D EFF. LEACHING AREA (ELA) = DESIGN FLOW / APPLICATION RATE
APPLICATION RATE = 1.5
PERC RATE = <10 MIN/ INCH
(TABLE 8 CT PHC - NON-PROBLEMATIC SEWAGE)
ELA = 70 GPD / 1.5 = 47 SF (say 50 SF)

Percolation Test Results:

| PT-A | PT-B | PT-C |
|---|---|---|
| PERFORMED: 1/6/24 36" DEEP Overcast, Dry, 37° F by Robert V. Baltramaitis, P.E. PRE-SOAKED 1:25 PM | PERFORMED: 1/6/24 30" DEEP Overcast, Dry, 37° F by Robert V. Baltramaitis, P.E. PRE-SOAKED 1:25 PM | PERFORMED: 1/6/24 24" DEEP Overcast, Dry, 37° F by Robert V. Baltramaitis, P.E. PRE-SOAKED 1:26 PM |
| TIME (min) READING DROP RATE (MIN/INCH) | TIME (min) READING DROP RATE (MIN/INCH) | TIME (min) READING DROP RATE (MIN/INCH) |
| 2:30 25.25" 1.5" 4.0 | 2:31 18.5" 1.75" 3.4 | 2:32 10.0" 2.875" 2.1 |
| 2:36 26.75" 1.375" 4.4 | 2:37 20.25" 1.5" 4.0 | 2:38 12.875" 2.875" 2.1 |
| 2:42 28.125" 1.375" 4.4 | 2:43 21.75" 1.25" 4.8 | 2:44 15.75" 2.75" 2.2 |
| 2:48 29.5" 1.0" 6.0 | 2:49 23.0" 1.25" 4.8 | 2:50 18.5" 0.75" 8.0 |
| 2:54 30.5" 1.0" 6.0 | 2:55 24.25" 1.25" 4.8 | 2:56 19.25" 0.75" 8.0 |
| 3:00 31.5" 1.0" 6.0 | 3:01 25.25" 1.0" 6.0 | 3:02 20.0" 0.75" 8.0 |
| 3:06 32.375" 0.875" 6.8 | 3:07 26.25" 1.0" 6.0 | 3:08 20.75" 0.75" 8.0 |
| 3:12 33.125" 0.75" 8.0 | 3:13 27.0" 0.75" 8.0 | 3:14 21.5" 0.75" 8.0 |
| 3:18 33.875" 0.75" 8.0 | 3:19 27.75" 0.75" 8.0 | 3:20 22.25" 0.75" 8.0 |
| 3:24 34.625" 0.75" 8.0 | 3:25 28.5" 0.75" 8.0 | DRY |
| RATE = 8.0 MIN/ INCH | RATE = 8.0 MIN/ INCH | RATE = 8.0 MIN/ INCH |

Property Owner: West High Street Enterprises LLC
Location: 195 West High Street
DATE: 11.15.2023

| TEST PIT: 1 | TEST PIT: 2 |
|--|--|
| 0-8" - Natural topsoil | 0-10" - Natural topsoil |
| 8-25" - Light orange brown medium sandy loam | 10-16" - Orange brown medium sandy loam |
| 25-40" - Light brown sand | 16-29" - Light brown medium sand with gravel |
| 40-71" - Light brown, olive brown medium sand with gravel and stones, damp | 29-79" - Grey sandy hardpan, compact damp |
| Mottles: 24" | Mottles: 27" |
| GW: None | GW: None |
| Ledge: no refusal | Ledge: no refusal |
| Roots: 40" | Roots: most to 29" some to 39" |
| Restrictive: 24" | Restrictive: 27" |

| TEST PIT: 3 | TEST PIT: 4 |
|--|--|
| 0-6" - Fill material | 0-3" - Topsoil |
| 6-18" - Topsoil | 3-11" - Fill material |
| 18-28" - Fine to medium orange brown sandy loam | 11-18" - Original topsoil |
| 28-75" - Light brown, olive brown medium to coarse sand with gravel and stones, moderately compact, damp | 18-34" - Orange brown medium sandy loam with gravel |
| Mottles: none visible some iron staining at 39" | Mottles: 39" |
| GW: none | GW: None |
| Ledge: no refusal | Ledge: none |
| Roots: most 22" | Roots: most to 42" |
| | Restrictive: (39" - 11" of fill) = 28" for MLSS calculations |

COMMENTS:
Groundwater Table: (Near max, below max, etc.): Average
Soil Moisture (High, medium, low, etc.): Medium

LOCATION DRAWING INCLUDING ALL TEST PITS AND PERCOLATION HOLES

| SPECIAL CONDITIONS | CONCLUSIONS |
|---------------------------------|--|
| Design Flow > 2000 GPD | N Suitable for Sewage Disposal YES |
| Public Water Supply Watershed | ? Unsuitable for Sewage Disposal N |
| Probable High Groundwater | ? Additional Investigation Req'd MAYBE |
| Slope > 25 percent | N Wet Season Monitoring Req'd N |
| Perc Rate < 1 min/inch | ? Retest During Wet Season N |
| Perc Rate < 30 min/inch | ? Well Exception Required N |
| Ledge < 5 feet below grade | N Licensed Engineer Plan Req'd YES |
| Limited Suitable Area | N |
| Open Watercourse or Wetlands | ? |
| Flood Plain / Seasonal Flooding | ? |
| G.W. 36 inches below grade | Y |

DESIGN RECOMMENDATIONS/COMMENTS:

- Perc test to be conducted by PE? Engineering firm. Submit location, logs and data to CHD for review.
- Test pits marked on-site with stakes. Locations to be surveyed, labeled as per concept plan # dated 11.07.23
- Provide a specific design flow and floor/ building plans for review and approval.
- Lot line adjustments shall meet 19-13-B100a and require CHD review and approval.

FORM COMPLETED BY: Liz Davidson, RS, MPH
OTHERS PRESENT FOR SITE INVESTIGATION (Engineer, developer, Installer, etc.):
Zac - excavating contractor

PROPERTY OWNER/APPLICANT:
West High Enterprises
244 Middletown Ave
East Hampton, CT 06424

| # | DATE | DESCRIPTION |
|---|-----------|---|
| 2 | 2/25/2024 | REFLAG WETLANDS, ADJUST 100 BUFFER/DISTURBANCE AREA AND REVISE SEPTIC |
| 1 | 1/22/2024 | P & Z SUBMISSION |
| | | REVISIONS |

SEPTIC DESIGN DATA

PROPOSED COMMERCIAL BUILDING
PROPERTY OF WEST HIGH ENTERPRISES
195 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
27 Tammy Hill Road
Wallingford, Connecticut 06492
(203) 915-8301

DATE: 1/11/2024 SCALE: NTS SHT #: TD-1



Figure PS-3 Seed Mixtures for Permanent Seeding

| No. | Seed Mixture (Variety) ⁴ | Lbs/Acre | Lbs/1,000 Sq. Ft. |
|-----------------|---|-----------------|-------------------|
| 1 ⁵ | Kentucky Bluegrass | 20 | .45 |
| | Creeping Red Fescue (Pennlawn, Wintergreen) | 20 | .45 |
| | Perennial Ryegrass (Norica, Manhattan) | 5 | .10 |
| | Total | 45 | 1.00 |
| 2 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) | 20 | .45 |
| | Redtop (streaker, Common) | 2 | .05 |
| | Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln) | 20 | .45 |
| | Total | 42 | .95 |
| 3 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) | 20 | .45 |
| | Bird's-foot Trefoil (Empire, Viking) with inoculant ¹ | 8 | .20 |
| | Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln) | 20 | .45 |
| | Total | 48 | 1.10 |
| 4 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31) | 20 | .45 |
| | Redtop (streaker, Common) | 2 | .05 |
| | Bird's-foot Trefoil (Empire, Viking) with inoculant ¹ | 8 | .20 |
| | Total | 30 | .70 |
| 5 ⁵ | White Clover | 10 | .25 |
| | Perennial Ryegrass | 2 | .05 |
| | | Total | 12 |
| 6 ⁵ | Creeping Red Fescue | 10 | .50 |
| | Redtop (streaker, Common) | 2 | .05 |
| | Perennial Ryegrass | 20 | .50 |
| | Total | 42 | 1.05 |
| 7 ⁵ | Smooth Bromegrass (Saratoga, Lincoln) | 15 | .35 |
| | Perennial Ryegrass (Norica, Manhattan) | 5 | .10 |
| | Bird's-foot Trefoil (Empire, Viking) with inoculant ¹ | 10 | .25 |
| | Total | 30 | .70 |
| 8 ⁶ | Switchgrass (Blackwell, Shelter, Cave-in-rock) | 10 ¹ | .25 |
| | Weeping Lovegrass | 3 | .07 |
| | Little Bluestem (Blaze, Aldous, Camper) | 10 ¹ | .25 |
| | Total | 23 | .57 |
| 9 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) | 10 | .25 |
| | Crown Vetch (Chemung, Penngift) with inoculant ¹ | 30 | .75 |
| | (or Flatpea (Lathco) with inoculant ¹) | 10 | .25 |
| | Total | 42 (or 57) | 1.00 (or 1.40) |
| 10 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) | 20 | .45 |
| | Redtop (streaker, Common) | 2 | .05 |
| | Crown Vetch (Chemung, Penngift) with inoculant (or Flatpea (Lathco) with inoculant) | 15 | .35 |
| | Total | 37 (or 125) | .85 (or 1.25) |
| 11 ⁵ | Bird's-foot Trefoil (Empire, Viking) with inoculant ¹ | 8 | .20 |
| | Crown Vetch (Chemung, Penngift) with inoculant ¹ | 15 | .35 |
| | Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31) | 15 | .35 |
| | Total | 45 | 1.05 |
| 12 ⁶ | Switchgrass (Blackwell, Shelter, Cave-in-rock) | 101 | .25 |
| | Perennial Ryegrass (Norica, Manhattan) | 5 | .10 |
| | Crown Vetch (Chemung, Penngift) with inoculant ¹ | 15 | .35 |
| | Total | 121 | 3.00 |
| 13-15 | Not used | | |
| 16 ⁵ | Tall Fescue (Kentucky 31) | 20 | .45 |
| | Flatpea (Lathco) with inoculant ¹ | 30 | .75 |
| | | Total | 50 |
| 17 & 18 | Not used | | |
| 19 ⁵ | Chewing Fescue | 35 | .80 |
| | Hard Fescue | 30 | .70 |
| | Colonial Bentgrass | 5 | .10 |
| | Total | 70 | 1.60 |
| 21 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) | 40 | .90 |
| | Redtop (streaker, Common) | 2 | .05 |
| | Tall Fescue (Kentucky 31) | 20 | .45 |
| | Total | 60 | 1.35 |
| 22 ⁵ | Creeping Red Fescue (Pennlawn, Wintergreen) | 15 | .35 |
| | Flatpea (Lathco) with inoculant ¹ | 30 | .75 |
| | | Total | 45 |
| 24-28 | Not Used | | |
| 29 | Turf Type Tall Fescue (Bonanza, Mustang, Rebel II, Spartan, Jogurt) or Perennial Ryegrass (Future 2000 [®] mix, Fiesta II, Blazer II, and Dasher II) | 175 to 250 | 6 to 8 |

Figure PS-2 Selecting Seed Mix to Match Need

| Area To Be Seeded | Mixture Number ¹ | |
|--|-----------------------------|-------------------|
| | Mowing Desired | Mowing Not Req. |
| BORROW AREAS, ROADSIDE, DIKES, LEVEES, POND BANKS AND OTHER SLOPES AND BANKS | | |
| A) Well or excessively drained soils ² | 1,2,3,4,5, or 8 | 5,6,7,8,9,10,11 |
| B) Somewhat poorly drained soils ² | 2 | 12,16, 22 |
| C) Variable drainage soils ² | 2 | 5,6 |
| DRAINAGE DITCH AND CHANNEL BANKS | | |
| A) Well or excessively drained soils ² | 1,2,3 or 4 | 9,10,11,12 |
| B) Somewhat poorly drained soils ² | 2 | |
| C) Variable drainage soils ² | 2 | |
| DIVERSIONS | | |
| A) Well or excessively drained soils ² | 2,3 or 4 | 9,10,11 |
| B) Somewhat poorly drained soils ² | 2 | |
| C) Variable drainage soils ² | 2 | |
| GULLIED AND ERODED AREAS | | 3,4,5,8,10,11,12 |
| SOD WATERWAYS AND SPILLWAYS | 1,2,3,4,6,7, or 8 | 1,2,3,4,6,7, or 8 |
| SUNNY RECREATION AREAS (Picnic areas and playgrounds or driving and archery ranges, nature trails) | 1,2, or 22 | |
| LAWNS AND HIGH MAINTENANCE AREAS | 1,19, 21 or 22 | |

1 The numbers following in these columns refer to seed mixtures in Figure PS-3. Mixes for shady areas are in **bold-face** print (including mixes 20 through 24).
 2 See county soil survey for drainage class. Soil surveys are available from the County Soil and Water Conservation District Office.
 3 Use mix 26 when soil passing a 200 mesh sieve is less than 15% of total weight. Use mix 26 & 27 when passing a 200 mesh sieve is between 15 and 20% of total weight. Use mix 26, 27 & 28 when soil passing a 200 mesh is above 20% of total weight.

| Species ⁴ | Seeding Rates (pounds/acre) | Optimum Seed Depth (inches) | Optimum Seeding Dates ³ | | | | | | | | | | Plant Characteristics | | |
|---|-----------------------------|-----------------------------|------------------------------------|------|------|------|------|------|------|-------|-------|-------|-----------------------|--|--|
| | | | 3/15 | 4/15 | 5/15 | 6/15 | 7/15 | 8/15 | 9/15 | 10/15 | 11/15 | 12/15 | | | |
| Annual ryegrass Lolium multiflorum | 40 | 1.0 | 0.5 | | | | | | | | | | | | May be added in mixes. Will mow out of most stands. |
| Perennial ryegrass Lolium perenne | 40 | 1.0 | 0.5 | | | | | | | | | | | | Use for winter cover. Tolerates cold and low moisture. |
| Winter rye Secale cereale | 120 | 3.0 | 1.0 | | | | | | | | | | | | Quick germinating and heavy spring growth. Dies back in June with little regrowth. |
| Oats Avena sativa | 86 | 2.0 | 1.0 | | | | | | | | | | | | In northern CT, will winter kill with the first killing frost and may throughout the state in severe winters. |
| Winter Wheat Triticum aestivum | 120 | 3.0 | 1.0 | | | | | | | | | | | | Quick germination with moderate growth. Dies back in June with no regrowth. |
| Millet Echinochloa crusgalli | 20 | 0.5 | 1.0 | | | | | | | | | | | | Warm season small grain. Dies with frost in September. |
| Sudangrass Sorghum sudanense | 30 | 0.7 | 1.0 | | | | | | | | | | | | Tolerates warm temperatures and droughty conditions. |
| Sudangrass Sorghum sudanense | 15 | 0.4 | 1.0 | | | | | | | | | | | | Hardy plant that will reseed itself and is good as a green manure crop. |
| Weeping Lovegrass Eragrostis curvula | 5 | 0.2 | 0.25 | | | | | | | | | | | | Warm-season perennial. May bunch. Tolerates hot, dry slopes, acid infertile soils. Excellent nurse crop. Usually winter kills. |
| DOT All Purpose Mix ² | 150 | 3.4 | 0.5 | | | | | | | | | | | | Suitable for all conditions. |

1 May be planted throughout summer if soil moisture is adequate or can be irrigated. Fall seeding may be extended 15 days in the coastal towns.
 2 Seed at twice the indicated depth for sandy soils.
 3 See Permanent Seeding Figure PS-3 for seeding mixture requirements.
 4 Listed species may be used in combinations to be obtained a broader time spectrum. If used in combinations, reduce each species planting rate by 20% of that listed.

WETLANDS APPLICATION DATA

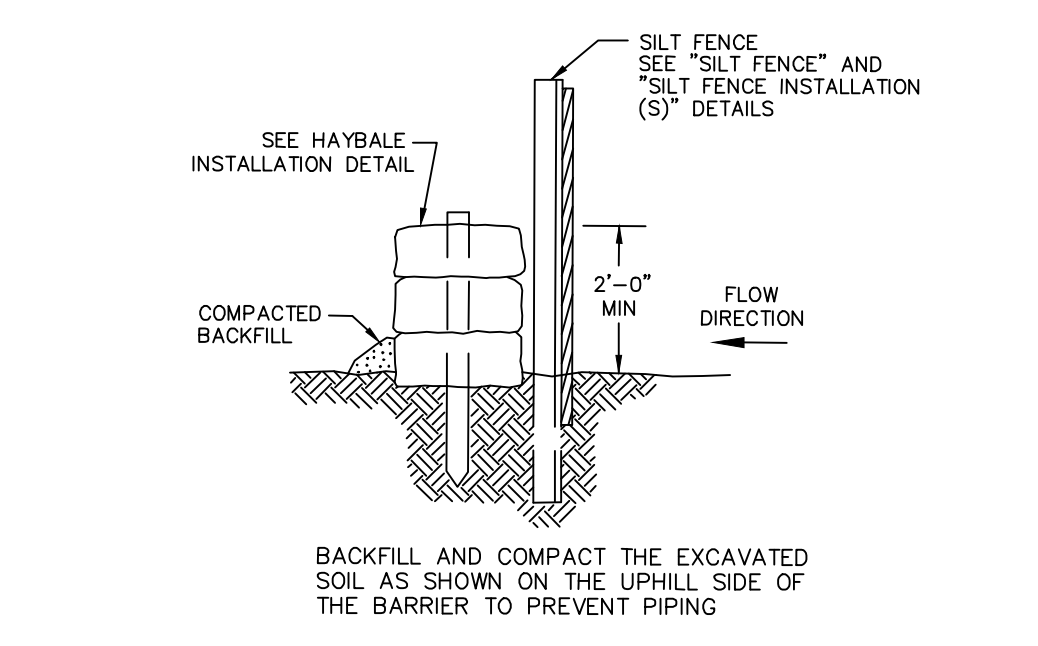
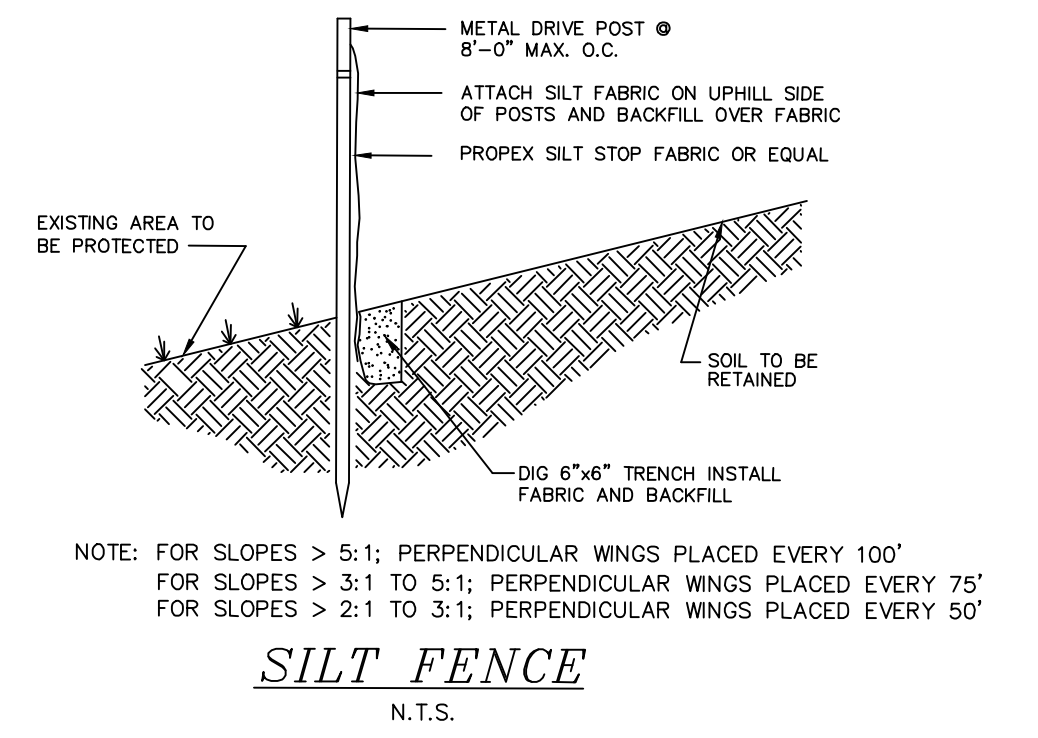
- This project involves the re-development of a 1.93 acre parcel which was formerly a single family residential dwelling. The proposed redevelopment includes changing the use to a free standing 10,640 s.f. Commercial building as well as all the parking and infrastructure needed. The parcel contains inland wetlands soils that currently are located within an existing conservation easement. The redevelopment requires disturbance of approx. 13,546 s.f. of the 100' upland review area.
- The on-site regulated areas to be protected by the use of erosion control measures during construction and the finished surfaces such as grass and pavement.
- The total proposed wetland soils disturbance is 0 S.F.
- The total upland review disturbance is 13,546 S.F.
- Any disturbance below the proposed retaining wall shall be graded, topsoiled and planted with low maintenance seed mix.

EROSION CONTROL INTENT

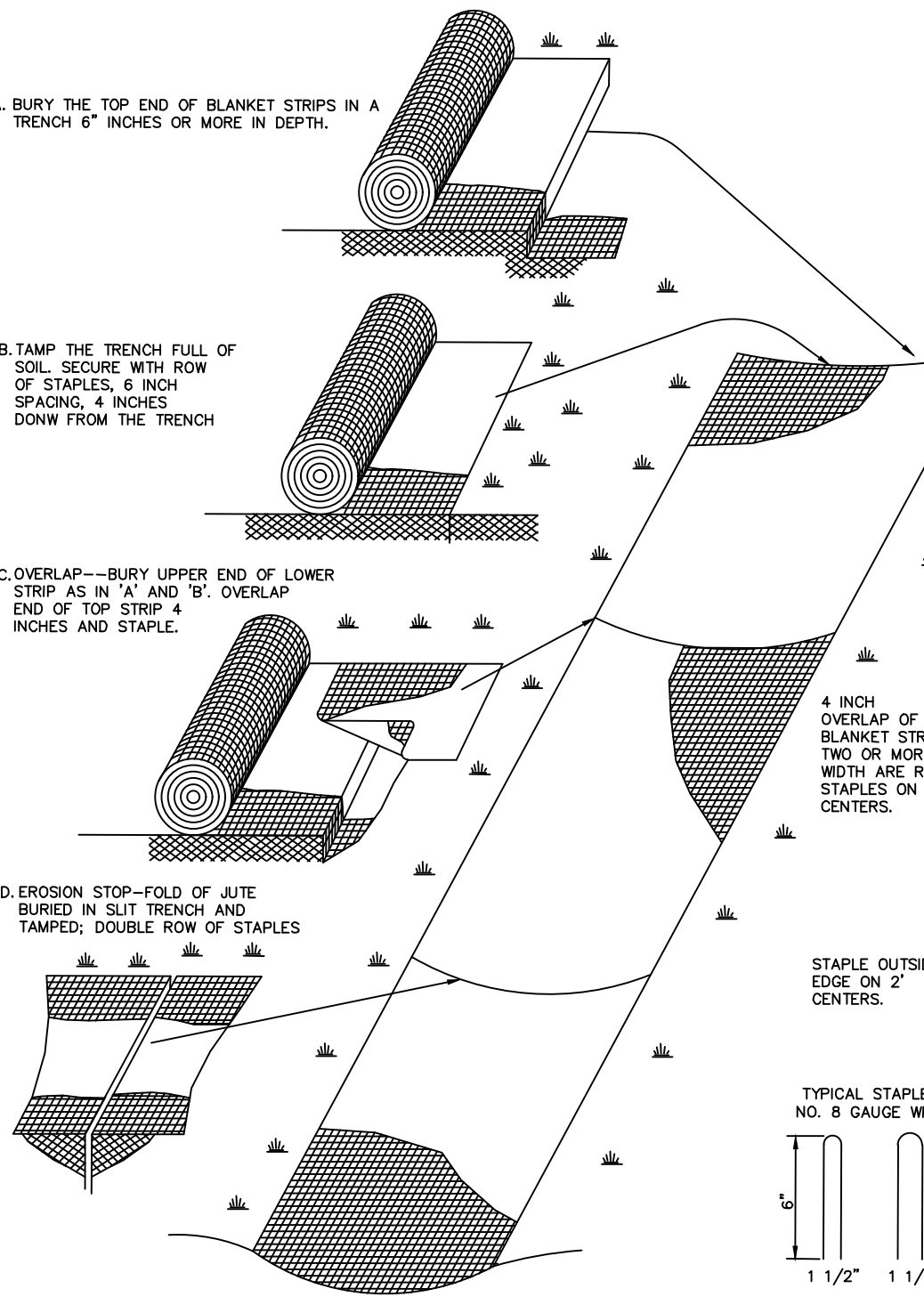
- THE EROSION CONTROL PLAN IS INTENDED TO MINIMIZE THE MOVEMENT OF MATERIAL INTO ADJACENT WETLANDS AND WATERCOURSES BY ONE OR MORE OF THE FOLLOWING:
- LIMIT THE TIME OF BARE SOIL EXPOSURE. ONCE EXCAVATION OR FILL HAS BEEN COMPLETED AND WITHOUT WAITING UNTIL THE ENTIRE SITE IS READY, PROVIDE SOME TYPE OF GROUND COVER AS SPECIFIED. INSTALL MULCH, PAVEMENT, TEMPORARY SEEDING, OR PERMANENT SEEDING. SLOPES SHOULD BE PERMANENTLY SEEDED AS SOON AS FORMING IS COMPLETED.
 - THE USE OF MULCH, TEMPORARY SEEDING OR JUTE MESH WILL BIND THE SOIL BY ABSORBING AND SPREADING HEAVY RAIN CONCENTRATIONS AND MINIMIZING EROSION.
 - A TEMPORARY LINING SHOULD BE USED IN THE BOTTOM OF SWALES TO SLOW VELOCITY OF THE STORMWATER AND PREVENT EROSION. THIS ALSO SETTLES OUT MANY OF THE FINE SILTS. SEE SWALE CHART FOR CHANNEL LINING DETAILS. CONTROL OF SHEET FLOW.
 - THE USE OF SILT FENCE ANCHORED AS REQUIRED, WILL CONTROL SHEET FLOW AS LONG AS THE WATER VOLUME IS NOT GREAT. IN SOME CASES, WHERE THE FLOW IS GREAT ENOUGH, THE FENCE SHOULD BE BACKED UP BY HAY BALES TO PROVIDE STRENGTH AGAINST THE FENCE TIPPING OVER DUE TO THE WATER VOLUME. ACCUMULATED SILT SHOULD BE PERIODICALLY CLEANED FROM IN FRONT OF THE SILT FENCE AND BURIED.
 - THE CONTROL AND REMOVAL OF ALL SILT IS NOT POSSIBLE, BUT BY CAREFUL APPLICATION OF THE REQUIREMENTS OF THIS PLAN COMBINED WITH CONTRACTOR CONCERN WILL GREATLY IMPROVE THE QUALITY OF BOTH THE SITE AREAS AND THE OFF-SITE AREAS.

CONSTRUCTION TIME SCHEDULE

- The total Construction time for all improvements shall be 6-12 months.
- All erosion control measures shall be in place and inspected prior to start of Construction.
- Contractor to construct the proposed retaining wall and fill site.
- Next, the contractor shall do the building foundation and storm drainage.
- Contractor shall do all rough grading and finish drainage network.
- All concrete, curbing and pavement shall be installed.
- Lastly, the contractor shall perform all finished grading, install topsoil, seed, mulch and final landscaping.
- All erosion control measures will remain in place until final signoff from the Town E&S inspector.

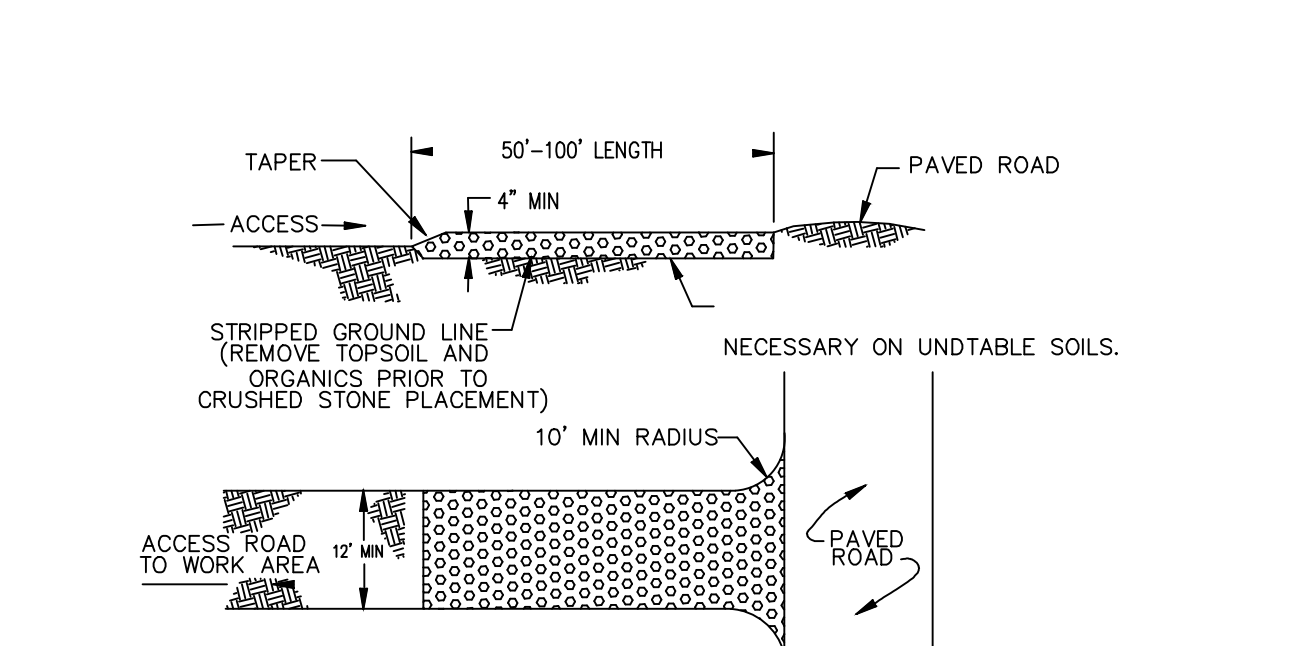
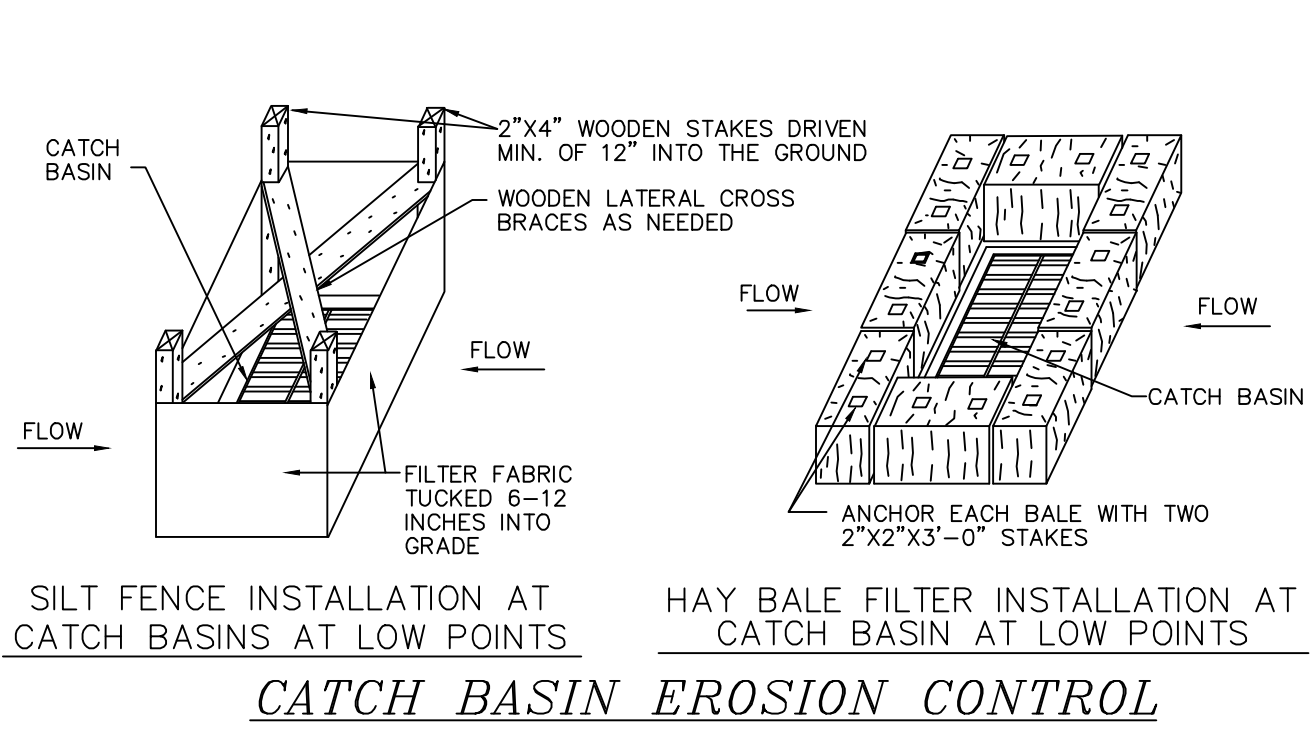


SEDIMENTATION CONTROL BARRIER WITH HAY BALE BARRIER



NOTE: BLANKET IS TO BE INSTALLED ON ANY FINISHED SLOPES THAT ARE STEEPER THAN 3:1

EROSION CONTROL BLANKET INSTALLATION DETAIL



TYPICAL CONSTRUCTION ENTRANCE

PROPERTY OWNER/APPLICANT:
 West High Enterprises
 244 Middletown Ave
 East Hampton, CT 06424



DETAIL SHEET

PROPOSED COMMERCIAL BUILDING
 PROPERTY OF WEST HIGH ENTERPRISES
 195 WEST HIGH STREET
 EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
 27 Tammy Hill Road
 Wallingford, Connecticut 06492
 (203) 915-8301

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Date: _____

Expiration Date: _____

Per Section 8-26c of the Connecticut General Statutes, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

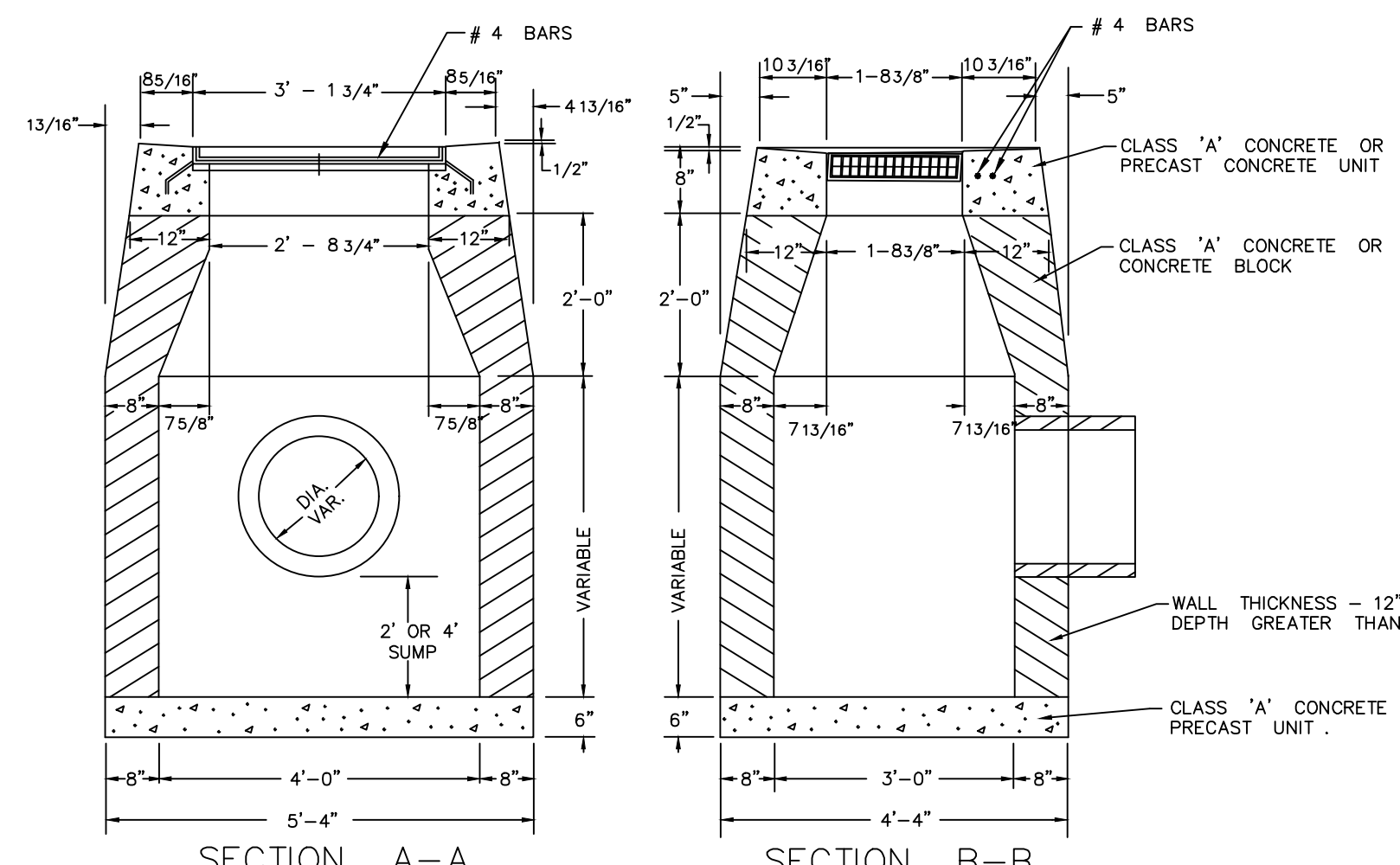
Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

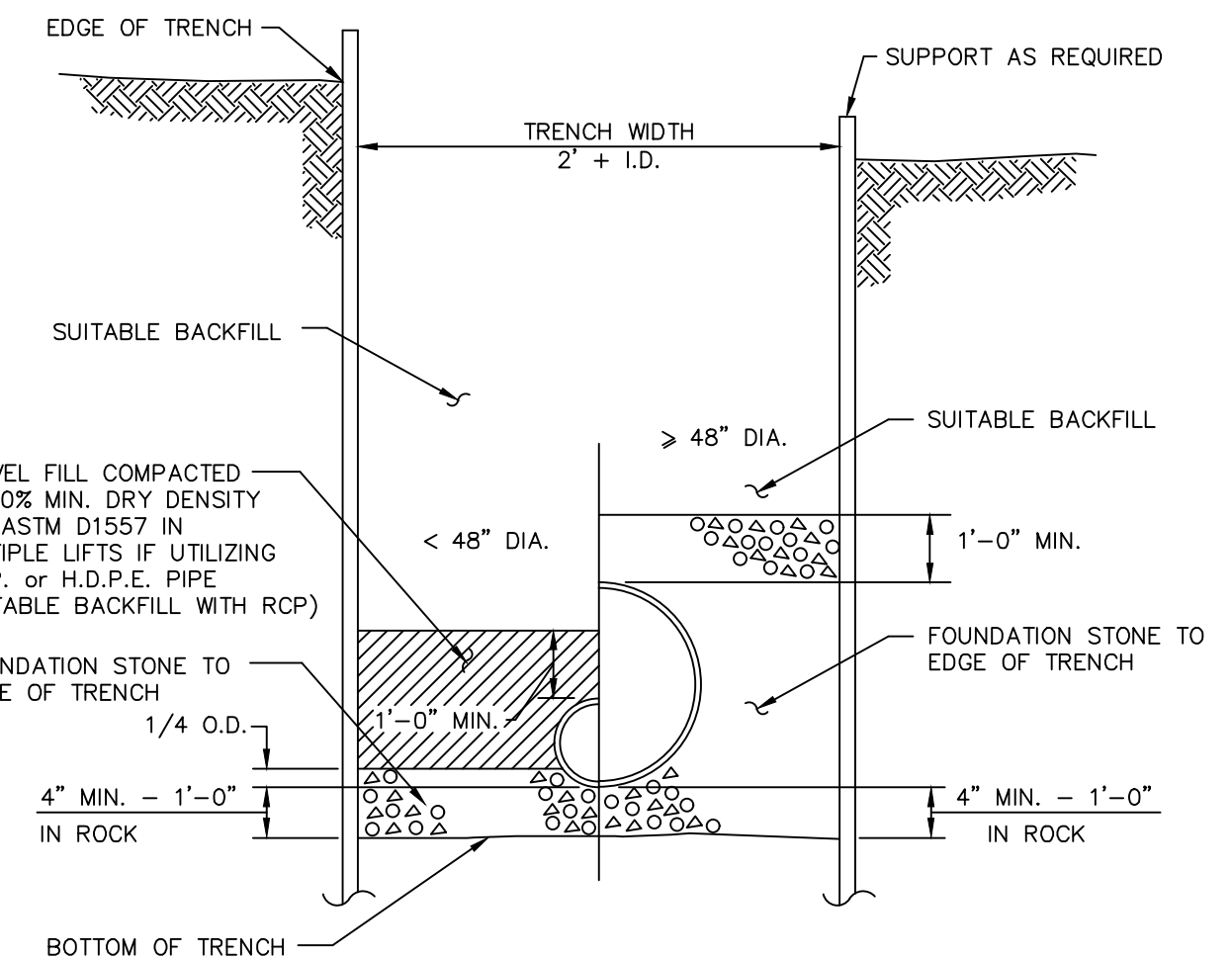
Expiration Date: _____

| # | DATE | REVISIONS |
|---|-----------|---|
| 2 | 2/25/2024 | REFLAG WETLANDS. ADJUST 100 BUFFER/DISTURBANCE AREA AND REVISE SEPTIC |
| 1 | 1/22/2024 | P & Z SUBMISSION |

DATE: 1/11/2024 SCALE: NTS SHT #: DN-1



CONNECTICUT DEPARTMENT OF TRANSPORTATION
TYPE "C-L" CATCH BASIN
N.T.S.

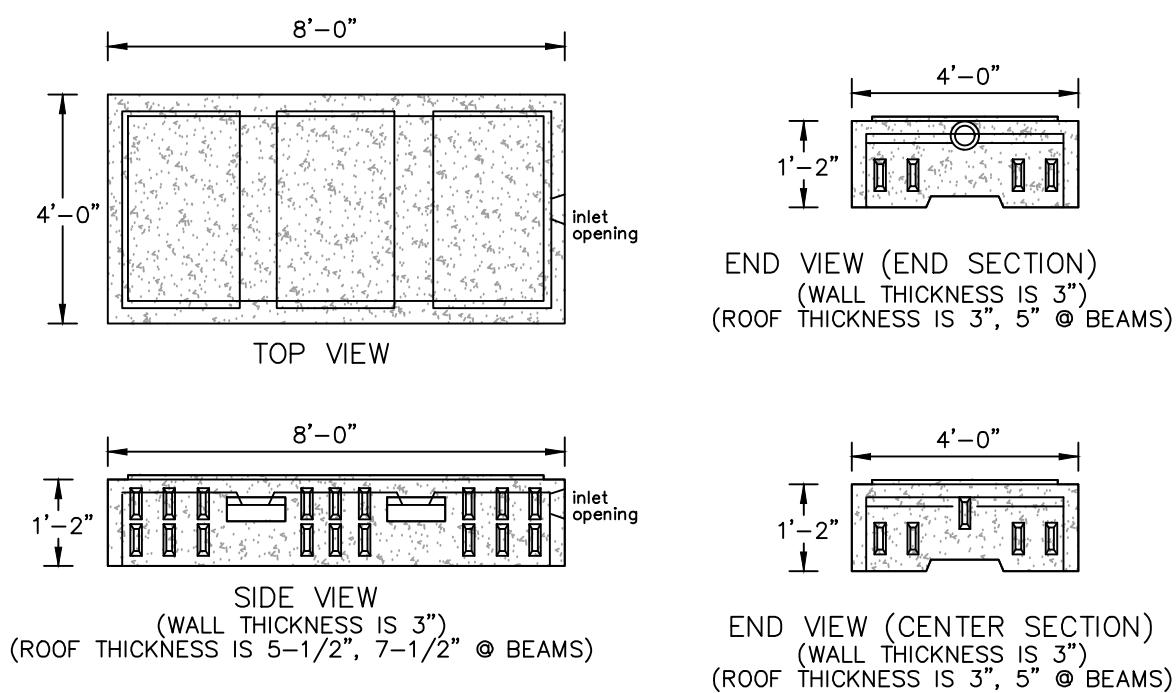


TYPICAL STORM SEWER TRENCH SECTION
N.T.S.

Septic System Notes:

1. THE BUILDING SEWER SHALL BE 4" SCHEDULE 40 PVC PIPE CONFORMING TO ASTM D 1785/ ASTM D 2665 SET AT A MINIMUM SLOPE OF 1/4" PER FOOT. THE PIPE SHALL BE LAID TRUE TO THE GRADE IN A SAND BED AND BACKFILLED WITH MATERIAL FREE OF LARGE OR JAGGED STONES.
2. THE PRE-CAST CONCRETE SEPTIC TANK SHALL HAVE A CAPACITY OF AT LEAST 1,250 GALLONS. THE TANK SHALL HAVE TWO CHAMBERS, THE FIRST OF WHICH SHALL HOLD 2/3 THE REQUIRED TOTAL CAPACITY.
3. THE SEPTIC TANK SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CONNECTICUT PUBLIC HEALTH CODE, LATEST REVISION. THE TANK SHALL HAVE A NON-BYPASS EFFLUENT FILTER AT THE OUTLET AND POLYETHYLENE GASKETS AT THE INLET AND OUTLET.
4. THE DISTRIBUTION PIPE FROM THE TANK TO THE DISTRIBUTION BOX OR LEACHING GALLERIES SHALL BE 4" PVC CONFORMING TO ASTM 3034 SDR35 WITH INTEGRAL RUBBER COMPRESSION GASKETS. PIPE SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1/4" PER FOOT (2.08%).
6. THE DISTRIBUTION BOXES SHALL BE HS-20 PRE-CAST CONCRETE WITH WATER-TIGHT GASKETS AND SET LEVEL.
7. THE CONCRETE LEACHING GALLERIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND THIS PLAN. ANY DEVIATION IN THE SPECIFIED PRODUCT SHALL BE REVIEWED BY THE DESIGN ENGINEER AS IT MAY AFFECT THE REQUIRED LEACHING FIELD SIZE.
8. THE IMPORTED "SELECT FILL" SHALL BE CLEAN SAND OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND OTHER FOREIGN SUBSTANCES. THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE 3" SIEVE. UP TO 45% OF THE DRY WEIGHT OF THE SAMPLE MAY BE RETAINED ON THE #4 SIEVE. THE MATERIAL PASSING IS RE-WEIGHED AND AND SIEVE ANALYSIS STARTED AND SHALL CONFORM TO THE FOLLOWING CRITERIA:

| SIEVE | DRY SIEVE (% PASSING) |
|-------|-----------------------|
| # 4 | 100% |
| # 10 | 70-100% |
| # 40 | 10-75% |
| #100 | 0-5% |
| #200 | 0-2.5% |
9. "APPROVED AGGREGATE" SHALL BE EITHER No. 4 (1-1/2") OR No. 6 (3/4") STONE AGGREGATE MEETING THE GRADATION REQUIREMENTS OF SECTION 8 OF THE PUBLIC HEALTH CODE.
10. THE GEOTEXTILE SHALL BE NON-WOVEN FABRIC CONFORMING TO ASTM D 5261, ASTM D 4491 AND ASTM D 4533 MEETING THE REQUIREMENTS OF THE STATE PUBLIC HEALTH CODE.
11. THE SYSTEM SHALL BE STAKED OUT IN THE FIELD BY A LICENSED ENGINEER OR LAND SURVEYOR.
12. THE TOPSOIL/ ORGANICS SHALL BE REMOVED FROM THE LEACHING AREA AND THE SUBSOIL SCARIFIED PRIOR TO PLACEMENT OF SELECT FILL, IF REQUIRED.
13. THE INSTALLER SHALL TAKE THE PROPER PRECAUTIONS TO AVOID OVERCOMPACTING UNDERLYING SOILS WHILE PROVIDING SUFFICIENT COMPACTION OF THE SELECT FILL TO FACILITATE CONSTRUCTION AND AVOID SETTLEMENT.



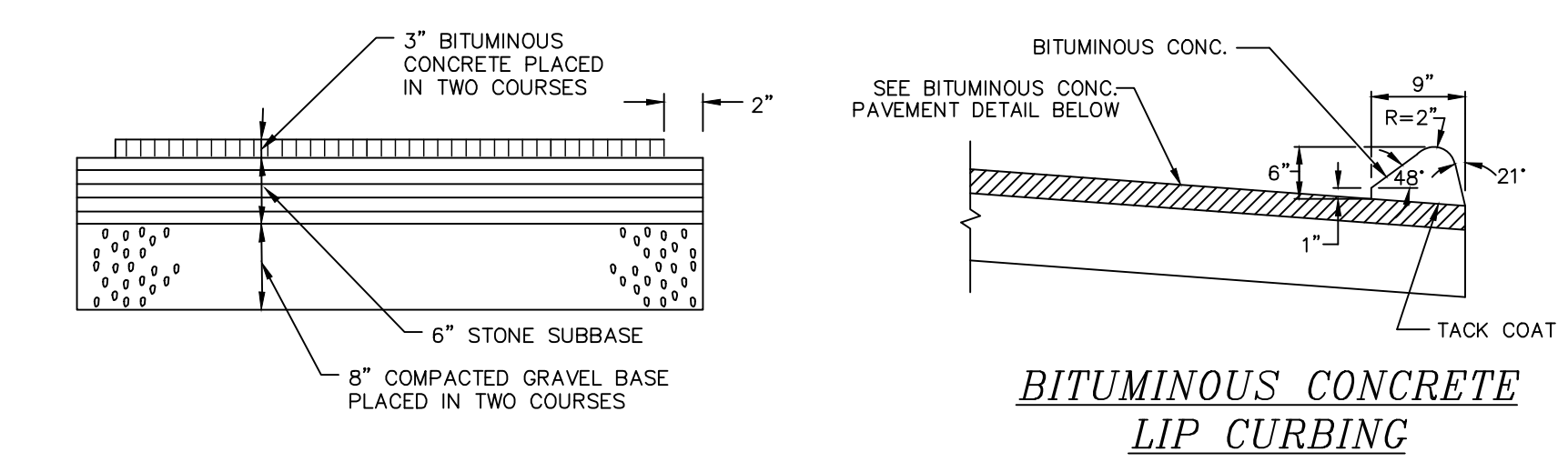
WEIGHT CHART

| PRODUCT | APPROX. WEIGHT |
|------------|----------------|
| 18" GALLEY | 2,450 LBS. |

LEACHING

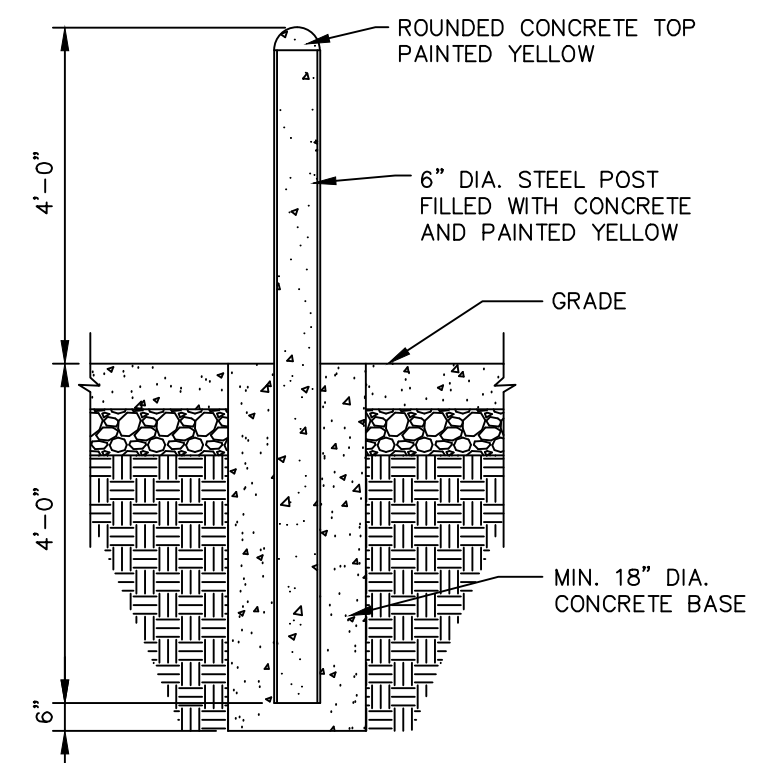
| FLOW LINE (INCHES) | LEACHING (GAL./D.) | INSIDE CAPACITY (GALLONS) |
|--------------------|--------------------|---------------------------|
| 12 | 5.9 | 47.2 |
| | | 140 |

HS-20 12" CONCRETE LEACHING GALLEY
N.T.S.

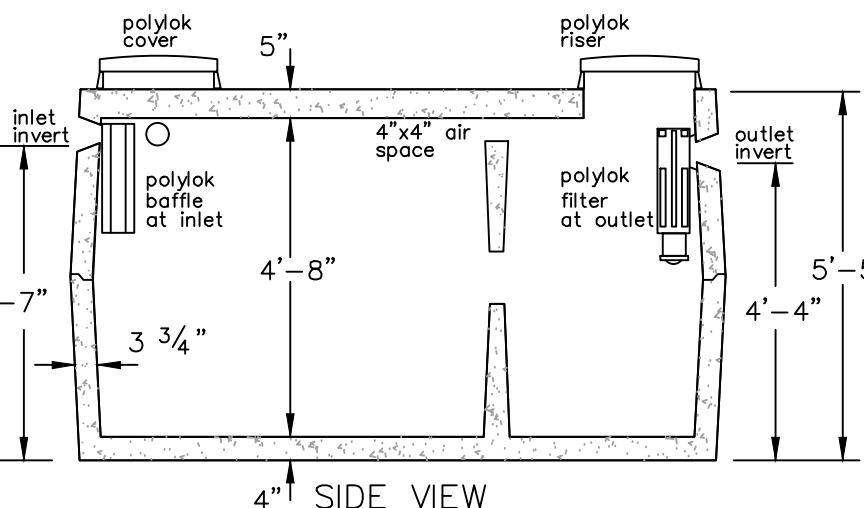
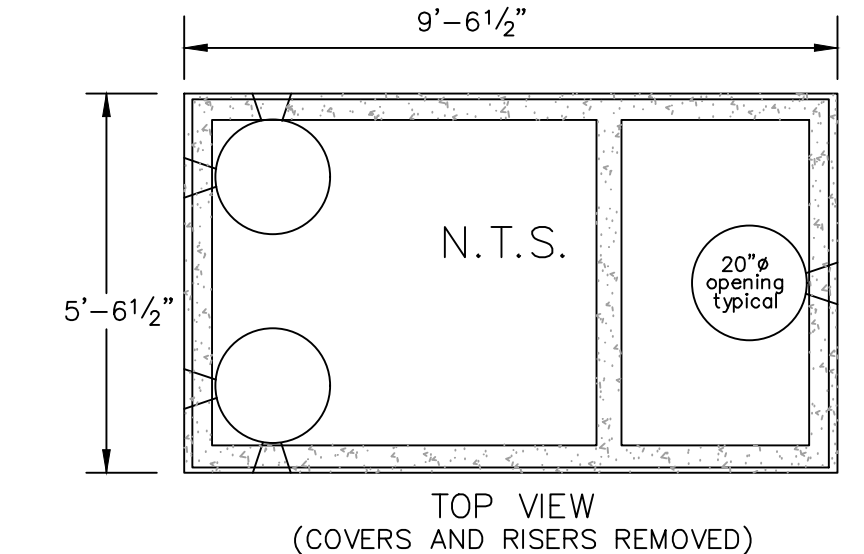


BITUMINOUS CONCRETE DRIVEWAY
N.T.S.

BITUMINOUS CONCRETE LIP CURBING
N.T.S.



BOLLARD DETAIL
N.T.S.

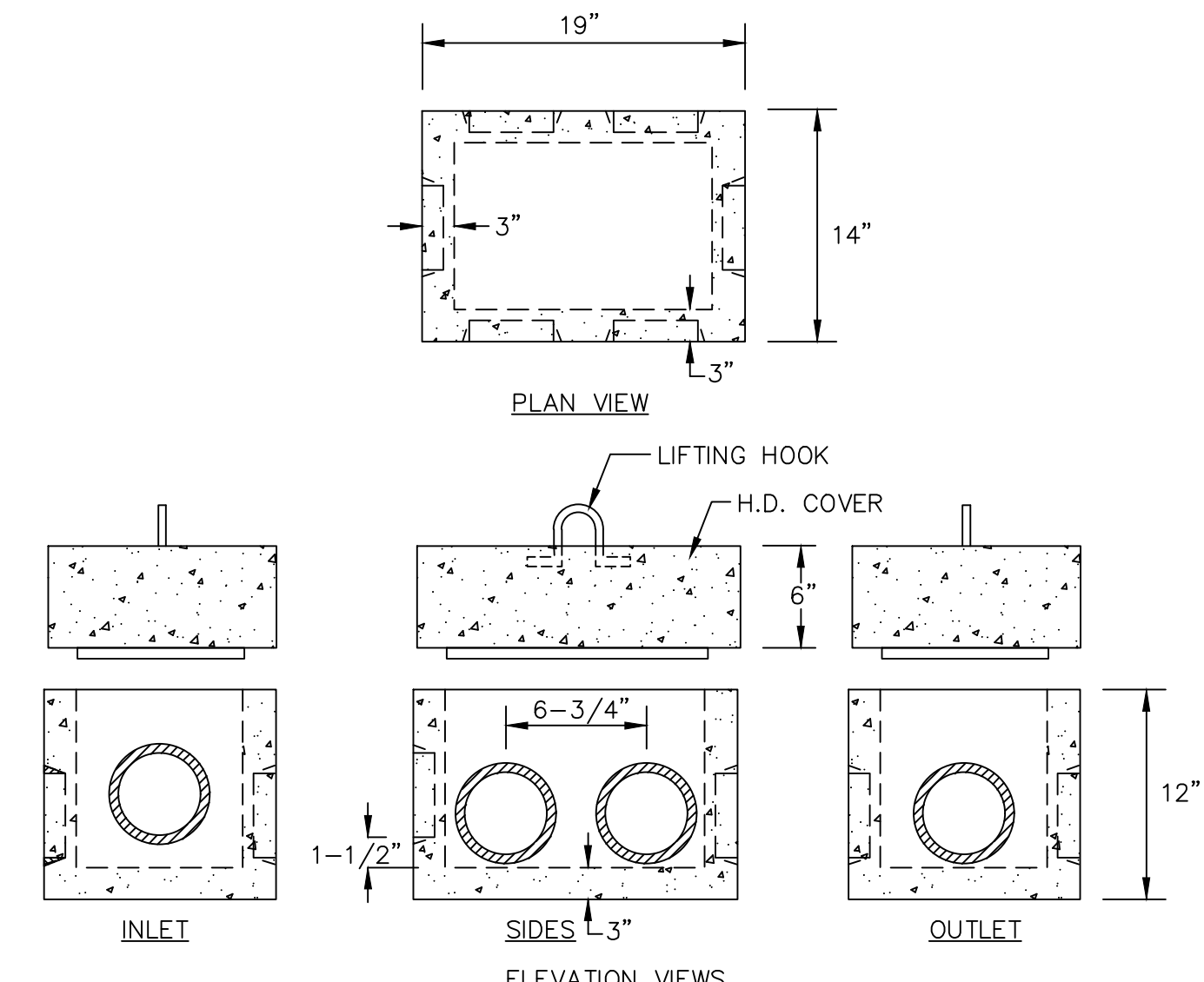


WEIGHT CHART

| PRODUCT | APPROX. WEIGHT |
|----------------|----------------|
| 1,250 GAL TANK | 12,100 LBS. |

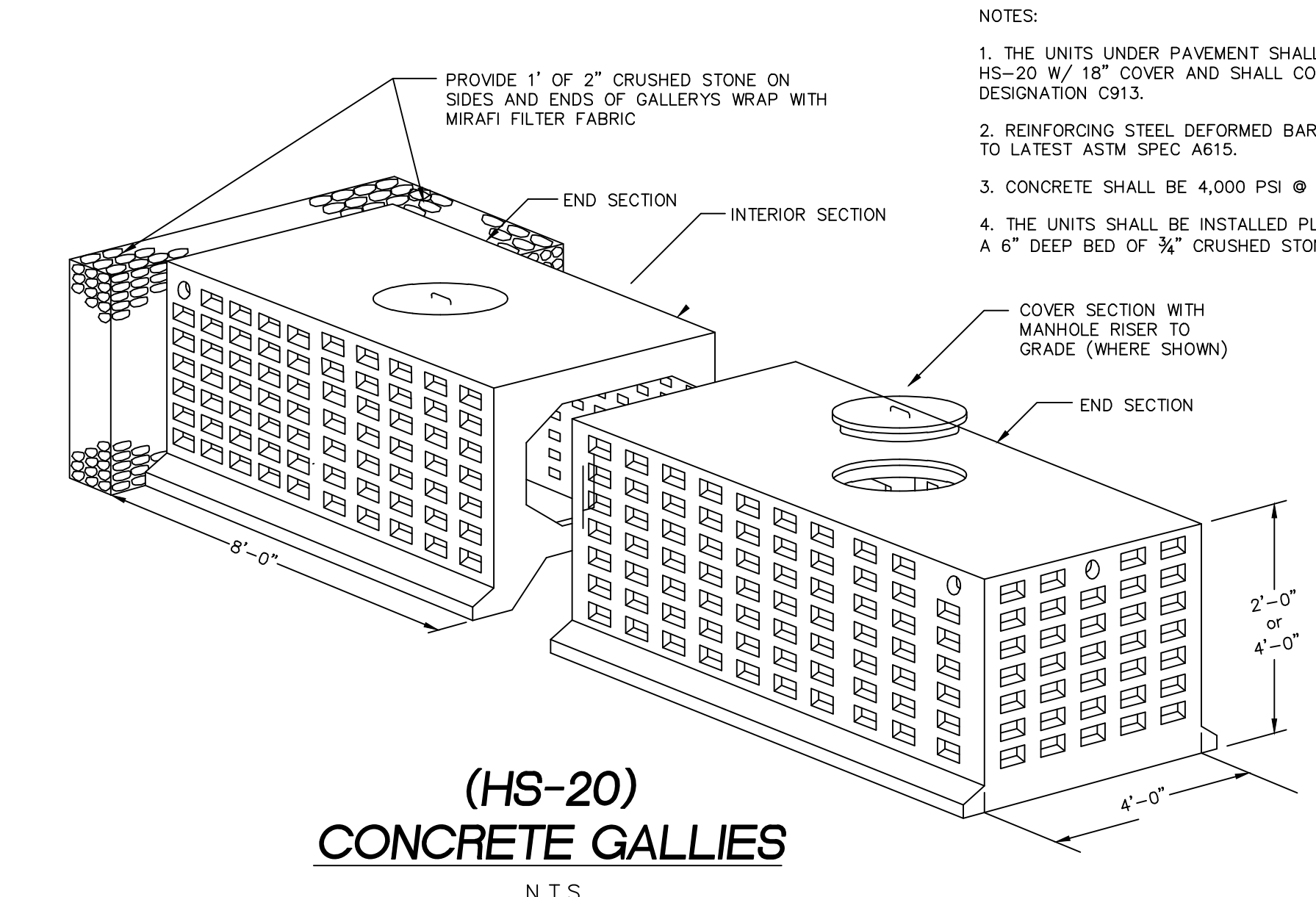
1,250 GALLON SEPTIC TANK
N.T.S.

- NOTES:
1. PIPE INLET AND OUTLET LOCATIONS HAVE POLYLOK II PIPE SEALS (TYP.). CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
 2. PIPE INLET AND OUTLET LOCATIONS HAVE POLYLOK II PIPE SEALS (TYP.).
 3. REINFORCING STEEL WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM SPECIFICATION A185.
 4. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
 5. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4,000 PSI @ 28 DAYS.
 6. METHOD OF MANUFACTURE: WET CAST.
 7. SECTIONS ARE MONOLITHIC.



- NOTES:
1. THE CONCRETE SHALL HAVE 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
 2. D-BOXES SHALL HAVE INTEGRAL PLASTIC PIPE SEALS ON ALL OPENINGS.
 3. THE BOXES SHALL BE HEAVY DUTY AND RATED FOR HS-20 LOADING FOR UNDER-PAVEMENT APPLICATIONS.
 4. PER CT PHC, D-BOXES SHALL BE ACCESSIBLE TO GRADE WITH H.D. MANHOLE FRAME AND COVER.
 5. D-BOX' SHALL BE CONFIGURED FOR EVEN DISTRIBUTION OF EFFLUENT TO ALL GALLEYS.

HEAVY DUTY CONCRETE D-BOX DETAIL
N.T.S.



- NOTES:
1. THE UNITS UNDER PAVEMENT SHALL BE DESIGNED FOR HS-20 W/ 18" COVER AND SHALL CONFORM TO ASTM DESIGNATION C913.
 2. REINFORCING STEEL DEFORMED BARS SHALL CONFORM TO LATEST ASTM SPEC A615.
 3. CONCRETE SHALL BE 4,000 PSI @ 28 DAYS.
 4. THE UNITS SHALL BE INSTALLED PLUMB AND LEVEL ON A 6" DEEP BED OF 3/4" CRUSHED STONE.

PROPERTY OWNER/APPLICANT:
West High Enterprises
244 Middletown Ave
East Hampton, CT 06424

Approved by the East Hampton Planning & Zoning Commission

Final Approval _____ Chairman

Expiration Date: _____

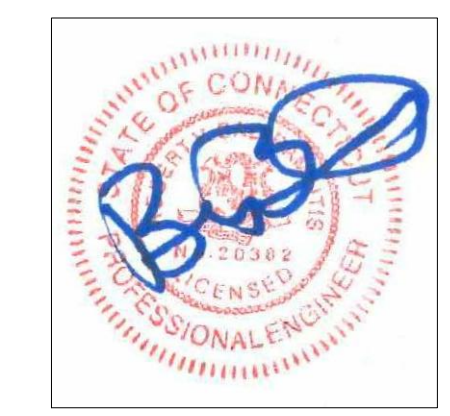
Per Section 8-26c of the Connecticut General Status, as amended, approval automatically expires _____ if all physical improvements required by this plan are not completed by that date.

The Subdivision Regulations of the Town of East Hampton Planning and Zoning Commission are a part of this plan. Approval of this plan is contingent on completion of the requirements of said regulations, excepting any variances or modifications made by the Commission. Any Such Variances or modifications are on file in the office of the Commission.

Approved by the East Hampton Inland Wetlands & Watercourse Agency

Final Approval _____ Chairman

Date: _____
Expiration Date: _____



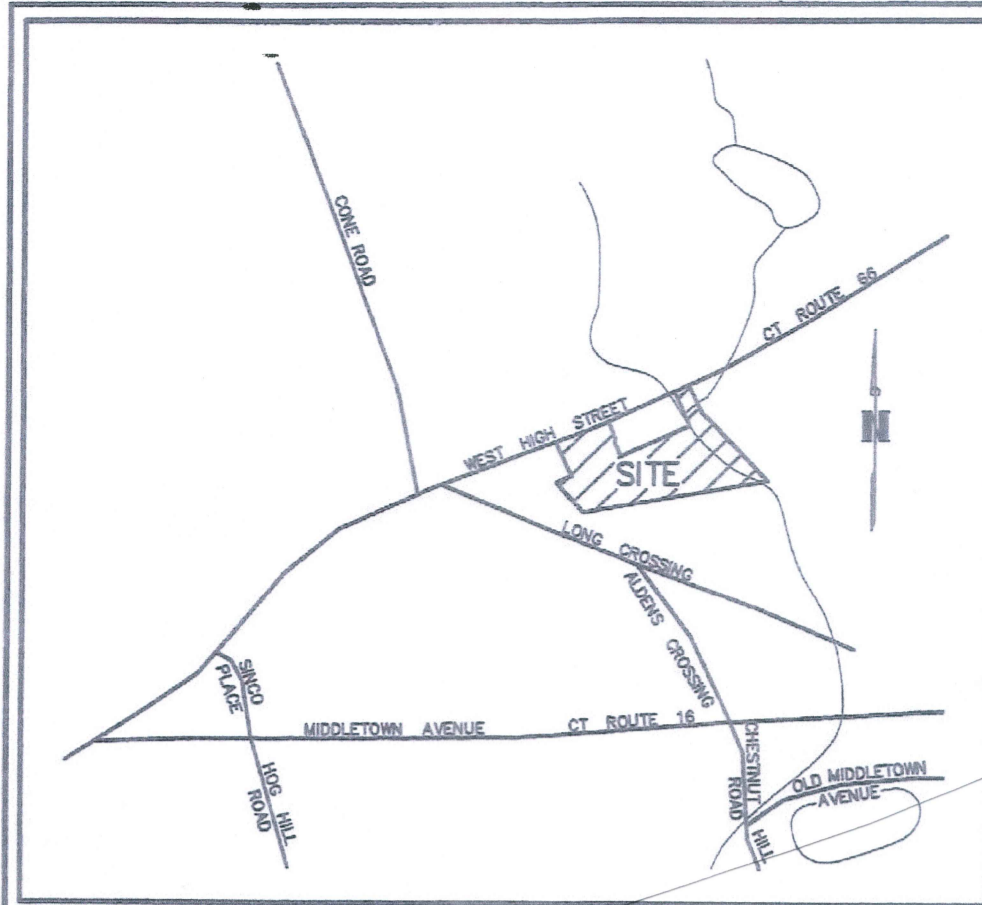
| # | DATE | REVISIONS |
|---|-----------|---|
| 2 | 2/25/2024 | REFLAG WETLANDS, ADJUST 100 BUFFER/DISTURBANCE AREA AND REVISE SEPTIC |
| 1 | 1/22/2024 | P & Z SUBMISSION |

DETAIL SHEET

PROPOSED COMMERCIAL BUILDING
PROPERTY OF WEST HIGH ENTERPRISES
195 WEST HIGH STREET
EAST HAMPTON, CONNECTICUT

Robert V. Baltramaitis, P.E.
27 Tammy Hill Road
Wallingford, Connecticut 06492
(203) 915-8301

DATE: 1/11/2024 SCALE: NTS SHT #: DN-2



LOCATION MAP
SCALE: 1"=1000'

SELECT FILL PLACED WITHIN AND ADJACENT TO LEACHING SYSTEM AREAS SHALL BE COMPOSED OF CLEAN SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY A PROFESSIONAL ENGINEER FOR USE WITHIN THE LEACHING AREA:

1. THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIZE.
2. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 Sieve (THIS IS THE GRAVE PORTION OF THE SAMPLE).
3. THE MATERIAL THAT PASSES THE #4 Sieve IS THEN RECLASSIFIED AND THE SIEVE ANALYSIS STARTED.
4. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING CRITERIA:

| PERCENT PASSING | | |
|-----------------|------------|------------|
| SEIVE SIZE | WET SIEVE | DRY SIEVE |
| #4 | 100 | 100 |
| #10 | 70% - 100% | 70% - 100% |
| #40 | 10% - 50% | 10% - 75% |
| #100 | 0% - 20% | 0% - 5% |
| #200 | 0% - 5% | 0% - 2.5% |

NOTE: PERCENT PASSING THE #40 Sieve CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 Sieve DOES NOT EXCEED 10% AND THE #200 Sieve DOES NOT EXCEED 5%.

THE LICENSED INSTALLER IS RESPONSIBLE FOR PREPARING THE LEACHING AREA WITH NECESSARY SELECT FILL, THE TOPSOIL IN THE LEACHING SYSTEM AREA MUST BE REMOVED AND THE SUBSOIL SEPARATED PRIOR TO SELECT FILL PLACEMENT UNLESS OTHERWISE DIRECTED BY THE DESIGN ENGINEER. THE INSTALLER SHALL TAKE THE NECESSARY STEPS TO PROTECT THE UNDERLYING NATURALLY OCCURRING SOIL FROM OVER COMPACTION OR DAMAGE. SELECT FILL SHALL COVER A MINIMUM OF FIVE (5) FEET LATERALLY IN ALL DIRECTIONS BEYOND THE OUTER PERIMETER OF THE LEACHING SYSTEM.

NOTES:

BENCH MARK TO BE SET AT TIME FOUNDATION IS STAKED. BOTTOM OF SYSTEM TO BE NO DEEPER THAN 0" INTO EXISTING GRADE. SEPTIC TANK MUST CONFORM TO H-20 LOADING REQUIREMENTS. INSTALLATION OF ALL SEWAGE DISPOSAL SYSTEMS SHALL NOT OCCUR DURING WET WEATHER TO AVOID SOIL SMEARING. LICENSED INSTALLER SHALL PROVIDE A SANITARY SYSTEM "AS BUILT" TO THE CHATHAM HEALTH DISTRICT.

THE LEACHING AREA IS TO BE STRIPPED OF ALL UNSUITABLE SOILS AND FILLED WITH CLEAN SAND, LAID IN 8"-12" INCH LIFTS. FILL TO BE MECHANICALLY COMPACTED TO 90% MAXIMUM DENSITY. A MINIMUM SEPARATION DISTANCE OF 18" BETWEEN THE MOTTLING LAYER AND BOTTOM OF THE LEACHING AREA MUST BE MAINTAINED.

FILLING OF STRIPPED AREAS SHALL NOT BE PERMITTED WHILE SHEARING OF THE SOIL OCCURS. ALL SHEARED SURFACES SHALL BE RAKED OR FLOWED PRIOR TO ANY FILLING AND AS DIRECTED BY THE CHATHAM HEALTH DISTRICT.

N/F
HOUSE STANLEY F & HIDEKO S
ZONED: R2 - SINGLE FAMILY RESIDENTIAL

N/F
JOHN R. FORBES III
ZONED: C - COMMERCIAL

N/F
WEST HIGH ENTERPRISES, LLC
ZONED: C - COMMERCIAL

GUTTER DRAIN DRYWELL COVER

DRYWELL OVERFLOW PIPE TO BE EXTENDED TO PROPOSED DRAINAGE SYSTEM

RETAIL 5,760 S.F.
PHASE I
BUILDING A
PROPOSED S.F.
7,680 S.F.
F.F.=484.5

EXIST. D-BOX #1
D-BOX #2 AND
EFFLUENT
PIPE TO REMAIN

EXIST. 34 FT OF 12"X48"
LEACHING TRENCH TO REMAIN

EXIST. 54 FT OF 12"X48"
LEACHING TRENCH TO REMAIN

SELF STORAGE 1,920 S.F.

REMOVE
D-BOX #3 AND
52 LF OF EXISTING
LEACH TRENCHES

RESERVE AREA

353,249 S.F.
8.10 AC.

75 LF

160 LF 15" CHDP
@ 2.8%

UPGRADE

DOWNGRADE

50' LIGHT PIPE

75 LF 12" CHDP
@ 0.5%

PROP DBL CB 2
TF=487.8
FL=482.69

PROP CB3
TF=487.7
FL=487.17

PROP DBL CB 1
TF=492.1
FL=488.46

EXIST. 1,000 gallon conc. septic tank

EXIST. 25' 4" sch40 pvc astm d-1785 1/4" ft min

EXIST. 34 FT OF 12"X48" LEACHING TRENCH TO REMAIN

EXIST. 54 FT OF 12"X48" LEACHING TRENCH TO REMAIN

EXIST. 25' 4" sch40 pvc astm d-1785 1/4" ft min

LEGEND

- EXISTING MONUMENT
- EXISTING IRON PIN
- EXISTING DRILL HOLE
- PROPOSED IRON PIN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING TREE LINE
- PROP. LIMIT OF CLEARING

NOTE: TOPOGRAPHY OUTSIDE OF WETLANDS TAKEN FROM ACTUAL FIELD SURVEY TOPOGRAPHY WITHIN WETLANDS TAKEN FROM STATE MAPPING

BUILDING A
LOT 2 SANITARY SYSTEM ELEVATIONS

| | |
|------------------------------|--------|
| BOTTOM OF TRENCH | 491.0 |
| FL DISTRIBUTION LINE | 491.5 |
| DISTRIBUTION BOX #2&3 OUTLET | 491.5 |
| DISTRIBUTION BOX #2&3 INLET | 491.6 |
| DISTRIBUTION BOX #1 OUTLET | 491.7 |
| DISTRIBUTION BOX #1 INLET | 491.8 |
| SEPTIC TANK OUTLET | 491.95 |
| SEPTIC TANK INLET | 492.2 |
| FL 4" PVC @ FDN. WALL | 492.7 |
| TOP OF FOUNDATION | 494.9x |
| FINISH FLOOR | 494.5 |
| TOP OF SEPTIC TANK | 493.2 |

BUILDING A
LOT 2 SANITARY SYSTEM DESIGN

PRIMARY SYSTEM DESIGN

Actual Flow = 75 GPD
(Based on Actual Meter Readings)

Design Flow = Actual x 2.0 (Safety Factor)
= 75 x 2.0 = 150 GPD

Req'd Effective Leaching Area (ELA)
ELA=Design Flow/ Application Rate (Table 8 PHC)
ELA = 150/ 1.2 = 125 SF

Using 48"x12" Leach Trench w/ 4" Port PVC
Effective Leaching Credit = 3.0 SF/ LF
(Section VII B PHC)

Req'd Primary Size = 125/ 3.0 = 41.6 = 42 LF

Check MLSS:
Design Flow: 150 GPD
Depth to Restrictive: 19"
Slope: 2.1%
Perc. Rate: 16 Min/In

HF(54) x FF(100) x PF(125) = 33.75 = 34 LF

Minimum Primary System Required is 42 Ft
(88 Ft Provided)

RESERVE SYSTEM DESIGN
100% PROVIDED
(75 Ft exceeds ELA and MLSS)

LOT 2 SOIL TESTING

| | |
|-------------|---|
| TEST PIT # | 1 |
| DATE | 11-8-11 |
| DEPTH | 72" |
| GROUNDWATER | 59" (SEEPS AT 53") |
| MOTTLING | 35" |
| LEDS | NO REFUSAL |
| ROOTS | 36" |
| RESTRICTIVE | 35" |
| MATERIALS | 0-9" TOPSOIL 9-24" ORANGE BROWN FINE SANDY LOAM (LOOSE) |
| | 24-32" TAN FINE SAND WITH SILT 32-72" GRAYSH TILL (VERY FIRM) |
| TEST PIT # | 1A |
| DATE | 11-8-11 |
| DEPTH | 53" |
| GROUNDWATER | HIT ORANGE BROWN DRAIN WITH FLOWLINE AT 53". PIPE WAS FLOWING, DID NOT READ PIT, WHICH HAD DISTURBED SOILS. |
| TEST PIT # | 2 |
| DATE | 11-8-11 |
| DEPTH | 50" |
| GROUNDWATER | 77" (SEEPS AT 29") |
| MOTTLING | 27" |
| LEDS | NO REFUSAL |
| ROOTS | NONE SEEN |
| RESTRICTIVE | 27" |
| MATERIALS | 0-10" TOPSOIL 10-27" ORANGE BROWN VERY FINE SANDY LOAM (LOOSE, WET) 27-52" GRAYSH TILL (VERY FIRM TO COMPACT) |
| TEST PIT # | 8 |
| DATE | 11-8-11 |
| DEPTH | 59" |
| GROUNDWATER | 59" (SEEPS AT 24") |
| MOTTLING | 22" |
| LEDS | 22" |
| ROOTS | 23" |
| RESTRICTIVE | 22" |
| MATERIALS | 0-9" TOPSOIL 9-22" TAN SILTY FINE SANDY LOAM (LOOSE, WET) 22-59" GRAYSH SANDY TILL (DNSE) |
| TEST PIT # | 9 |
| DATE | 11-8-11 |
| DEPTH | 41" |
| GROUNDWATER | 41" (SEEPS AT 38") |
| MOTTLING | 18" |
| LEDS | NO REFUSAL |
| ROOTS | 22" |
| RESTRICTIVE | 19" |
| MATERIALS | 0-9" TOPSOIL 9-22" TAN SILTY FINE SAND 21-72" GREY SANDY TILL |
| TEST PIT # | 11 |
| DATE | 11-8-11 |
| DEPTH | 68" |
| GROUNDWATER | 47" |
| MOTTLING | 24" @ 33" |
| LEDS | NONE |
| ROOTS | 28" |
| RESTRICTIVE | 9" |
| MATERIALS | 0-9" TOPSOIL 9-25" ORANGE BROWN SILTY FINE SANDY LOAM (LOOSE, CAMP) 25-30" ORANGE COARSE SAND AND GRAVEL (LOOSE) 30-40" GRAY FINE SAND 47-68" (UNDER WATER, COULD NOT READ) |
| TEST PIT # | 12 |
| DATE | 11-8-11 |
| DEPTH | 68" |
| GROUNDWATER | 44" |
| MOTTLING | 32" POSSIBLE |
| LEDS | NONE |
| ROOTS | 34" |
| RESTRICTIVE | 32" |
| MATERIALS | 0-11" TOPSOIL 11-21" DARK ORANGE BROWN FINE SANDY LOAM 21-33" IRON STAINED COARSE SAND AND GRAVEL (LOOSE TO FIRM) 33-68" GRAY SANDY TILL, SOME S. LOOSE |

PERC. TEST #
DATE: 11-28-11
DEPTH: 21"
RATE: 14 MIN./IN.

PERC. TEST #
DATE: 11-28-11
DEPTH: 16"
RATE: 16 MIN./IN.

PERC. TEST #
DATE: 11-28-11
DEPTH: 18"
RATE: 12 MIN./IN.

Perc # B RATE = 14 min/inch
Percok: 11/28/11 @ 1:00PM
Tested: 11/28/2011
Depth 21"

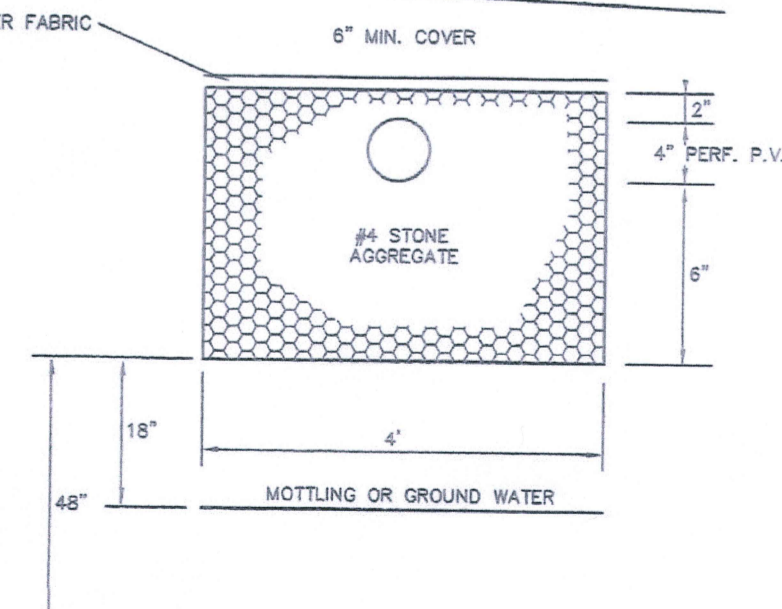
| Time | Depth (in) |
|-------|------------|
| 9:02 | 7 |
| 9:07 | 10 1/8 |
| 9:12 | 12 5/16 |
| 9:17 | 13 7/8 |
| 9:22 | 15 3/16 |
| 9:27 | 16 1/4 |
| 9:32 | 17 1/16 |
| 9:37 | 17 3/4 |
| 9:42 | 18 3/8 |
| 9:47 | 19 |
| 9:52 | 19 3/8 |
| 9:57 | 19 3/4 |
| 10:02 | 20 1/8 Dry |

Perc # E RATE = 16 min/inch
Percok: 6/6/12 @ 3:05 PM
Tested: 6/6/2012
Depth 18"

| Time | Depth (in) |
|------|------------|
| 4:23 | 6 1/4 |
| 4:35 | 8 7/8 |
| 4:47 | 10 7/8 |
| 4:59 | 12 3/4 |
| 5:11 | 14 1/2 |
| 5:23 | 15 5/8 |
| 5:35 | 16 1/2 |
| 5:47 | 17 1/4 |
| 5:59 | 18 Dry |

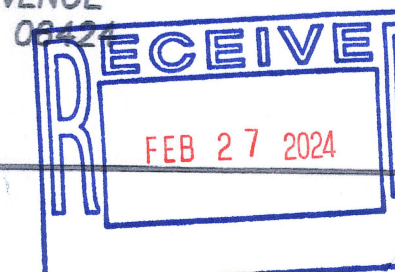
Perc # F RATE = 12 min/inch
Percok: 6/6/12 @ 3:05 PM
Tested: 6/6/2012
Depth 18"

| Time | Depth (in) |
|------|------------|
| 4:24 | 6 1/2 |
| 4:36 | 10 3/4 |
| 4:48 | 13 1/2 |
| 5:00 | 15 1/8 |
| 5:12 | 16 1/4 |
| 5:24 | 17 1/4 |
| 5:36 | 18 Dry |

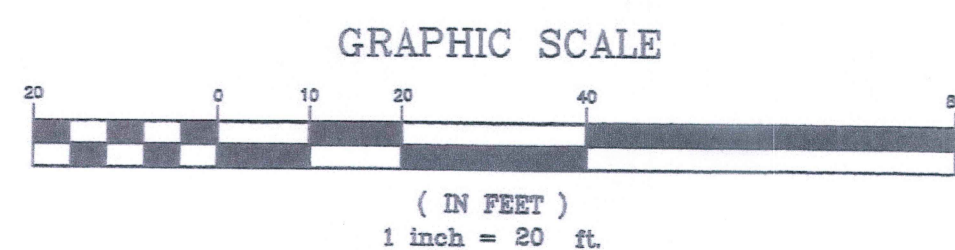


TYPICAL ABSORPTION TRENCH FOR SANITARY SYSTEM
NO SCALE

OWNER/DEVELOPER:
WEST HIGH ENTERPRISES, LLC
244 MIDDLETOWN AVENUE
EAST HAMPTON, CT. 06424



REFERENCE MADE TO MAP TITLED:
"TOPOGRAPHIC MAP 195 WEST HIGH STREET SUBDIVISION PREPARED FOR WEST HIGH ENTERPRISES, LLC EAST HAMPTON, CONN." BY CHATHAM ENGINEERING, INC CONSULTING ENGINEERS EAST HAMPTON, CT 06424 SCALE: 1"=40' DATE: 1/10/12 REV: 5/16/12 MAP NO. 52-12-1T



I HEREBY DECLARE TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS PLAN IS SUBSTANTIALLY CORRECT.

ROBERT V. BALTRAMAITIS, P.E.

ROBERT V. BALTRAMAITIS, P.E.
27 TAMMY HILL ROAD
WALLINGFORD, CONN. 06492
(203)915-8301
baltrsoil.com

SEPTIC SYSTEM REVISION - BUILDING A
201 WEST HIGH STREET
PREPARED FOR
WEST HIGH ENTERPRISES, LLC
EAST HAMPTON, CONN.

CK. BY:

DRW. BY:

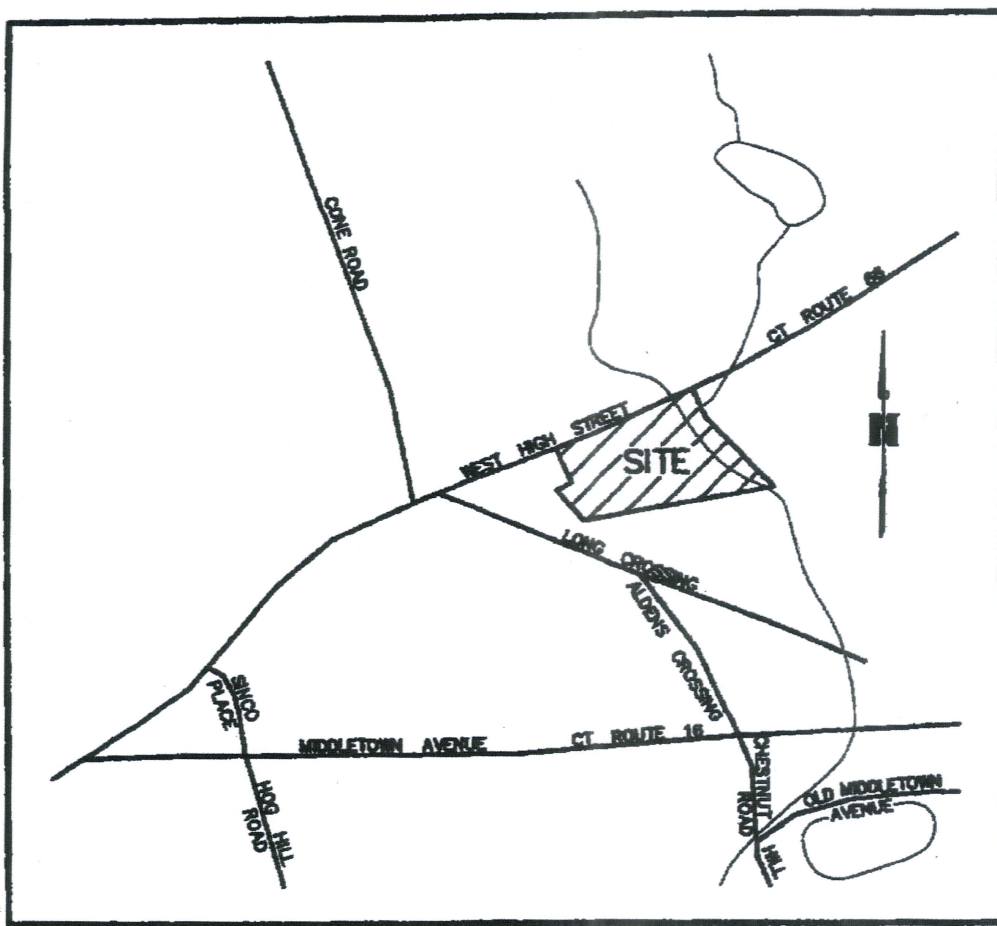
DATE: 6-10-12

SCALE: 1" = 20'

SHEET 1 OF 1

MAP NO.

REV #2 2/24/24 REVISED PER AS-BUILT SURVEY OF SEPTIC SYSTEM
REV #1 2/17/24 ADJUSTED FOR ACTUAL FLOWS



LOCATION MAP
SCALE: 1"=1000'

STUDY AREA = 10 Acres of 10.7 Ac Watershed

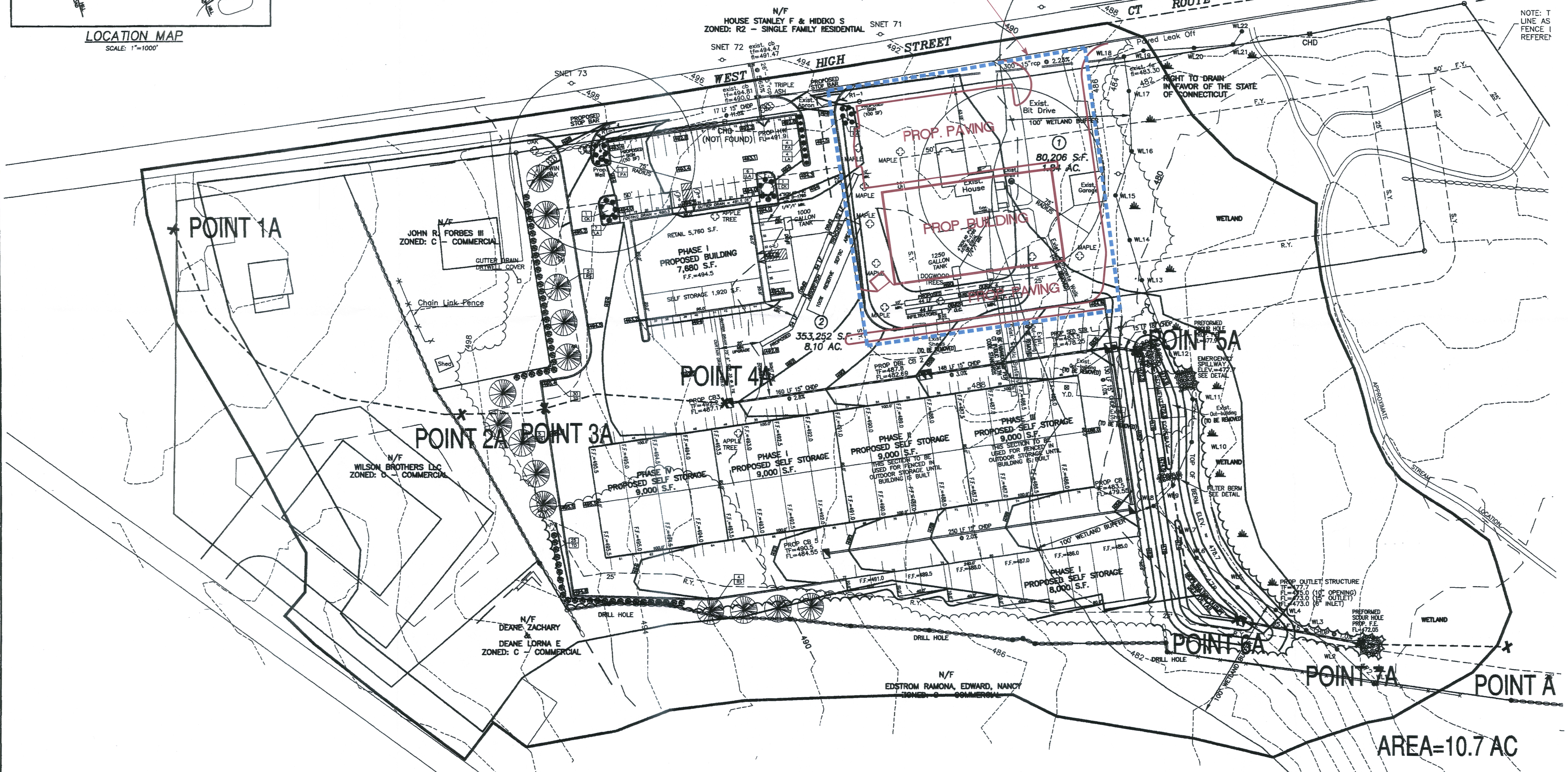
Existing Coverage

Buildings (House/ Garage) = 0.06 Ac
Pavements = 0.15 Ac
Lawn/ Landscape = 0.79 Ac

Proposed Coverage

Building = 0.24 Ac
Pavements = 0.52 Ac
Lawn/ Landscape = 0.24 Ac

10 Ac STUDY AREA OF DEVELOPMENT



SNET 67

SNET 68

SNET 69

SNET 70

SNET 71

SNET 72

SNET 73

NOTE: T LINE AS FENCE I REFERE

POINT 1A

JOHN R. FORBES III
ZONED: C - COMMERCIAL

POINT 2A

POINT 3A

WILSON BROTHERS LLC
ZONED: C - COMMERCIAL

POINT 4A

POINT 5A

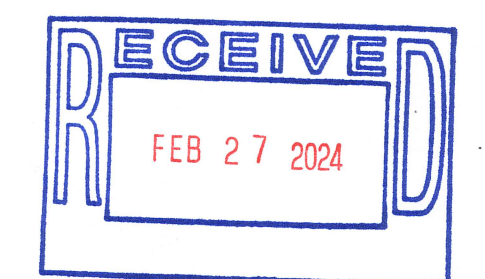
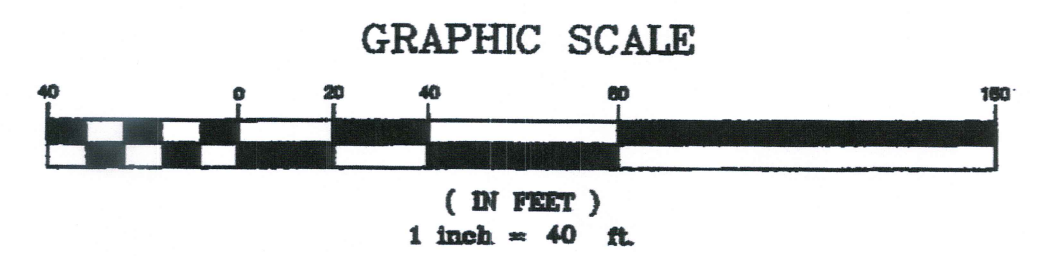
DEANE ZACHARY & DEANE LORNA E
ZONED: C - COMMERCIAL

EDSTROM RAMONA, EDWARD, NANCY
ZONED: C - COMMERCIAL

POINT 2A

POINT A

AREA=10.7 AC



ROBERT V. BALTRAMATIS, P.E.
27 TAMMY HILL ROAD
WALLINGFORD, CONN. 06492
(203)915-8301
baltravaol.com

PROPOSED WATERSHED MAP
PREPARED FOR
WEST HIGH ENTERPRISES, LLC
EAST HAMPTON, CONN.

CK. BY:
DRW. BY:
DATE: FEB. 2024
SCALE: 1" = 40'
SHEET 1 OF 1
MAP NO. WS-1